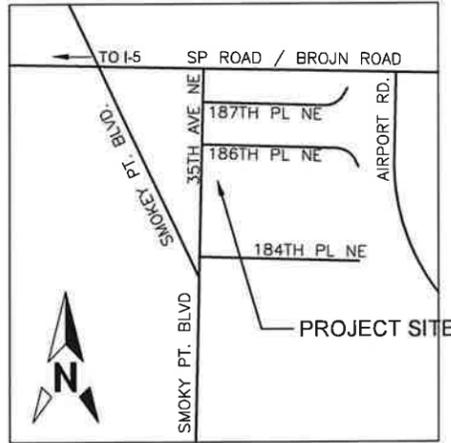


CITY OF ARLINGTON  
 PRELIMINARY ARQOZB SHORT PLAT  
 FILE NUMBER PLN #948  
 PORTION OF NW 1/4 SEC. 21, TWP. 31N, RGE. 05E, W.M.

SINGLE FAMILY PROJECT DESIGN INFORMATION



ZONING REGULATIONS

RESIDENTIAL MODERATE DENSITY  
 ZONE

IMPACT FEES AND CREDIT DEFINITION

EXISTING UNIT: 1 EACH  
 PROPOSED UNITS: 12 EACH

MINI PARK / RECREATIONAL AREAS

IN-LIEU FEE REQUIRED

ZONING DEVELOPMENT CRITERIA

LOT SIZE: 4,000 ~ 6,200 SQ. FT  
 DENSITY: 7 - 11 DWELLING UNITS PER  
 ACRE  
 ROW SETBACK: 20 FEET  
 LOT BOUNDARY SETBACK: 5 FEET  
 MAXIMUM HEIGHT: 35 FEET  
 MAXIMUM LOT COVERAGE: 35%

SITE ADDRESS  
 18601 35TH AVE NE  
 ARLINGTON, WA 98223

EXISTING PROPERTY LEGAL DESCRIPTION

THE SOUTH 132 FEET OF THE WEST HALF OF THE  
 FOLLOWING DESCRIBED TRACT:

BEGINNING AT THE SOUTHWEST CORNER OF THE  
 WEST HALF OF THE NORTHWEST QUARTER OF  
 THE NORTHWEST QUARTER OF SECTION 21,  
 TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.;  
 THENCE NORTH 582 FEET TO POINT OF BEGINNING;  
 THENCE NORTH 198TH;  
 THENCE EAST 660 FEET, MORE OR LESS TO THE  
 EAST LINE OF SUBDIVISION;  
 THENCE SOUTH 198 FEET;  
 THENCE WEST 660 FEET, MORE OR LESS, TO  
 POINT OF BEGINNING, IN SNOHOMISH COUNTY,  
 WASHINGTON;

EXCEPT 35TH AVENUE NORTHEAST;

SITUATE IN THE COUNTY OF SNOHOMISH, STATE  
 OF WASHINGTON.

PROPOSED LOTS LEGAL DESCRIPTION

TBD  
 ZONING CLASSIFICATION  
 R-MOD

AIRPORT PROTECTION DISTRICT SUBDISTRICT

C & D  
 USE CLASSIFICATION  
 28.200

TAX PARCEL ID NUMBER  
 310521-002-010-00

EXISTING PARCEL SIZE  
 SEE SHT. G2 - TOPO MAP

PROPOSED NUMBER OF LOTS  
 6

PROPOSED PARK SPACE / STORMWATER TRACT  
 2,640 SQ FT

PARKING CALCULATIONS  
 PROPOSED: 2 ENCLOSED PER UNIT

BICYCLE RACK SPACE

TBD  
 SCREENING TYPE PROVIDED  
 SEE SHT. L1

SCHOOL DISTRICT

LAKEWOOD SCHOOL DISTRICT  
 UTILITY PROVIDERS  
 CITY OF ARLINGTON  
 WATER /WASTEWATER  
 UTILITIES DEPARTMENT

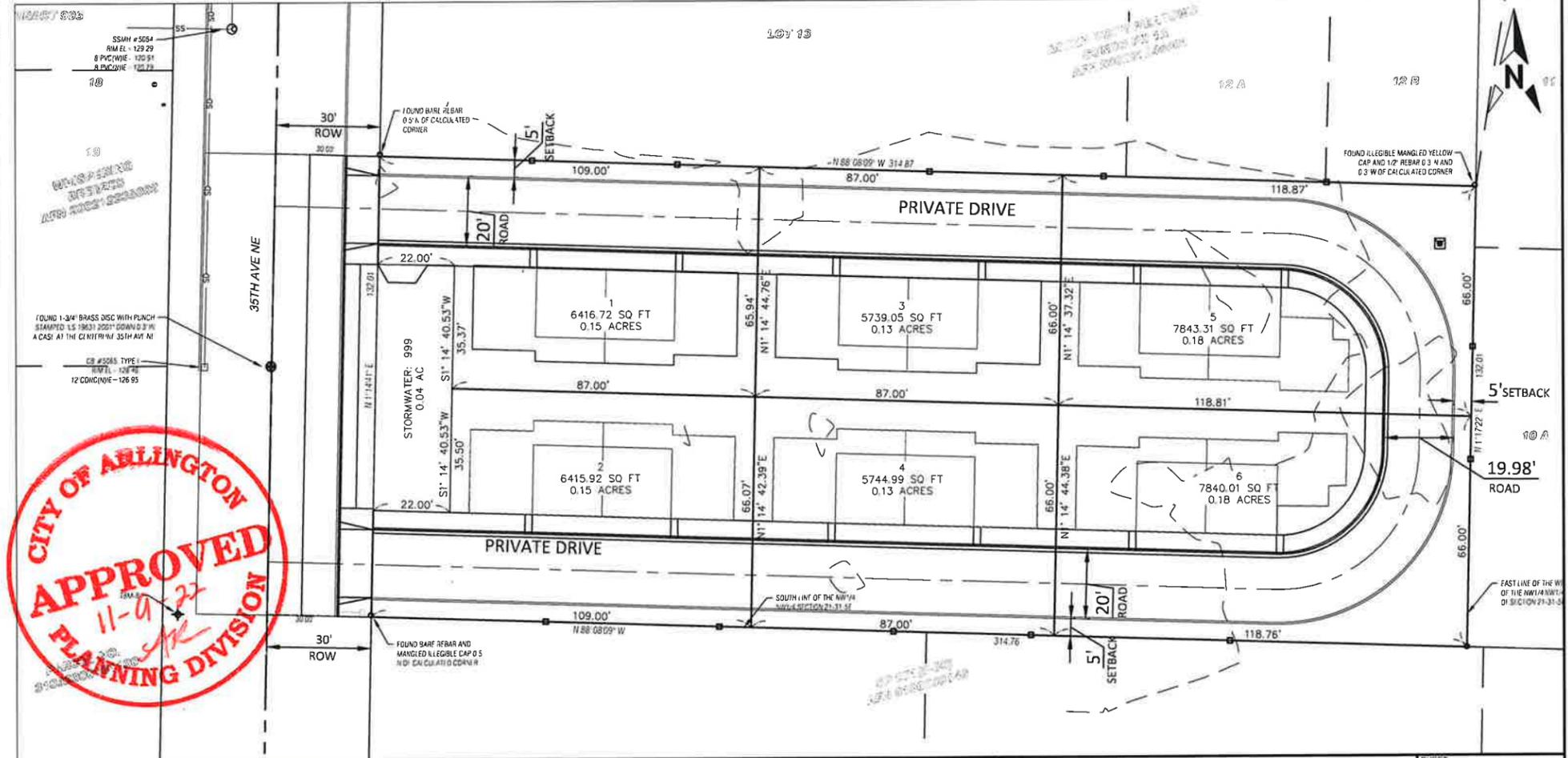
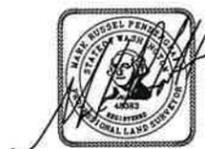
FIRE DISTRICT  
 NORTH COUNTY FIRE  
 AUTHORITY

PROPOSED PLAT SCHEDULE						
LOT #	LOT SIZE (SQ. FT.)	LOT SIZE (ACRE)	BUILDING FOOTPRINT	IMPERVIOUS COVERAGE	LOT LENGTH	LOT WIDTH
1	6,417	0.147	1,944 SQ. FT.	30.30%	66.00'	87.00'/109.00'
2	6,416	0.147	1,944 SQ. FT.	30.30%	66.01'	87.00'/109.00'
3	5,739	0.132	1,944 SQ. FT.	33.87%	66.00'	87.00'
4	5,745	0.132	1,944 SQ. FT.	33.84%	66.01'	87.00'
5	7,843	0.180	1,898 SQ. FT.	24.20%	66.00'	118.87'
6	7,840	0.180	1,898 SQ. FT.	24.21%	66.01'	118.76'
999	1,556	0.036	0 SQ. FT.	0%	132.01	22.00'
TOTAL	41,556	0.954				

PLAN SHEET INDEX

- 1 GENERAL INFORMATION
- 2 TOPO MAP
- 3 MINOR PLAT PLAN
- 4 CONSTRUCTION NOTES
- 5 REMOVAL & TESC PLAN
- 6 CIVIL SITE PLAN
- 7 ROADWAY PROFILES

- 8 STORMWATER PLAN
- 9 WATER EXTENSION PLAN
- 10 SEWER EXTENSION PLAN
- 11 SEWER EXTENSION PROFILES
- 12 LANDSCAPING PLAN
- 13 LANDSCAPING DETAILS
- 14 TESC & CIVIL DETAILS
- 15 INFILTRATION GALLERY DETAILS 1
- 16 INFILTRATION GALLERY DETAILS 2
- 17 INFILTRATION GALLERY DETAILS 3



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ONE INCH AT FULL SIZE REVISIONS REV DATE IMAGE DRAWN BY CHECKED BY APPROVED BY WORK ORDER # DESCRIPTION	OWNER/DEVELOPER ARQOZB LLC CONTACT: PAUL BERNDT/WEIMING BIAN PO BOX 60147 SHORELINE, WA 98160-0147 TEL: 425-440-9238 EMAIL: WEIMING.BIAN@OUTLOOK.COM	SURVEYOR MEAD GILMAN LAND SURVEYORS CONTACT: MARK PENDERGRAFT, PLS TEL: 425-486-1252 EMAIL: MARK@MEADGILMAN.COM	ENGINEER NORTHWEST CIVIL ENGINEERS PLLC CONTACT: WEIMING BIAN, PE TEL: 425-440-9238 EMAIL: WEIMING.BIAN@OUTLOOK.COM	ENDORSEMENTS SIGNATURE DATE DRAWN: CHECK: WB 09/30/2022	NORTHWEST CIVIL ENGINEERS PLLC CONTACT: WEIMING BIAN, PE (425) 440-9238 weiming.bian@outlook.com	PROJECT NAME TOTEMWOOD TOWNHOMES PROJECT ADDRESS 18601 35TH AVE NE ARLINGTON, WA 98223 SHEET DESCRIPTION GENERAL INFORMATION	SHEET 1 OF 17 CLASS SHEET G1 CITY ARLINGTON SCALE REV. NO. 2
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**CITY OF ARLINGTON  
PRELIMINARY ARQOZB SHORT PLAT  
FILE NUMBER PLN #948  
NW 1/4, NW 1/4 SEC. 21, TWP. 31N, RGE. 05E, W.M.**

**EXISTING PROPERTY CONFIGURATIONS**

EXISTING LOT LINES: AS SHOWN  
 EXISTING PROJECT BOUNDARIES: SHOWN  
 EXISTING LOTS & TRACTS: AS SHOWN  
 EXISTING PARKS & OPEN SPACE: NONE  
 EXISTING ROW: 30 FT. FROM 35TH AVE NE CENTERLINE  
 EXISTING EASEMENTS: NONE  
 EXISTING CRITICAL AREA & BUFFERS: NONE

**PROPOSED CONFIGURATIONS**

PROPOSED EXISTING LOTS & TRACTS: NONE  
 PROPOSED NEW LOTS & TRACTS: 6  
 PROPOSED OPEN SPACE: NONE  
 PROPOSED STORM DRAINAGE TRACT: 1,556 SQ. FT.  
 PROPOSED ROW: MAINTAIN EXISTING ROW OF 30 FEET WIDE FROM CENTERLINE OF 35TH AVE  
 PROPOSED EASEMENT FOR ACCESS: 13,346 SQ. FT.  
 PROPOSED EASEMENTS FOR UTILITIES: SEE EASEMENT EXHIBIT  
 PROPOSED CRITICAL AREA: NONE

**EXISTING & PROPOSED ROW**

SEE SHT. C1  
 EXISTING ROW: 30 FEET FROM 35TH AVE NE CENTER LINE

**LOCATION OF UTILITIES**

PROPOSED UTILITIES: SEE SHT. S1 & S2  
 WATER WELL ONSITE: 1 EA, SEE SHT. G2 & G4  
 SEPTIC TANK ONSITE: 1 EA, SEE SHT. G2 & G4

**ENVIRONMENTAL CONDITIONS**

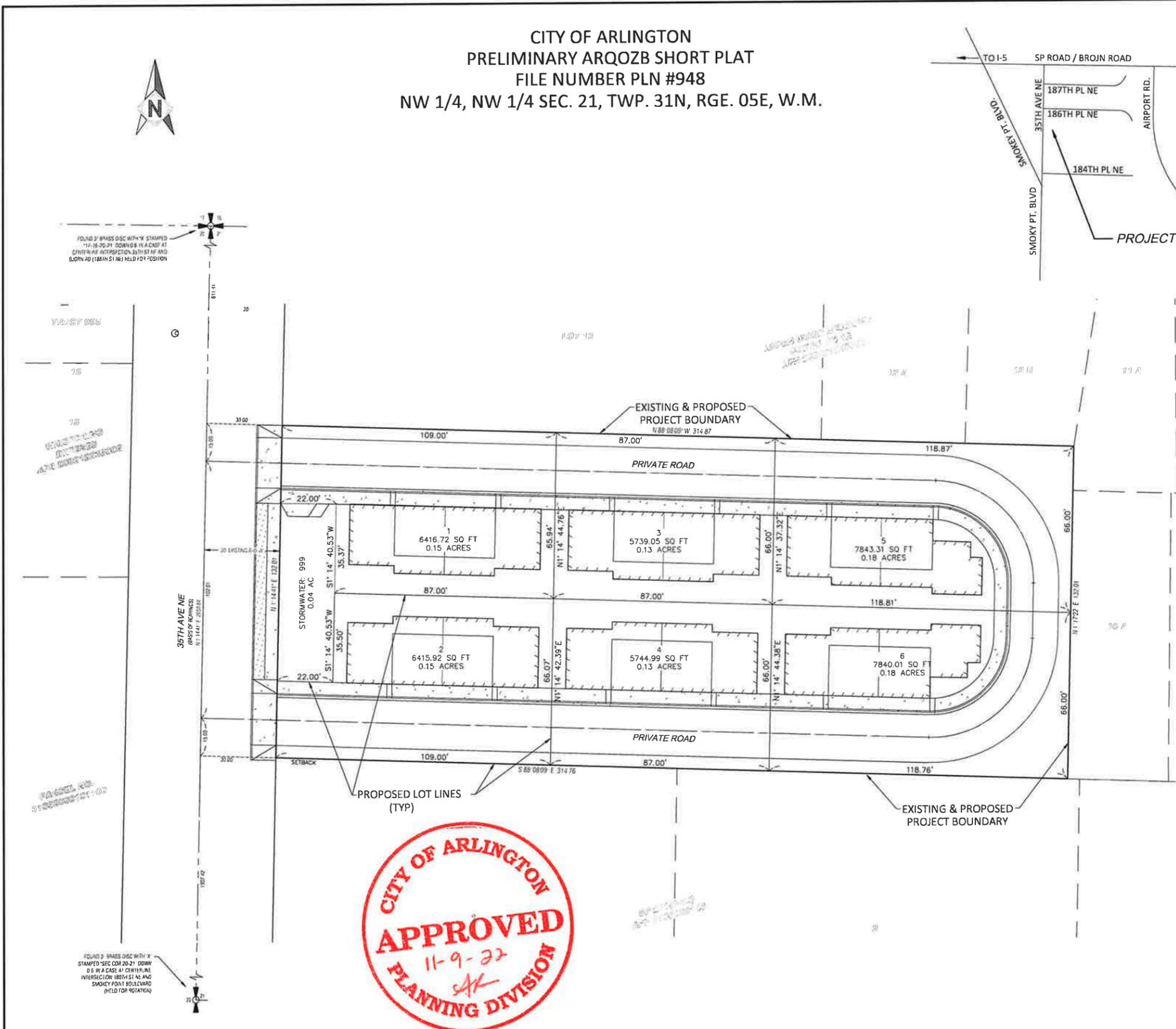
WETLAND: NONE  
 STREAMS: NONE  
 PLANNED ENHANCEMENT AREA: NONE  
 CRITICAL AREA BOUNDARIES & BUFFERS: NONE

**PROPOSED PLAT SCHEDULE**

LOT #	LOT SIZE (SQ. FT.)	LOT SIZE (ACRE)	BUILDING FOOTPRINT	IMPERVIOUS COVERAGE	LOT LENGTH	LOT WIDTH
1	6,417	0.147	1,944 SQ. FT.	30.30%	66.00'	87.00'/109.00'
2	6,416	0.147	1,944 SQ. FT.	30.30%	66.01'	87.00'/109.00'
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5	7,843	0.180	1,898 SQ. FT.	24.20%	66.00'	118.87'
6	7,840	0.180	1,898 SQ. FT.	24.21%	66.01'	118.76'
999	1,556	0.036	0 SQ. FT.	0%	132.01'	22.00'

**LEGEND**

-  ASPHALT PAVEMENT
-  CONC SIDEWALK
-  CONC RDWY PVMT
-  INFILTRATION TRENCH
-  PLANTING STRIP
-  ROW/PROPERTY LINE



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ONE INCH AT FULL SIZE REVISIONS DATE REV DRAWN BY CHECKED BY WORK ORDER # DESCRIPTION	SURVEYOR MEAD GILMAN LAND SURVEYORS CONTACT: MARK PENDERGRAFT, PLS TEL: 425-486-1252 EMAIL: MARK@MEADGILMAN.COM	ENGINEER NORTHWEST CIVIL ENGINEERS PLLC CONTACT: WEIMING BIAN, PE TEL: 425-440-9238 EMAIL: WEIMING.BIAN@OUTLOOK.COM	ENDORSEMENTS SIGNATURE DATE DRAWN CHECK: WB 09/30/2022	PROJECT NAME TOTEMWOOD TOWNHOMES	SHEET 3 OF 17
	PROJECT ADDRESS 18601 35TH AVE NE ARLINGTON, WA 98223	CLASS SHEET G3	CITY ARLINGTON	SHEET DESCRIPTION MINOR PLAT PLAN	SCALE REV. NO. 2

## GENERAL NOTES

- ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT EDITION OF THE CITY OF ARLINGTON PUBLIC WORKS STANDARDS AND SPECIFICATIONS, AND THE CURRENT EDITION OF THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION. A COPY OF THESE DOCUMENTS SHALL BE ON SITE DURING CONSTRUCTION.
- IT IS THE SOLE RESPONSIBILITY OF THE DEVELOPER/CONTRACTOR TO OBTAIN A GRADING PERMIT, RIGHT-OF-WAY PERMIT, AND UTILITY PERMITS, FROM THE CITY. ALL REQUIRED PERMITS FROM OTHER AGENCIES MUST ALSO BE OBTAINED BY THE DEVELOPER/CONTRACTOR.
- PRIOR TO ANY CONSTRUCTION ACTIVITY, THE DEVELOPER/ CONTRACTOR SHALL ATTEND A PRECONSTRUCTION CONFERENCE WITH THE CITY. THE CONTRACTOR SHALL SCHEDULE THE PRECONSTRUCTION CONFERENCE BY CALLING (360) 403-3500. PRIOR TO SCHEDULING, THE CONTRACTOR MUST SUBMIT AND RECEIVE APPROVAL FOR THE TRAFFIC CONTROL PLAN, CITY PERMITS, TEMPORARY EROSION AND SEDIMENT CONTROL PLAN, PERFORMANCE BOND, COPY OF OTHER AGENCY PERMITS, A COPY OF THE CONTRACTOR'S LICENSE, AND PROOF OF INSURANCE COVERAGE.
- A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE ON THE JOB SITE WHEN CONSTRUCTION IS IN PROGRESS.
- ALL SITE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE PRIOR APPROVAL FROM THE OWNER, THE CITY ENGINEER, AND OTHER APPROPRIATE PUBLIC AGENCIES.
- ALL OF THE LOCATIONS OF THE EXISTING UTILITIES SHOWN IN THE PLANS HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHALL THEREFORE BE CONSIDERED APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS.
- THE CONTRACTOR SHALL LOCATE AND PROTECT ALL CASTINGS AND UTILITIES DURING CONSTRUCTION AND SHALL CONTACT THE UNDERGROUND UTILITIES LOCATE SERVICE (1-800-424-5555 OR 811) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- INSPECTION AND ACCEPTANCE OF ALL WORK WILL BE ACCOMPLISHED BY REPRESENTATIVES OF THE CITY OF ARLINGTON. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND SCHEDULE APPROPRIATE INSPECTIONS, ALLOWING PROPER ADVANCE NOTICE. THE INSPECTOR MAY REQUIRE REMOVAL AND REPLACEMENT OF ITEMS THAT DO NOT MEET CITY STANDARDS OR WERE CONSTRUCTED WITHOUT INSPECTION.
- THE CONTRACTOR SHALL KEEP THE ON-SITE AND OFF-SITE STREETS CLEAN AT ALL TIMES BY CLEANING WITH A SWEEPING AND/OR VACUUM TRUCK. WASHING OF THESE STREETS WILL NOT BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE CITY INSPECTOR.
- THE CONTRACTOR SHALL MAINTAIN TWO (2) SETS OF "ASBUILT" PLANS SHOWING ALL FIELD CHANGES AND MODIFICATIONS. IMMEDIATELY AFTER CONSTRUCTION COMPLETION, THE CONTRACTOR SHALL DELIVER BOTH COPIES OF RED-LINED PLANS TO THE CITY. THE CITY WILL FORWARD ONE OF THE COPIES TO THE DESIGN ENGINEER.

## TESC NOTES

- APPROVAL OF THE TEMPORARY EROSION/SEDIMENT CONTROL (TESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR STORM DRAINAGE DESIGN.
- A TESC PLAN MEETING THE DOE STORM WATER MANAGEMENT MANUAL ADOPTED BY THE CITY SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO ANY WORK ON THE SITE. AN APPROVED COPY MUST BE MAINTAINED ON-SITE AND BE READILY AVAILABLE TO THE CITY INSPECTOR AT THEIR REQUEST.
- THE TESC BMP'S SHOWN ON THE PLAN MUST BE INSTALLED PRIOR TO ALL OTHER CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM, LEAVE THE SITE, OR VIOLATE APPLICABLE WATER QUALITY STANDARDS. MAINTENANCE, REPLACEMENT, AND UPGRADING OF THE TESC PLAN IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETE AND APPROVED BY THE CITY.
- THE BOUNDARIES OF THE CLEARING LIMITS, SHOWN ON THE TESC PLAN, SHALL BE CLEARLY FENCED OR FLAGGED IN THE FIELD PRIOR TO STARTING CONSTRUCTION. NO DISTURBANCE BEYOND THE FENCED OR FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FENCING AND/OR FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE CONSTRUCTION PROJECT.
- THE TESC FACILITIES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITE CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, THESE TESC FACILITIES SHALL BE UPGRADED AND ADDED TO AS NEEDED, FOR UNEXPECTED STORM EVENTS AND TO REFLECT CHANGED CONDITIONS, AS REQUIRED BY THE CITY.
- THE CONTRACTOR SHALL PROVIDE THE CITY A 24-HOUR EMERGENCY CONTACT PHONE NUMBER OF THE CONTRACTOR'S CERTIFIED EROSION CONTROL SUPERVISOR PRIOR TO STARTING CONSTRUCTION.
- THE TESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE CONTINUED FUNCTION AND OPERATION.
- BETWEEN OCTOBER 1 AND APRIL 30, DISTURBED AREAS THAT ARE TO BE LEFT UNWORKED FOR MORE THAN TWO (2) DAYS SHALL BE IMMEDIATELY COVERED BY MULCH, SOD OR PLASTIC COVERING. BETWEEN MAY 1 AND SEPTEMBER 30, DISTURBED AREAS THAT ARE TO BE LEFT UNWORKED FOR MORE THAN SEVEN (7) DAYS SHALL BE IMMEDIATELY COVERED BY SEEDING OR OTHER APPROVED METHODS.
- SEDIMENT DEPOSITS SHALL BE REMOVED FROM ALL CATCH BASINS, PRE-TREATMENT/SEDIMENT POND, AND SEDIMENT TRAPS UPON REACHING A DEPTH OF 12 INCHES.
- ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES, SHALL PROVIDE ADEQUATE STORAGE CAPACITY, AND SHALL BE CLEANED OUT ENTIRELY ONCE THE SITE IS STABILIZED. IF THE PERMANENT FACILITY IS TO ULTIMATELY FUNCTION AS AN INFILTRATION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN.
- WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROXIMATE RATE OF 120 LBS PER ACRE.

- WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 3 INCHES, OR 3,000 POUNDS PER ACRE.
- SOIL STOCKPILES SHALL BE STABILIZED WITHIN 24 HOURS. WHEN ACTIVELY WORKING WITH THE SOIL STOCKPILE, STABILIZATION BY GROUND COVER BMP'S SHALL OCCUR AT THE END OF EACH WORK DAY.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- MAINTENANCE AND REPAIR OF TESC FACILITIES AND STRUCTURES SHALL BE CONDUCTED IMMEDIATELY UPON RECOGNITION OF A PROBLEM OR WHEN THE TESC MEASURES BECOME DAMAGED.
- UPON COMPLETION OF THE PROJECT, ALL BMP'S SHALL BE REMOVED FROM THE SITE AND RIGHT OF WAY. IF BMP'S ARE REQUIRED TO REMAIN IN PLACE FOR FURTHER PROTECTION, ARRANGEMENTS FOR REMOVAL SHALL BE MADE WITH THE CITY INSPECTOR.
- THE DUFF LAYER AND NATIVE TOPSOIL SHALL BE RETAINED IN AN UNDISTURBED STATE TO THE MAXIMUM EXTENT PRACTICABLE. ALL AREAS SUBJECT TO CLEARING AND GRADING THAT WILL NOT BE COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT THE PROJECT COMPLETION, DEMONSTRATE THE REQUIREMENTS ESTABLISHED IN TS.13 OF THE 2014 SWMMWW, POST CONSTRUCTION SOIL QUALITY AND DEPTH.

- LOT DRAINAGE SYSTEMS, STUB-OUTS AND ANY DRAINS BEHIND THE SIDEWALK MUST BE INSTALLED AS REQUIRED PRIOR TO SIDEWALK CONSTRUCTION. STUB-OUTS SHALL BE MARKED WITH A 2"X4" WITH 3 FEET VISIBLE ABOVE GRADE AND MARKED "STORM". LOCATION AND DEPTH OF THESE INSTALLATIONS SHALL BE SHOWN ON THE AS-BUILT PLANS SUBMITTED TO THE CITY.
- ALL CATCH BASINS SHALL BE TYPE 1 UNLESS OTHERWISE SHOWN ON THE PLANS AND APPROVED BY THE CITY. THE USE AND INSTALLATION OF INLETS IS DISCOURAGED.
- ALL CATCH BASINS WITH A DEPTH OF 5 FEET (RIM TO INVERT) OR GREATER SHALL BE TYPE 2 CATCH BASINS EQUIPPED WITH 3/4-INCH DIAMETER SAFETY MANHOLE STEPS OR A MANHOLE LADDER PER CITY STANDARD DETAILS.
- ALL GRATES SHALL BE MARKED "OUTFALL TO STREAM - DUMP NO POLLUTANTS". ALL SOLID COVER SHALL BE MARKED "DRAIN". ALL CATCH BASINS AND MANHOLES SHALL BE EQUIPPED WITH LOCKING FRAMES AND LIDS OR GRATES PER CITY STANDARD DETAILS.
- ALL GRATES LOCATED IN THE GUTTER FLOW LINE (INLET AND CATCH BASIN) SHALL BE DEPRESSED 0.1 FOOT BELOW PAVEMENT LEVEL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL MANHOLE, INLET AND CATCH BASIN FRAMES AND GRATES/COVERS TO GRADE JUST PRIOR TO CURB INSTALLATION AND/PAVING.
- ALL RETENTION/DETENTION FACILITIES SHALL BE INSTALLED AND IN OPERATION PRIOR TO, OR IN CONJUNCTION WITH, ALL CONSTRUCTION ACTIVITY, UNLESS OTHERWISE APPROVED BY THE CITY.
- DETENTION/RETENTION PONDS WITH SIDE SLOPES STEEPER THAN 3:1 OR WITH A MAXIMUM WATER DEPTH GREATER THAN 3 FEET SHALL BE ENCLOSED WITH A VINYL COATED CHAIN LINK FENCE.
- BIO-FILTRATION SWALES AND/OR FILTER STRIPS SHALL BE CONSTRUCTED, BEDDED OR SEEDED AND IN OPERATION PRIOR TO, OR SODDED IN CONJUNCTION WITH, ASPHALT PAVING. THE VEGETATION IN THE BIO-SWALE MUST BE WELL ESTABLISHED BEFORE PAVING BEGINS.
- STORM WATER RETENTION/DETENTION FACILITIES, STORM DRAINAGE PIPE AND CATCH BASINS SHALL BE FLUSHED AND CLEANED BY THE DEVELOPER PRIOR TO THE CITY'S ACCEPTANCE OF THE PROJECT.
- WHEN INFILTRATION FACILITIES ARE CONSTRUCTED, COMPACTION OF SOIL IS NOT ALLOWED, AS THE DESIGN IS BASED ON NATURAL SOIL IN THE ORIGINAL LOCATION. VEHICLES SHALL NOT BE DRIVEN OVER THE INFILTRATION AREA DURING CONSTRUCTION.
- IF THE CONTRACTOR ENCOUNTERS GROUNDWATER OR SOIL CONDITIONS DIFFERENT FROM THAT SHOWN IN THE PLANS DURING INFILTRATION SYSTEM INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR.

## STORM DRAINAGE NOTES

- ALL STORM DRAINAGE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE APPROVED PLANS AND CITY STANDARDS AND SPECIFICATIONS. ANY DEVIATION FROM THESE PLANS WILL REQUIRE PRIOR APPROVAL FROM THE OWNER, THE CITY ENGINEER, AND OTHER APPROPRIATE PUBLIC AGENCIES.
- ALL PIPE MATERIALS SHALL MEET THE REQUIREMENTS OF THE CITY STANDARDS AND SPECIFICATIONS. ACCEPTABLE STORM DRAINAGE PIPE MATERIALS INCLUDE CONCRETE, PVC, HDPE, AND DUCTILE IRON. CORRUGATED METAL PIPES (GALVANIZED ALUMINUM OR STEEL) ARE NOT ACCEPTED BY THE CITY. ALL PIPE JOINTS MUST HAVE GASKETS AND SHALL BE WATER TIGHT UNLESS OTHERWISE DIRECTED BY THE CITY.
- PIPE BEDDING MATERIAL SHALL BE 5/8-INCH MINUS CRUSHED GRAVEL FOR ALL PIPE TYPES, EXCEPT DUCTILE IRON. BEDDING MATERIAL FOR DUCTILE IRON PIPE SHALL MEET THE REQUIREMENTS OF THE CITY'S STANDARDS AND SPECIFICATIONS (CHAPTER 4).
- ALL TRENCH BACKFILL IN AREAS OF PAVEMENT OR STRUCTURAL LOADING SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY. ALL OTHER AREAS SHALL BE COMPACTED TO AT LEAST 90% OF MAXIMUM DRY DENSITY.
- ALL PIPE SHALL BE PLACED ON STABLE EARTH. IF IN THE OPINION OF THE CITY INSPECTOR, THE EXISTING TRENCH FOUNDATION IS UNSATISFACTORY, THEN IT SHALL BE EXCAVATED BELOW GRADE AND BACKFILLED WITH GRAVEL BEDDING MATERIAL TO SUPPORT THE PIPE.

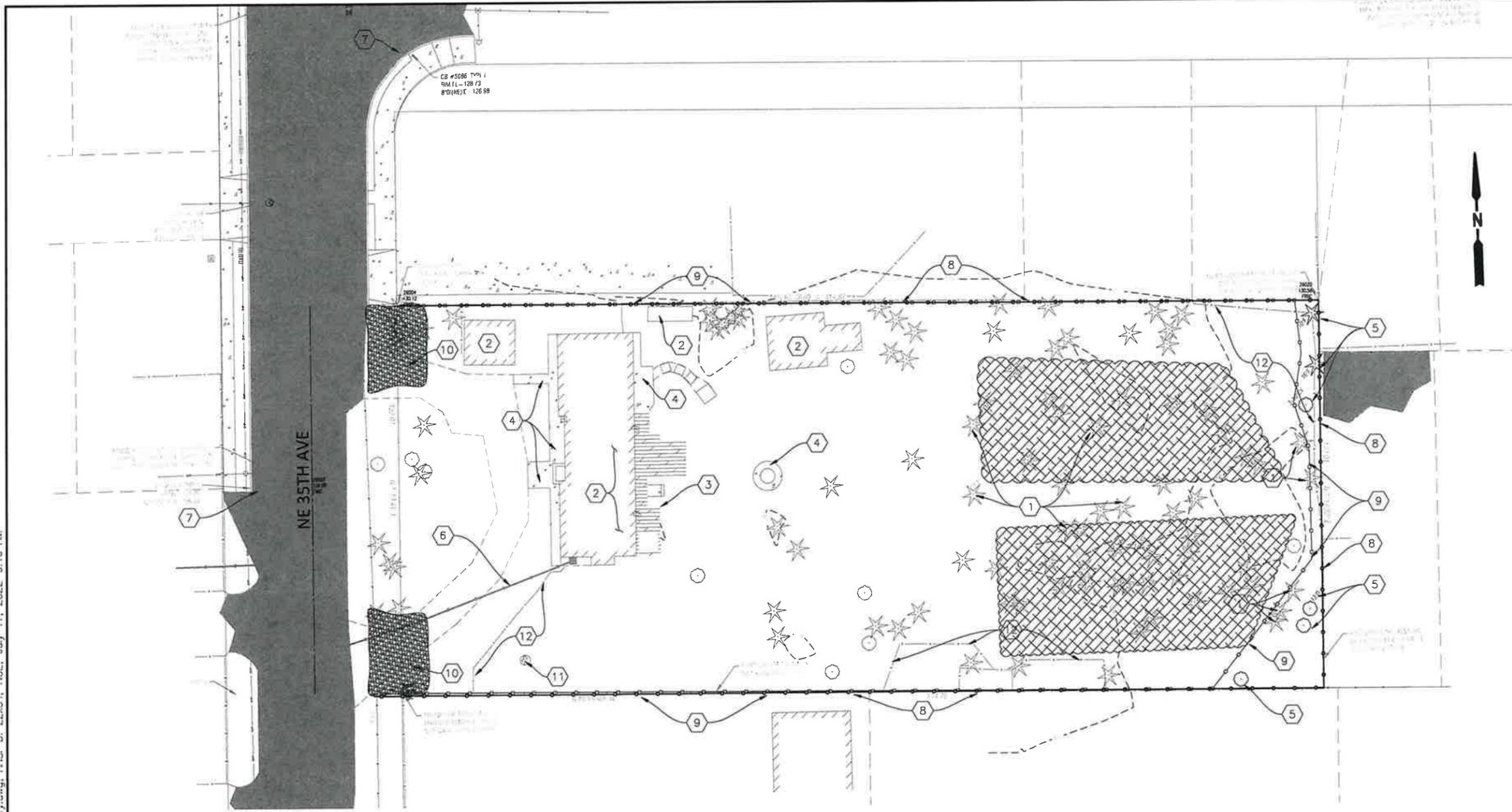
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ENDORSEMENTS	
SIGNATURE	DATE
DRAWN:	
CHECK: WB	09/30/2022



PROJECT NAME	TOTEMWOOD TOWNHOMES		SHEET	4 of 17
PROJECT ADDRESS	18601 35TH AVE NE ARLINGTON, WA 98223		CLASS SHEET	
CITY	ARLINGTON		SCALE	
SHEET DESCRIPTION	GENERAL CONSTRUCTION NOTES		REV. NO.	0



UNLESS OTHERWISE NOTED:  
 SUGGESTED STOCKPILE AREA  
 CONSTRUCTION ENTRANCE

**TESC NOTES**

- ① REMOVE EXISTING TREES (TYP)
- ② REMOVE EXISTING STRUCTURE.
- ③ REMOVE EXISTING SEPTIC TANK IN WHOLE.
- ④ REMOVE EXISTING CONCRETE.
- ⑤ PROTECT EXISTING TREES TO REMAIN IN PLACE
- ⑥ REMOVE EXISTING UTILITIES
- ⑦ FILTER FABRIC FOR CATCH BASIN
- ⑧ CONSTRUCTION SILT FENCE
- ⑨ CONSTRUCTION HIGH VISIBILITY FENCE
- ⑩ CONSTRUCTION ENTRANCE
- ⑪ DECOMMISSION EXISTING WELL
- ⑫ REMOVE EXISTING FENCE



ONE INCH AT FULL SIZE	REVISIONS	DATE	IMAGE	CHECKED BY	APPROVED BY	DESCRIPTION

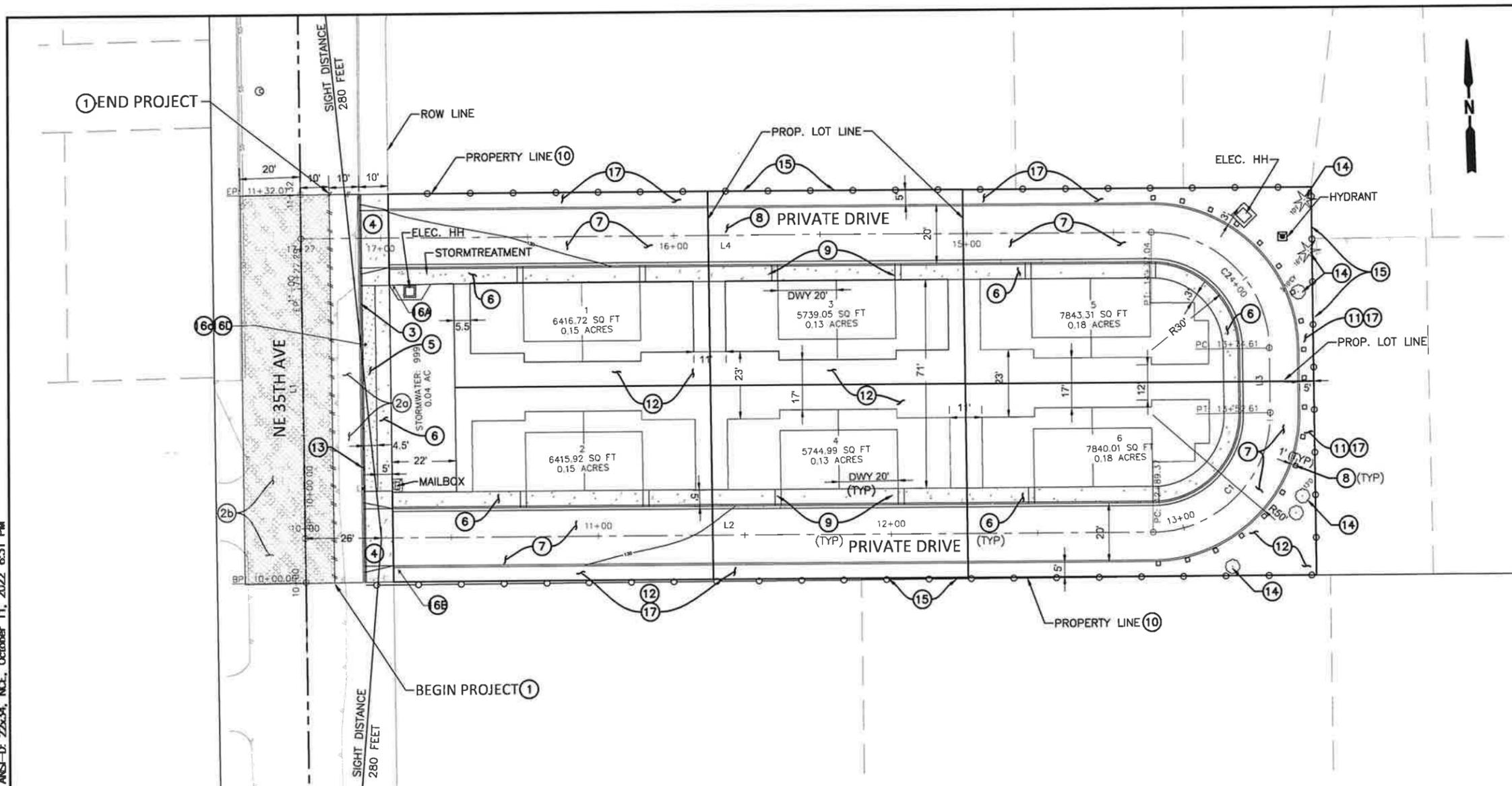


ENDORSEMENTS	
SIGNATURE	
DRAWN:	
CHECK: WB	07/05/2022

**NORTHWEST CIVIL ENGINEERS PLLC**  
 CONTACT: WEIMING BIAN, PE  
 (425) 440-9238  
 weiming.bian@outlook.com

PROJECT NAME	TOTEMWOOD TOWNHOMES		SHEET	5 OF 17
PROJECT ADDRESS	18601 35TH AVE NE ARLINGTON, WA 98223		CLASS/SHEET	G4
SHEET DESCRIPTION	REMOVAL & TESC PLAN		CITY	ARLINGTON
SCALE	1:20	REV. NO.	1	

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- UNLESS OTHERWISE NOTED:
- ASPHALT PAVEMENT, FULL DEPTH
  - ASPHALT RESURFACING
  - CONC SIDEWALK
  - INFILTRATION TRENCH
  - PLANTING STRIP
  - ROW/PROPERTY LINE

- SIGN SCHEDULE:
- 16A - MUTCD R6-2R
  - 16B - MUTCD R5-1
  - 16C - MUTCD R7-1
  - 16D - CUSTOM MADE

Curve Table: Alignments					
Curve #	Radius	Length	Chord Direction	Start Point	End Point
C1	40.000	63.233	N46° 34' 36.60"E	(1311380.9924,427839.7194)	(1311422.2834,427878.7980)
C2	40.000	62.431	N43° 25' 23.40"W	(1311422.7785,427900.7936)	(1311384.0898,427941.6727)

Line Table: Alignments					
Line #	Length	Direction	Start Point	End Point	
L1	132.006	N01° 14' 40.82"E	(1311091.4474,427834.1351)	(1311094.3143,427966.0884)	
L2	289.372	S88° 08' 09.16"E	(1311091.7732,427849.1324)	(1311380.9924,427839.7194)	
L3	22.00	N1° 17' 22.36"E	(1311422.2834,427878.7980)	(1311422.7785,427900.7936)	
L4	290.254	N88° 08' 09.16"W	(1311384.0898,427941.6727)	(1311093.9890,427951.1144)	

**SITE GRADING NOTES**

- ① SAWCUT EX. ASPHALT PAVEMENT 10' FROM 35TH AVE NE CENTERLINE.
- ②a 10' WIDE FULL DEPTH ASPH. PVMT. PER COA STD. R-010.
- ②b 30' WIDE ASPH. PVMT. RESURFACING PER DETAIL SHOWN IN SHT. D1.
- ③ 6" VERTICAL CURB AND GUTTER PER COA STD. R-180. THIS 62' CURB LENGTH PROVIDES 3 REGULAR VEHICLE PARKING SPACES.
- ④ CONC. DRIVEWAY PER COA STD. TYPE 1 R-220.
- ⑤ 4.5' WIDE PLANTING STRIP PER COA STD. R-280.
- ⑥ 5' WIDE CONCRETE SIDEWALK PER COA STD. R-170.
- ⑦ ASPH. PVMT. W/ EXTRUDED CURB (OUTSIDE EDGE) PER COA STD. R-020 ON SHT. D1
- ⑧ SOLAR DOCK DRIVEWAY LIGHTS IP68 ROAD MARKERS, SPACING
- TBD.
- ⑨ CONC. DWY. & VERT. C&G PER COA STD. R-230 & R-180.
- ⑩ CONSTRUCTION EROSION CONTROL PER SHT. G4.
- ⑪ SLOPE @ 3:1 MAX. TO EXISTING GRADE. SEED WITH GRASS AFTER GRADING.
- ⑫ LANDSCAPING PER DETAIL SHOWN ON SHT. L1 & L2;
- ⑬ SLOTTED CURB SPACER PER DETAIL ON SHT. S1;
- ⑭ PROTECT EX. TREE TO REMAIN IN PLACE.
- ⑮ WOODEN FENCE (PERMANENT), TYPE TBD.
- ⑯ TRAFFIC SIGN PER COA STD. R-120:
- 16A - ONE WAY ONLY
- 16B - DO NOT ENTER
- 16C - NO PARKING ANYTIME
- 16D - DO NOT LITTER, \$500 FINE
- ⑰ BORDER SCREENING, FENCING & LANDCAPING, SEE SHT. L1& L2

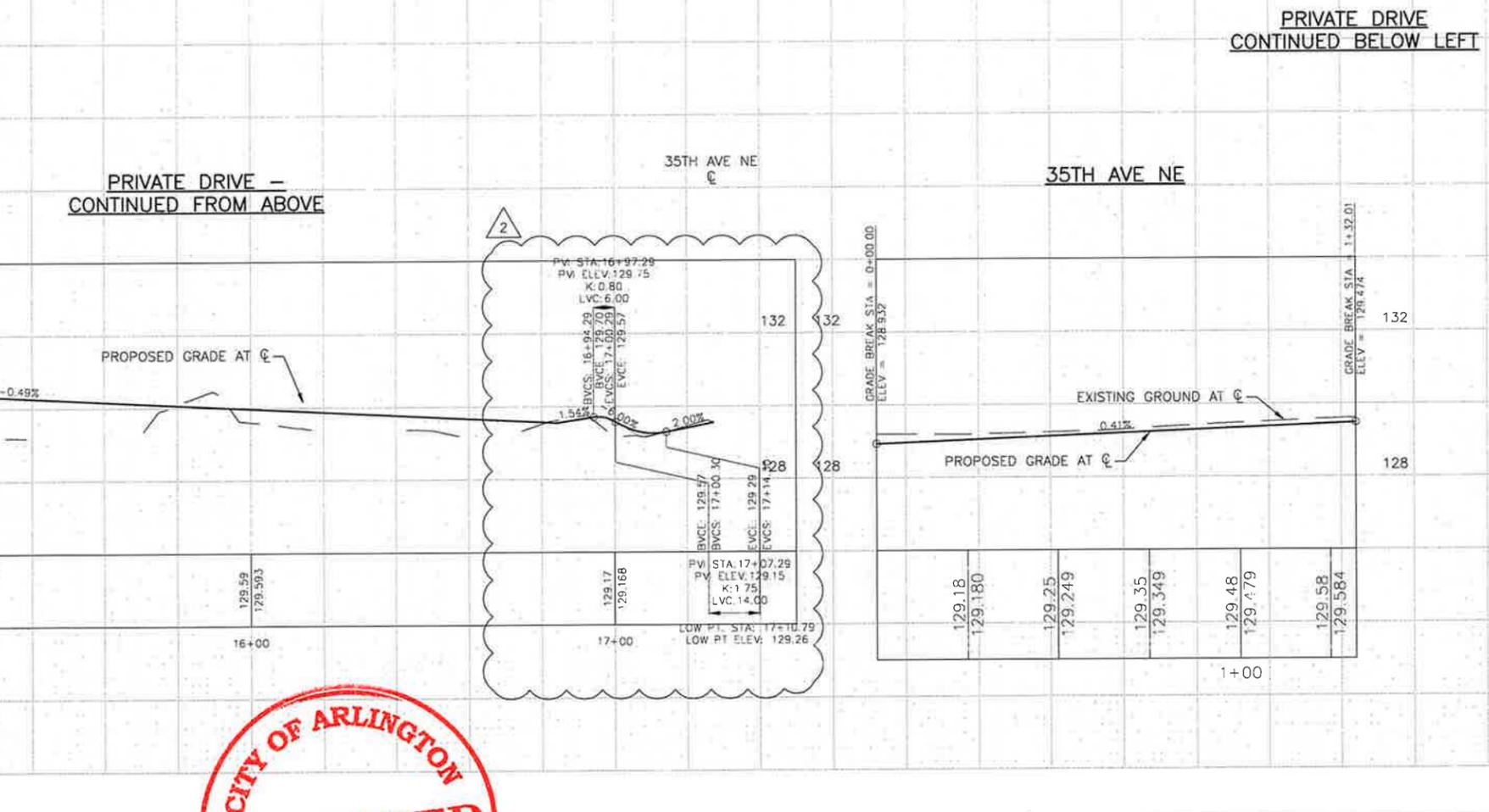
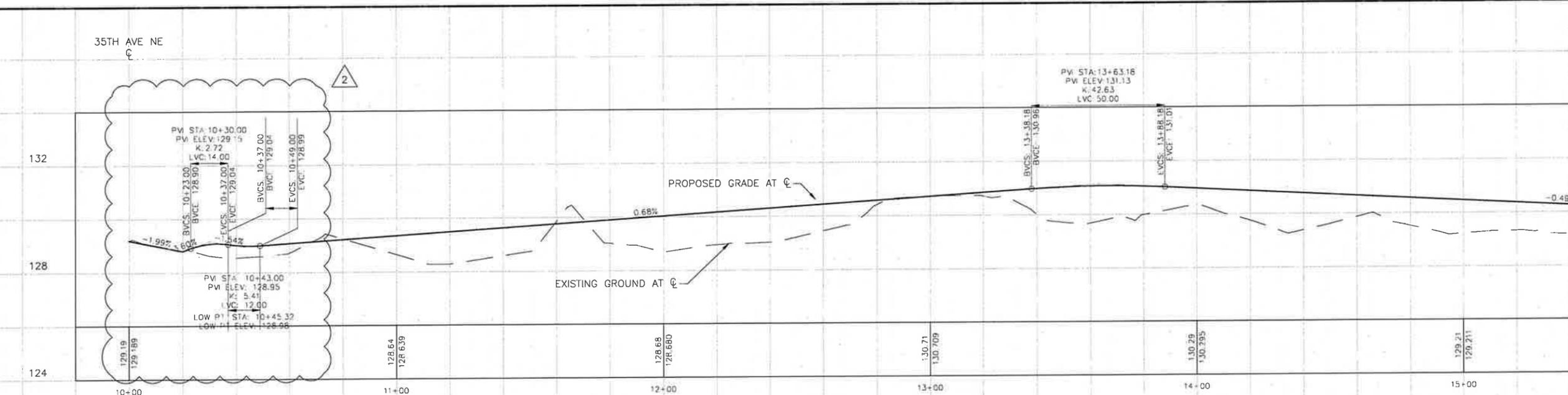


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ENDORSEMENTS  
  
 NORTHWEST CIVIL ENGINEERS PLLC  
 CONTACT: WEIMING BIAN, PE  
 (425) 440-9238  
 weiming.bian@outlook.com

PROJECT NAME	TOTEMWOOD TOWNHOMES	SHEET	6 OF 17
PROJECT ADDRESS	18601 35TH AVE NE ARLINGTON, WA 98223	CLASS/SHEET	C1
SHEET DESCRIPTION	SITE GRADING PLAN	CITY	ARLINGTON
		SCALE	REV. NO. 2

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Page 1 of 1

### Cut/Fill Report

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 By user: NCE  
 Drawing: C:\Users\NCE\OneDrive\2021 Arlington\CAD design\18601 Civil\3D2.dwg

Volume Summary							
Name	Type	Cut Factor	Fill Factor	2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
Totemwood EarthworkVolume2	full	1.000	1.100	37146.19	372.49	937.21*	564.73*
Totals				2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
Total				37146.19	372.49	937.21*	564.73*

\* Value adjusted by cut or fill factor other than 1.0

Page 1 of 1



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PROJECT NAME	TOTEMWOOD TOWNHOMES	SHEET	7 OF 17
PROJECT ADDRESS	18601 35TH AVE NE ARLINGTON, WA 98223	CLASS / SHEET	C2
SHEET DESCRIPTION	ROADWAY PROFILES	CITY	ARLINGTON
		SCALE	REV. NO. 2

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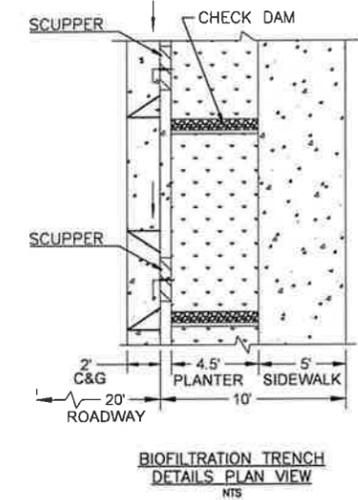
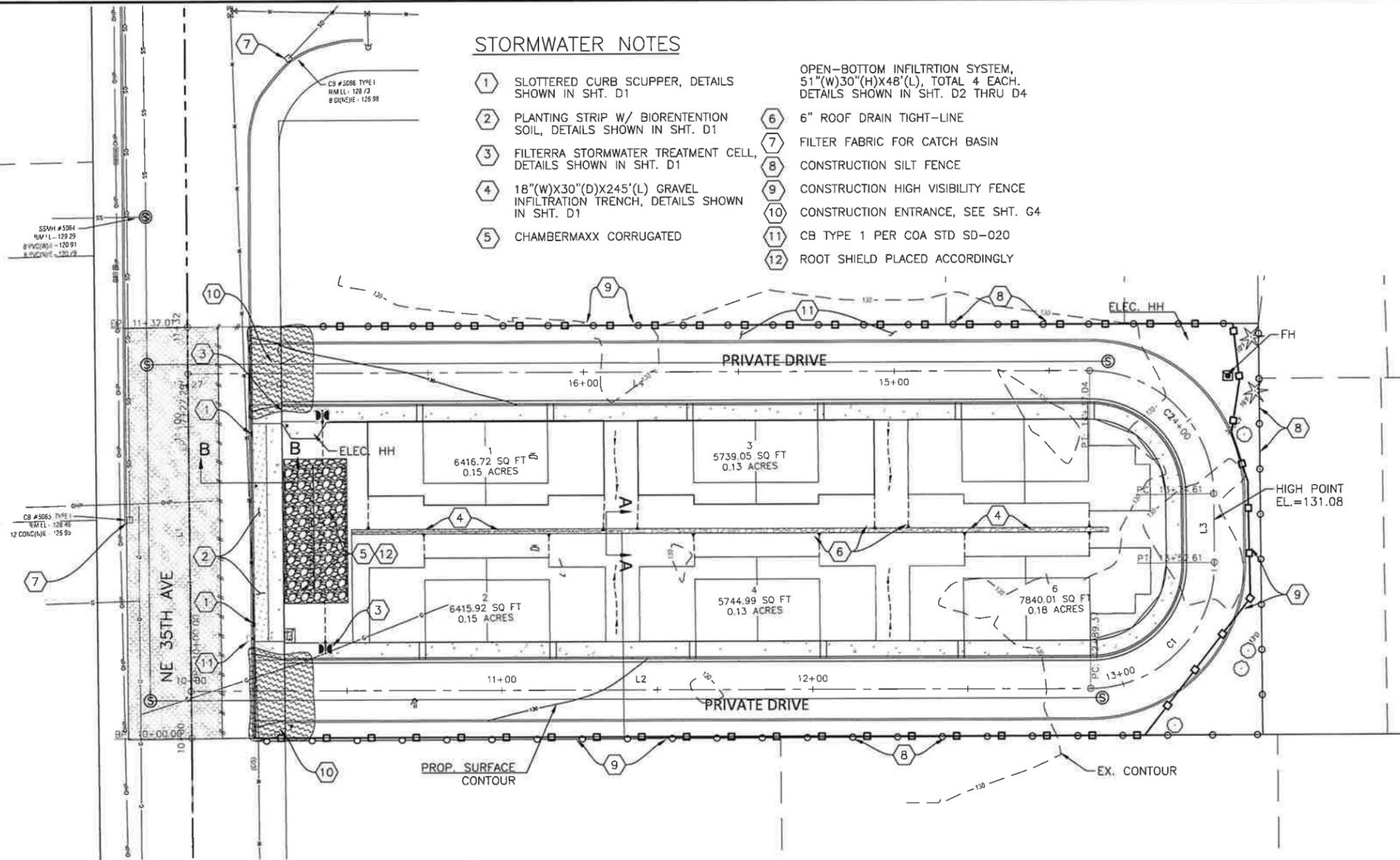
**STORMWATER NOTES**

- 1 SLOTTED CURB SCUPPER, DETAILS SHOWN IN SHT. D1
- 2 PLANTING STRIP W/ BIORETENTION SOIL, DETAILS SHOWN IN SHT. D1
- 3 FILTERRA STORMWATER TREATMENT CELL, DETAILS SHOWN IN SHT. D1
- 4 18"(W)X30"(D)X245"(L) GRAVEL INFILTRATION TRENCH, DETAILS SHOWN IN SHT. D1
- 5 CHAMBERMAXX CORRUGATED
- 6 6" ROOF DRAIN TIGHT-LINE
- 7 FILTER FABRIC FOR CATCH BASIN
- 8 CONSTRUCTION SILT FENCE
- 9 CONSTRUCTION HIGH VISIBILITY FENCE
- 10 CONSTRUCTION ENTRANCE, SEE SHT. G4
- 11 CB TYPE 1 PER COA STD SD-020
- 12 ROOT SHIELD PLACED ACCORDINGLY

OPEN-BOTTOM INFILTRATION SYSTEM, 51"(W)30"(H)X48"(L), TOTAL 4 EACH. DETAILS SHOWN IN SHT. D2 THRU D4

UNLESS OTHERWISE NOTED:

- 1 SEE SHT. L1 & L2 FOR LANDSCAPING PLANS
- 2 SEE SHT. D1 FOR TESC, CIVIL, & INFILTRATION DETAILS
- 3 SEE SHT. D2 THRU D4 FOR INFILTRATION GALLERY DETAILS



UNLESS OTHERWISE NOTED:

- ASPHALT PAVEMENT, FULL SECTION
- CONC SIDEWALK
- INFILTRATION TRENCH
- PLANTING STRIP
- CONSTRUCTION ENTRANCE



ONE INCH  
AT FULL SIZE

REV	DATE	IMAGE	DESCRIPTION

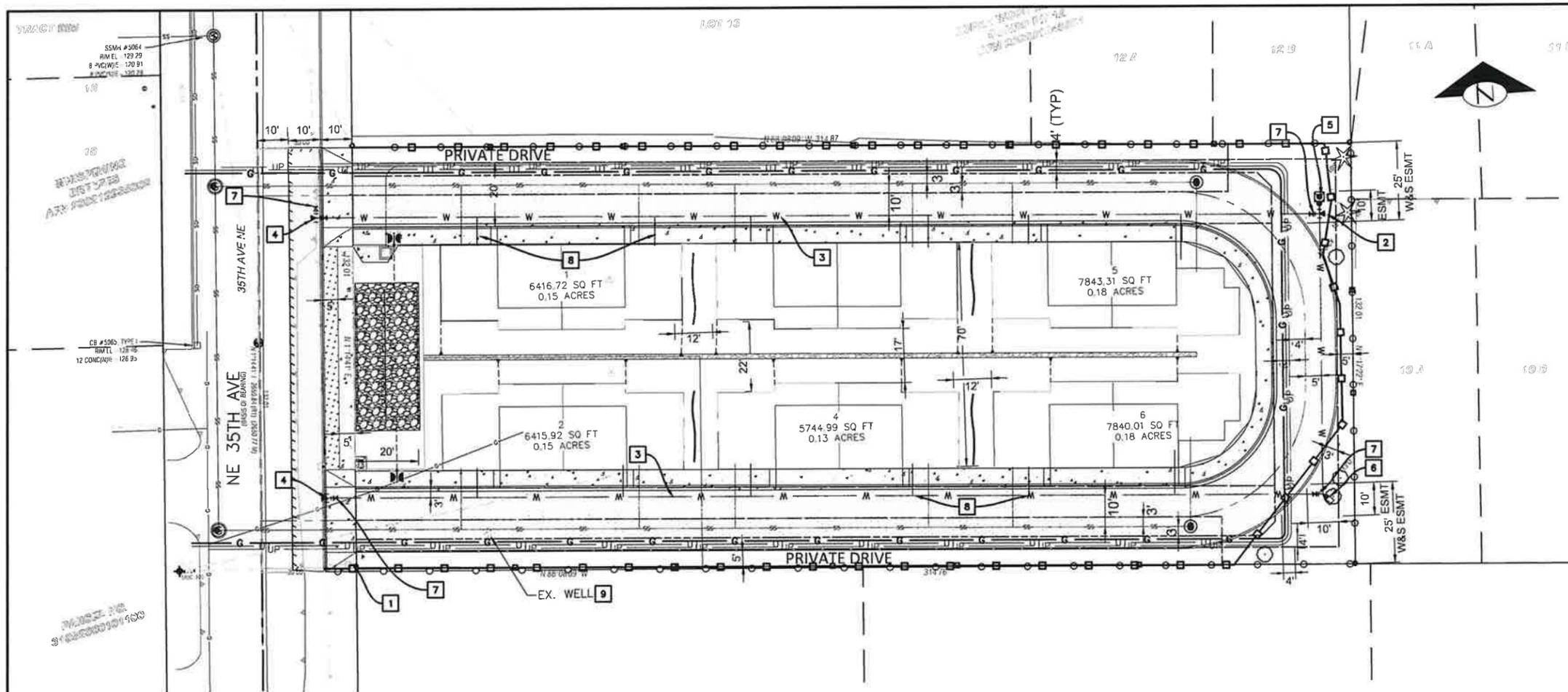
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CHECK: WB	10/10/2022

PROJECT NAME	TOTEMWOOD TOWNHOMES
PROJECT ADDRESS	18601 35TH AVE NE ARLINGTON, WA 98223
SHEET DESCRIPTION	STORMWATER PLAN

SHEET	8 OF 17
CLASS / SHEET	C3
CITY	ARLINGTON
SCALE	REV. NO.
	2



**SITE WATER SYSTEM CONSTRUCTION NOTES:**

- 1 MOVE EXISTING HYDRANT BEHIND THE PROP. SIDEWALK. APPLY OPERATION CLEARANCE TO OTHER ABOVE GROUND FACILITIES.
- 2 INSTALL 8" X 8" X 6" DI TEE (MJ X MJ X FL) FOR FIRE HYDRANT CONNECTION AND CONCRETE BLOCKING.
- 3 INSTALL 8" WATER LINE PER ARLINGTON ENGR. STD. CHAPTER 4 - WATER.
- 4 INSTALL 12" X 12" X 8" TAPPING TEE (MJ X MJ X FL) AND CONCRETE BLOCKING PER ARLINGTON ENGR. STD. W-200.
- 5 INSTALL FIRE HYDRANT ASSEMBLY PER ARLINGTON ENGR. STD. W-010 AND 3'X3'X6"(D) CONCRETE PAD.
- 6 INSTALL 8" DI 90° BEND (MJ X MJ) AND CONCRETE BLOCKING PER STD. DETAIL W-160.
- 7 INSTALL 8" GATE VALVE (FL X MJ) BOX PER ARLINGTON ENGR. STD. W-190.
- 8 INSTALL 1" WATER SERVICE PER ARLINGTON ENGR. STD. CHAPTER 4 WITH METER 1' BEHIND CURB AND DOUBLE CHECK VALVE ASSEMBLY TO BE INSTALLED BEHIND METER. SEE STD. DETAIL W-040 AND W-090.
- 9 DECOMMISSION EXISTING WATER WELL.

**CITY OF ARLINGTON GENERAL WATER SYSTEM CONSTRUCTION NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND CURRENT EDITION OF THE CITY OF ARLINGTON STANDARDS AND SPECIFICATIONS. ANY CHANGES TO THE DESIGN REQUIRE CITY APPROVAL.
2. ALL MATERIALS SHALL CONFORM TO THE CITY STANDARDS AND SPECIFICATIONS AND SHALL BE APPROVED BY THE CITY PRIOR TO DELIVERY TO THE JOB SITE. MATERIAL SUBMITTALS ARE REQUIRED AND MUST BE APPROVED PRIOR TO SCHEDULING A PRE-CONSTRUCTION CONFERENCE.
3. WATER MAINS SHALL BE CEMENT-LINED DUCTILE IRON PIPE CLASS 52 UNLESS OTHERWISE APPROVED BY THE CITY.
4. ALL SERVICE LOCATIONS SHALL BE FIELD APPROVED BY THE CITY PRIOR TO INSTALLATION.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UNDERGROUND UTILITIES BY CALLING ONE-CALL UNDERGROUND UTILITY LOCATOR (1-800-424-5555) 48 HOURS PRIOR TO CONSTRUCTION.
6. ADEQUATE TRENCH SHEETING AND/OR SHORING SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED BY OSHA AND WISHA.
7. THE PIPE SHALL BE INSTALLED BY FOLLOWING THE FINISHED GRADE PROFILE WHEREVER POSSIBLE. THE DEPTH OF COVER SHALL BE TYPICALLY 36 INCHES (3 FEET), AND MAY BE UP TO 60 INCHES (5 FEET) WITH THE APPROVAL OF THE CITY ENGINEER. WATER MAINS UNDER THE STATE (OR COUNTY) HIGHWAYS SHALL MEET THE MINIMUM COVER DEPTHS REQUIRED BY WSDOT (OR SNOHOMISH COUNTY).
8. PIPE JOINT DEFLECTIONS SHALL NOT EXCEED ONE-HALF OF PIPE MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTIONS. BENDS MAY BE REQUIRED TO MAINTAIN PROPER WATER MAIN ALIGNMENT WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.
9. WATER MAIN SHALL NOT BE PLACED UNDER SIDEWALK, CURBS, GUTTERS, OR ANY PERMANENT STRUCTURES WITHOUT THE PRIOR APPROVAL OF THE CITY ENGINEER.
10. NO CONNECTION TO THE CITY WATER SYSTEM IS ALLOWED UNTIL THE NEW CONSTRUCTION PASSES PRESSURE AND PURITY TESTS, AND HAS BEEN APPROVED AND ACCEPTED BY THE CITY.
11. PRIOR TO MAKING CONNECTIONS TO THE EXISTING SYSTEM, CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH AND MATERIAL OF EXISTING WATER MAINS AT THE POINT OF CONNECTION.
12. ALL WATER LINES SHALL BE A MINIMUM OF 10 FEET HORIZONTAL CLEARANCE FROM SANITARY SEWERS. WHEN WATER LINES CROSS SEWER LINES, THE MINIMUM VERTICAL CLEARANCE SHALL BE 18 INCHES.
13. TO FILL THE MAIN FOR FLUSHING, PRESSURE AND PURITY TESTS, THE CONTRACTOR IS REQUIRED TO USE AN APPROVED METER AND DCVA. THE HYDRANT SHALL REMAIN IN THE FULL OPEN POSITION TO PREVENT BACK-SIPHONAGE THROUGH THE DRAIN HOLE. AFTER SUCCESSFUL TESTING, THE CONTRACTOR WILL TIE INTO THE EXISTING SYSTEM, USING DISINFECTED SLEEVES AND SPOOL PIECES.
14. THE CONTRACTOR SHALL CONTACT THE CITY FOR VALVE OPERATION. ONLY AUTHORIZED REPRESENTATIVES OF THE CITY CAN OPERATE VALVES IN THE CITY WATER SYSTEM.
15. THE CONTRACTOR IS HEREBY NOTIFIED THAT, SINCE FILLING AND FLUSHING WILL BE DONE THROUGH A CROSS-CONNECTION CONTROL DEVICE, LOW VELOCITY FLOWS MAY BE ENCOUNTERED. THEREFORE, EVERY ATTEMPT SHALL BE MADE TO KEEP THE PIPE CLEAN DURING INSTALLATION. THIS MAY INCLUDE SWABBING THE PIPE WITH CHLORINATED WATER.
16. THE CONTRACTOR SHALL PERFORM TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL, DUST CONTROL, NOISE CONTROL, AND TRAFFIC CONTROL AS REQUIRED BY THE CITY OR OTHER APPLICABLE AGENCIES.
17. CUTTING AND PATCHING OF ROADWAYS SHALL CONFORM TO THE REQUIREMENTS OF THE RIGHT-OF-WAY PERMIT OF THE CITY OR OTHER APPLICABLE AGENCY.
18. ALL IN-LINE PIPE JOINTS SHALL BE RESTRAINED WITH FIELD LOCK GASKETS.
19. ALL FITTINGS SHALL BE RESTRAINED JOINTS AND HAVE THRUST BLOCKING.

UNLESS OTHERWISE NOTED:

-  ASPHALT PAVEMENT
-  CONC SIDEWALK
-  INFILTRATION TRENCH
-  PLANTING STRIP
-  CONSTRUCTION ENTRANCE



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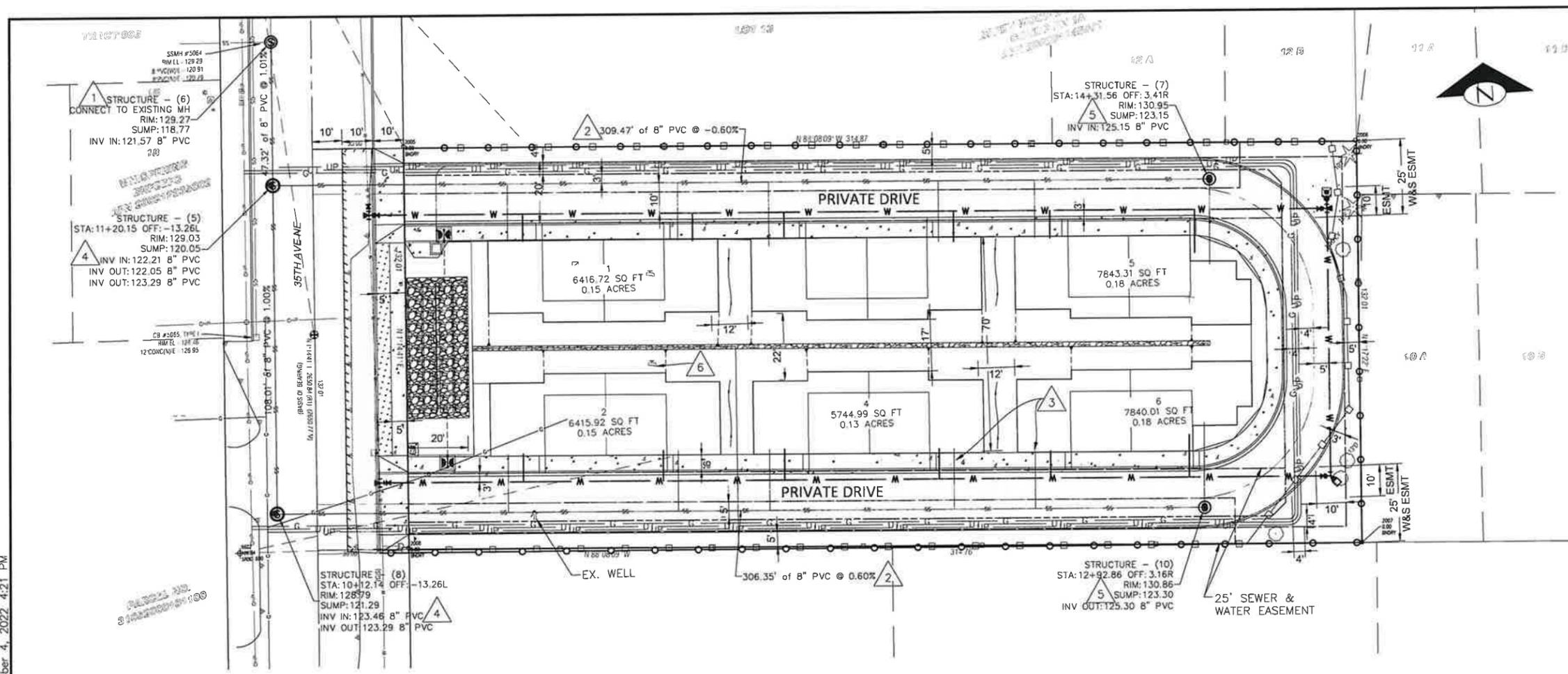


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PROJECT NAME	TOTEMWOOD TOWNHOMES	SHEET	9 of 17
PROJECT ADDRESS	18601 35TH AVE NE ARLINGTON, WA 98223	CLASS 1 SHEET	U1
CITY	ARLINGTON	SCALE	REV. NO.
SHEET DESCRIPTION	WATER EXTENTION PLAN		1

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UNLESS OTHERWISE NOTED:

- ASPHALT PAVEMENT
- CONC SIDEWALK
- INFILTRATION TRENCH
- PLANTING STRIP
- CONSTRUCTION ENTRANCE

### SITE SEWER CONSTRUCTION NOTES

1. CONNECT TO EX. SEWER MANHOLE-X. CORE DRILL AND INSTALL KOR-N-SEAL MANHOLE ADAPTER. RECHANNEL MANHOLE BOTTOM. SEE ARLINGTON CITY ENGR. STD. DETAIL SS-100.
2. INSTALL 8" PVC SEWER MAIN PER ARLINGTON CITY ENGR. STD.
3. INSTALL 6" PVC SIDE SEWER STUB, PER ARLINGTON CITY ENGR. STD. SEWER DETAIL SS-090 AND 2-WAY CLEANOUT PER SS-080.
4. INSTALL 48" MANHOLE TYPE 1 PER ARLINGTON CITY ENGR. STD DETAIL SS-010.
5. INSTALL SEWER DROP CONNECTION PER COA ENGR. STD. DETAIL SS-060.
6. REMOVE EXISTING SEPTIC SYSTEM IN WHOLE.

### CITY OF ARLINGTON SEWER CONSTRUCTION NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS, AND CURRENT EDITION OF THE CITY OF ARLINGTON STANDARDS AND SPECIFICATIONS. ANY CHANGES TO THE DESIGN REQUIRES CITY APPROVAL.
2. ALL MATERIALS SHALL CONFORM TO THE CITY OF ARLINGTON STANDARDS AND SPECIFICATIONS AND THE MATERIAL SUBMITTALS SHALL BE APPROVED BY THE CITY BEFORE SCHEDULING THE PRECONSTRUCTION CONFERENCE AND BEFORE THE MATERIALS ARE DELIVERED TO THE JOB SITE. ONCE THE MATERIALS ARE DELIVERED TO THE JOB SITE THE INSPECTOR WILL DETERMINE IF THE MATERIALS WERE MANUFACTURED TO MEET THE REQUIREMENTS OF THE CITY OF ARLINGTON STANDARDS AND SPECIFICATIONS BEFORE THE MATERIALS CAN BE INSTALLED.
3. ALL SEWER MAINS AND SIDE SEWER STUBS SHALL BE FIELD STAKED FOR GRADES AND ALIGNMENT BY A SURVEYOR PRIOR TO CONSTRUCTION. THE CONSTRUCTION STAKES MUST SHOW THE STATION AND OFFSET TO THE ALIGNMENT.
4. THE CITY OF ARLINGTON WASTEWATER DIVISION SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE OF A TAP OR CONNECTION TO AN EXISTING SANITARY SEWER MAIN. THE INSPECTOR SHALL BE PRESENT AT THE TIME OF THE TAP OR CONNECTION.
- 5.
6. GRAVITY SEWERS, INCLUDING SIDE SEWERS, WITH 5 TO 14 FEET OF COVER SHALL BE PVC ASTM D 3034 SDR 35. GRAVITY SEWER MAINS WITH LESS THAN 5 FEET OR GREATER THAN 14 FEET OF COVER SHALL BE DUCTILE IRON PIPE CLASS 52, OR C-900 PVC. IF DUCTILE IRON PIPE IS USED FOR SEWER, THE PIPE INTERIOR SHALL BE EPOXY COATED (NOT CEMENT-LINED).
7. PRE-CAST MANHOLES SHALL MEET THE REQUIREMENTS OF ASTM C-478. JOINTS SHALL BE RUBBER GASKETED AND GROUTED BOTH INSIDE AND OUTSIDE OF THE MANHOLE PER CITY OF ARLINGTON STANDARDS AND SPECIFICATIONS. ALL LIFT HOLES CUT THROUGH THE WALLS OF THE MANHOLE SHALL BE GROUTED FROM THE INSIDE AND OUTSIDE OF THE MANHOLE TO BE WATERTIGHT. ADDITIONAL WATERPROOFING MAY BE REQUIRED.

8. SIDE SEWER SERVICES SHALL BE PVC ASTM D 3034 SDR 35 WITH FLEXIBLE GASKETED JOINTS. SIDE SEWER CONNECTIONS SHALL BE MADE BY A TAP TO AN EXISTING MAIN OR A TEE FROM A NEW MAIN CONNECTED ABOVE THE SPRING LINE OF THE PIPE. WYES ARE NOT ALLOWED ON LINES 8" OR LARGER. SIDE SEWERS CAN NOT BE INSTALLED UNDER DRIVEWAYS UNLESS APPROVED BY THE CITY INSPECTOR.
9. ALL SEWER PIPE SHALL BE INSTALLED WITH A CONTINUOUS TRACER TAPE 24" - 48" UNDER THE PROPOSED FINISHED SUBGRADE, OR AS DIRECTED BY THE CITY INSPECTOR. THE MARKER SHALL BE PLASTIC, NON-BIODEGRADABLE, METAL CORE, AND DETECTABLE, WITH BACKING MARKED "SEWER".
10. SIDE SEWERS SHALL BE INSTALLED BY THE DEVELOPER AND COORDINATED FOR CLEARANCE WITH POWER, GAS, TELEPHONE, CABLE, AND OTHER UTILITIES. SIDE SEWERS SHALL BE A MINIMUM OF 10 FEET BEYOND PROPERTY LINES AND 5' BEYOND ANY EASEMENT.
11. THE SEWER PIPE SHALL BE INSTALLED STARTING FROM DOWNSTREAM OF THE POINT OF CONNECTION ON THE EXISTING SEWER OR FROM A DESIGNATED STARTING POINT. THE SEWER PIPE SHALL BE INSTALLED WITH THE BELL END UPSTREAM.
12. ADEQUATE TRENCH SHEETING AND/OR SHORING SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED BY OSHA AND WISHA.
13. TO PREVENT WATER OR DEBRIS FROM DISCHARGING INTO THE CITY'S EXISTING SEWER SYSTEM, THE CONTRACTOR SHALL INSTALL A PLUG IN THE CONNECTION MANHOLE OR AS DIRECTED BY THE CITY INSPECTOR. THE PLUG SHALL NOT BE REMOVED UNTIL THE SEWER IS ACCEPTED BY THE CITY.
14. ALL SEWER LINES SHALL MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL CLEARANCE AND A MINIMUM OF 18 INCHES VERTICAL CLEARANCE FROM WATER LINES. SEE STANDARDS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND ALTERNATIVES.

15. PIPE BEDDING SHALL BE IN ACCORDANCE WITH THE CITY OF ARLINGTON STANDARD AND WSDOT STANDARD SPECIFICATIONS. 3/8-INCH MINUS STANDARD MANUFACTURED CLEAN PEA GRAVEL IS THE REQUIRED BEDDING MATERIAL. ALL PIPE SHALL BE LAID ON A PROPERLY PREPARED FOUNDATION. THIS SHALL INCLUDE NECESSARY LEVELING OF THE TRENCH BOTTOM OR THE TOP OF THE FOUNDATION MATERIALS AS WELL AS PLACEMENT AND COMPACTION OF REQUIRED BEDDING MATERIAL TO UNIFORM GRADE SO THAT THE ENTIRE LENGTH OF THE PIPE WILL BE SUPPORTED BY A UNIFORMLY DENSE UNYIELDING BASE.
16. THE CONTRACTOR SHALL COMPACT TRENCH BACKFILL WITHIN THE CITY RIGHT-OF-WAY TO AT LEAST 90% MAXIMUM DRY DENSITY FROM THE BOTTOM OF THE TRENCH TO A DEPTH OF 3' BELOW THE SURFACE. THE TRENCH BACKFILL MUST BE COMPACTED TO AT LEAST 95% MAXIMUM DENSITY WITHIN 3' OF THE SURFACE. ASPHALT MUST BE COMPACTED TO MEET THE REQUIREMENTS ON THE PLANS. ALL COMPACTION TESTS ARE AT THE DEVELOPER'S EXPENSE.



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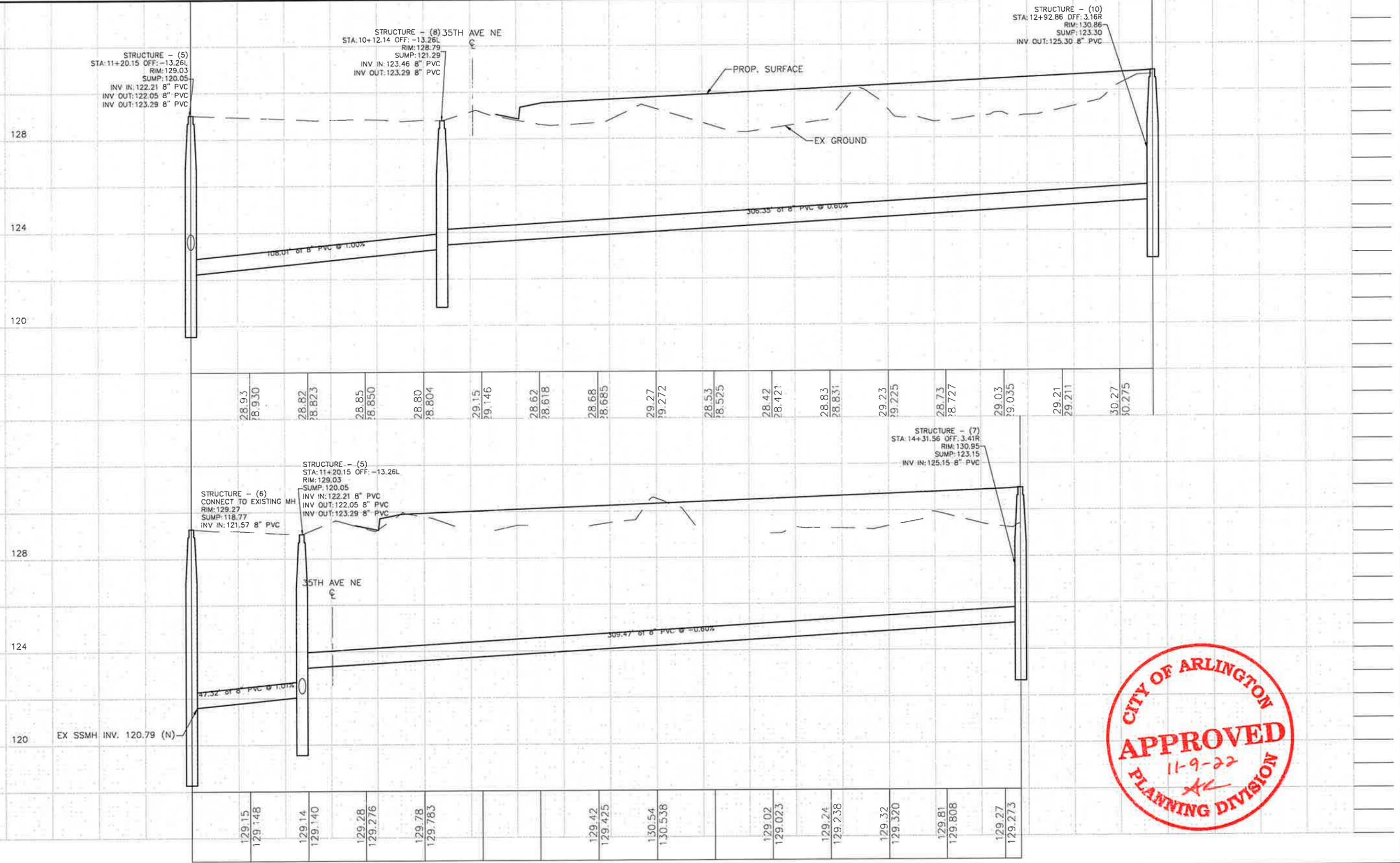
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NORTHWEST CIVIL ENGINEERS PLLC  
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PROJECT NAME	TOTEMWOOD TOWNHOMES	SHEET	10 of 17
PROJECT ADDRESS	18601 35TH AVE NE ARLINGTON, WA 98223	CLASS SHEET	U2
SHEET DESCRIPTION	SEWER EXTENTION PLAN	CITY	ARLINGTON
		SCALE	REV. NO.
			1

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PROJECT NAME	TOTEMWOOD TOWNHOMES
PROJECT ADDRESS	18601 35TH AVE NE ARLINGTON, WA 98223
SHEET DESCRIPTION	SEWER EXTENSION PROFILE

SHEET	11 OF 17
CLASS/SHEET	U3
CITY	ARLINGTON
SCALE	REV. NO.
	1

**CODE REQUIREMENTS:**

- IRRIGATION NOTE: ALL PROPOSED PLANT MATERIALS ARE DROUGHT TOLERANT ONCE ESTABLISHED. IRRIGATION SYSTEM IS PROPOSED. THE DEVELOPER AND THE CONTRACTOR WILL BE RESPONSIBLE FOR PLANT MAINTENANCE, INCLUDING WATERING, PRUNING, AND FERTILIZING, FOR A MINIMUM OF (3) YEARS OR UNTIL THE ESTABLISHMENT OF THE TOTEMWOOD HOME OWNER ASSOCIATION. ALSO SEE THE DRAINAGE REPORT SECTION "OPERATIONS & MAINTENANCE" FOR MORE DETAILS.
- SEE TREE PROTECTION PLAN PREPARED BY A.B.C. ARBORISTS FOR TREE INFORMATION INCLUDING LOCATION OF EXISTING SIGNIFICANT TREES TO BE REMOVED AND TABLE SHOWING THE NUMBER OF TREES AND SPECIES TO BE REMOVED.
- TOTAL LOT SIZE = 41,556 SF.  
LANDSCAPE AREA REQUIRED PER AMC 20.52.030 = 5%  
LANDSCAPE AREA PROVIDED = 11,611 SF  
LANDSCAPE AREA = 30%

**NOTES:**

- PLANTING DETAILS SHALL BE PER CITY OF ARLINGTON REQUIREMENTS AND STANDARD DETAILS.
- PRIOR TO PLANTING INCORPORATE A MINIMUM OF 4" DEPTH COMPOST INTO THE TOP 8" OF EXISTING SOIL IN ALL LANDSCAPE AREAS. ALTERNATIVELY A MINIMUM 8" DEPTH OF COMMERCIALY PREPARED TOPSOIL MAY BE USED IN PLANTING AREAS. SCARIFY SUBGRADE.
- PROVIDE MINIMUM 2" DEPTH ARBORIST WOOD CHIP MULCH IN ALL PLANTING BEDS.
- LANDSCAPE PLAN IS SCHEMATIC. ADJUST PLANTS IN THE FIELD AS NEEDED TO AVOID CONFLICTS.
- ALL PLANT MATERIALS SHALL CONFORM TO THE LATEST ANLA STANDARDS.

**PLANTING SCHEDULE:**

**TREES**

QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION/REMARKS
41	CHAMAECYPARIS OBTUSA 'GRACILIS'	SLENDER HINOKI FALSE CYPRESS	2" CALIPER, TREE FORM, WELL-BRANCHED, FULL, B&B
52	CHAMAECYPARIS NOOTKATENSIS 'GREEN ARROW'	GREEN ARROW ALASKAN CEDAR	2" CALIPER, TREE FORM, WELL-BRANCHED, FULL, B&B
7	CORNUS 'EDDIE'S WHITE WONDER'	EDDIE'S WHITE WONDER DOGWOOD	2" CALIPER, TREE FORM, WELL-BRANCHED, FULL, B&B
2	NYSSA SYLVATICA	SOUR GUM	2" CALIPER, TREE FORM, WELL-BRANCHED, FULL, B&B
2	THUJA PLICATA	WESTERN RED CEDAR	2" CALIPER, TREE FORM, WELL-BRANCHED, FULL, B&B

**SHRUBS**

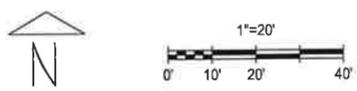
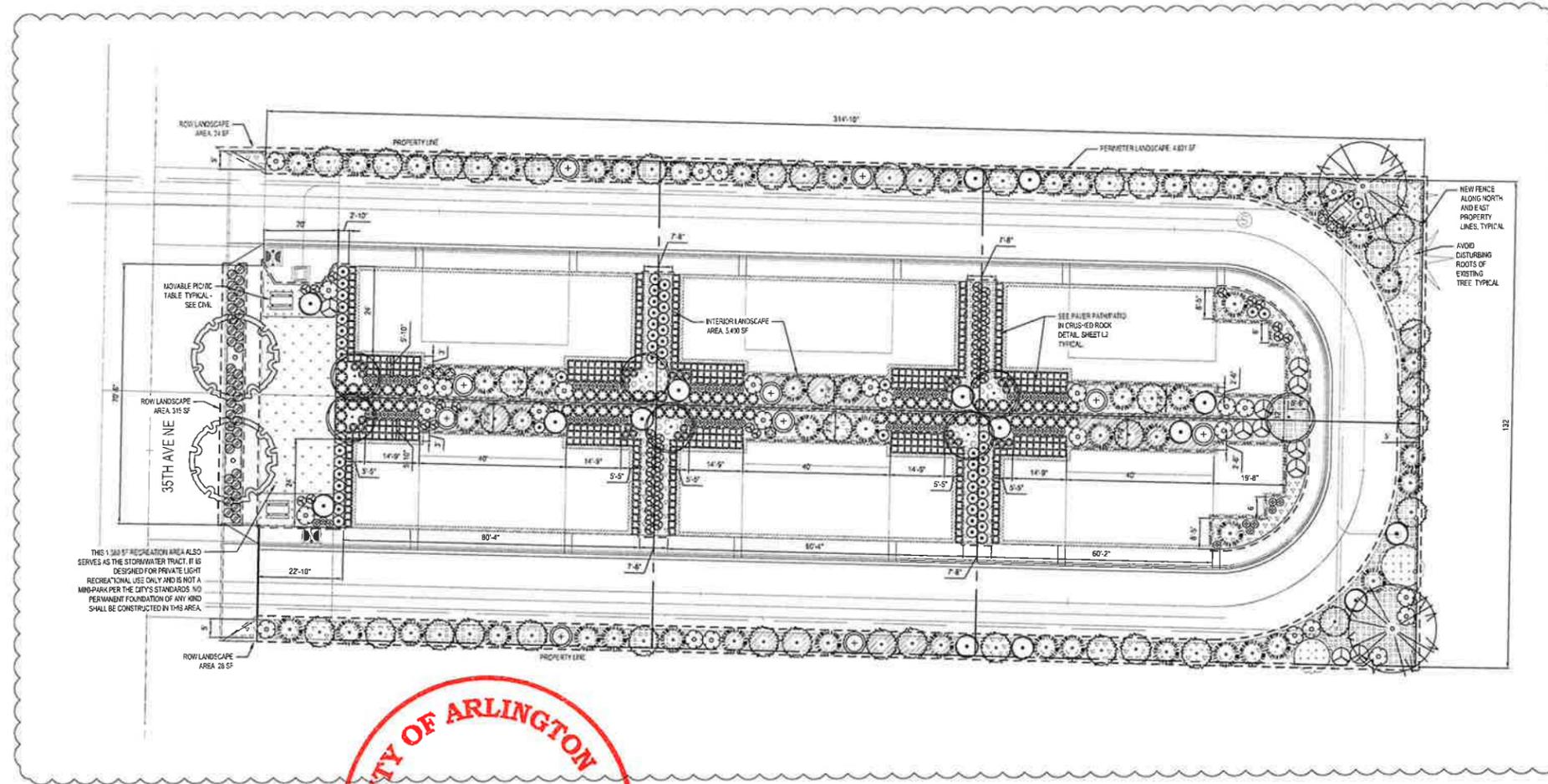
QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION/REMARKS
10	CORNUS SANGUINEA 'MIDWINTER FIRE'	MIDWINTER FIRE DOGWOOD	#5 CONT, FULL
58	GAULTHERIA SHALLON	SALAL	#2 CONT, FULL
7	MAHONIA AQUIFOLIUM	TALL OREGON GRAPE	#2 CONT, FULL
10	PHILADELPHUS LEWISII	MOCK ORANGE	#5 CONT, FULL
29	RHODODENDRON 'KEN JANECK'	KEN JANECK RHODODENDRON	#2 CONT, FULL
15	RIBES SANGUINEUM 'KING EDWARD VII'	KING EDWARD VII FLOWERING CURRANT	#5 CONT, FULL
77	TAXUS X MEDIA 'HICKSII'	HICK'S YEW	#2 CONT, FULL

**PERENNIALS, FERNS, GRASSES, AND GROUNDCOVERS**

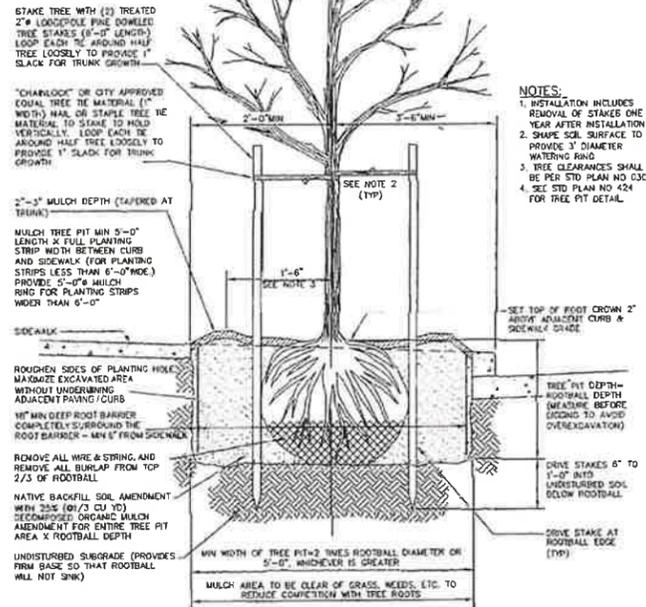
QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION/REMARKS
350	ARCTOSAPHYLLOS UVA-URSII	KINNIKINICK	SP4, FULL, 24" O.C.
39	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	#1 CONT, FULL
84	DESCHAMPSIA CESPITOSA	TUFTED HAIRGRASS	#1 CONT, FULL
400	FRAGARIA CHILOENSIS	COASTAL STRAWBERRY	#1 CONT, FULL, 18" O.C.
60	HAKONECHLOA MACRA 'AUREOLA'	JAPANESE FOREST GRASS	#1 CONT, FULL, 18" O.C.
30	HOSTA 'FRANCEE'	FRANCEE HOSTA	#1 CONT, FULL
375	MAHONIA REPENS	CREeping OREGON GRAPE	#1 CONT, FULL, 24" O.C.
60	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#2 CONT., MIN (10) FRONDS, 24" O.C.

381 SF MULCH ONLY

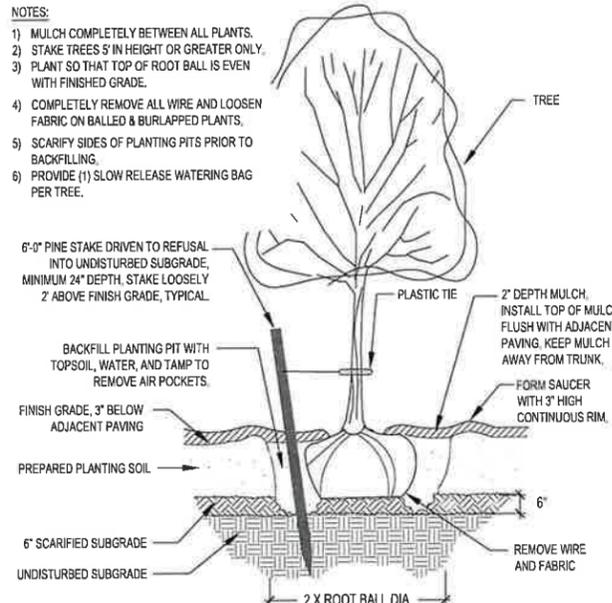
859 SF SOD LAWN



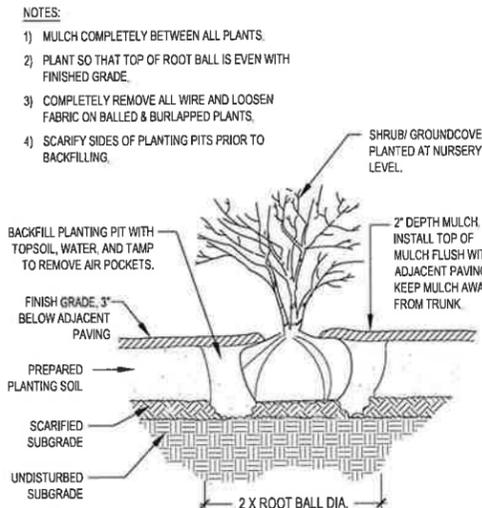
<p>ONE INCH AT FULL SIZE</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>No.</th> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>PLANTING</td> <td>8/1/2022</td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> </tbody> </table>	No.	REVISION	DATE	1	PLANTING	8/1/2022	2			<p><b>russell + lambert</b> LANDSCAPE ARCHITECTURE 7724 2nd Ave NE Seattle, WA 98115</p>	<p>APPLICANT: Weiming Bian, PE Northwest Civil Engineers PLLC (425) 440-9238</p> <p>OWNER: Weiming Bian ARQO2B LLC (425) 440-9238</p>		<p>ENDORSEMENTS</p> <table border="1"> <thead> <tr> <th>SIGNATURE</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>DRAWN: MER</td> <td>8/1/2022</td> </tr> <tr> <td>CHECK: RL</td> <td>8/1/2022</td> </tr> </tbody> </table>	SIGNATURE	DATE	DRAWN: MER	8/1/2022	CHECK: RL	8/1/2022	<p>LANDSCAPE PERMIT DRAWING</p> <p>PLANTING PLAN</p>	<p>PROJECT TYPE RESIDENTIAL DEVELOPMENT</p>	<p>SHEET 12 of 17</p>
	No.	REVISION	DATE																				
1	PLANTING	8/1/2022																					
2																							
SIGNATURE	DATE																						
DRAWN: MER	8/1/2022																						
CHECK: RL	8/1/2022																						
<p>PROJECT NAME TOTEMWOOD TOWNHOMES</p>	<p>CLASS / SHEET L1</p>	<p>PROJECT ADDRESS 18601 35TH AVE NE ARLINGTON, WA 98223</p>	<p>CITY ARLINGTON</p>																				



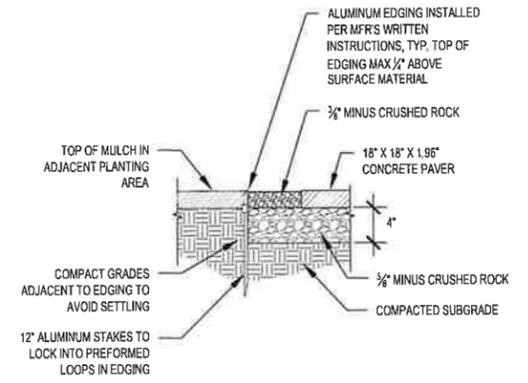
**A** STREET TREE PLANTING DETAIL  
NOT TO SCALE



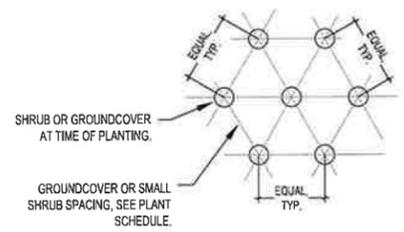
**B** TREE PLANTING ON PARCEL DETAIL  
NOT TO SCALE



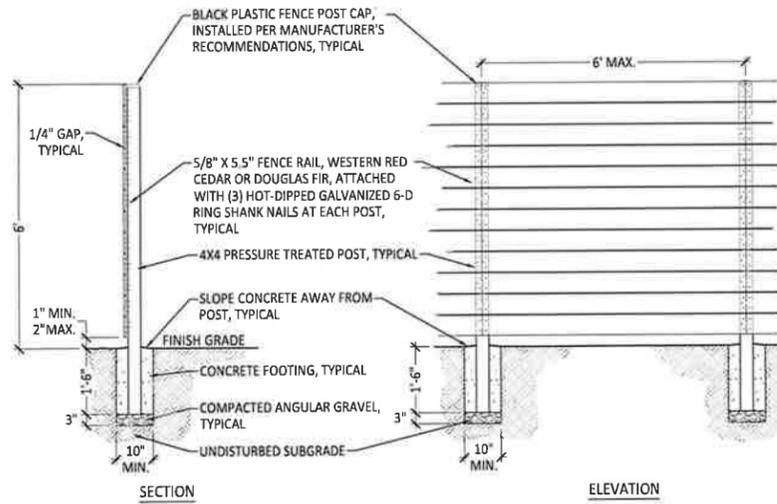
**C** SHRUB & GROUND COVER PLANTING DETAIL  
NOT TO SCALE



**D** PAVER PATH/ PATIO IN CRUSHED ROCK DETAIL  
NOT TO SCALE



**E** TYPICAL PLANT SPACING  
NOT TO SCALE



**E** TYPICAL FENCE DETAIL  
NOT TO SCALE



ONE INCH  
AT FULL SIZE

REVISIONS		
No.	REVISION	DATE
1	PLANTING	8/1/2022
2		

**russell + lambert**  
LANDSCAPE ARCHITECTURE  
7724 2nd Ave NE  
Seattle, WA 98115

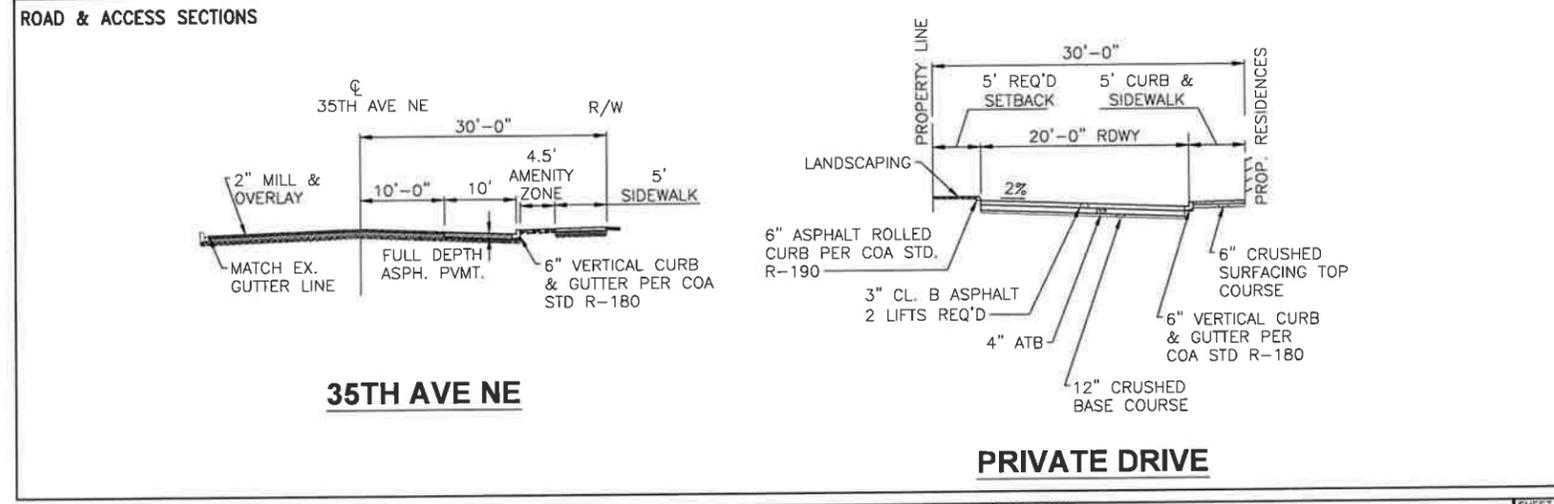
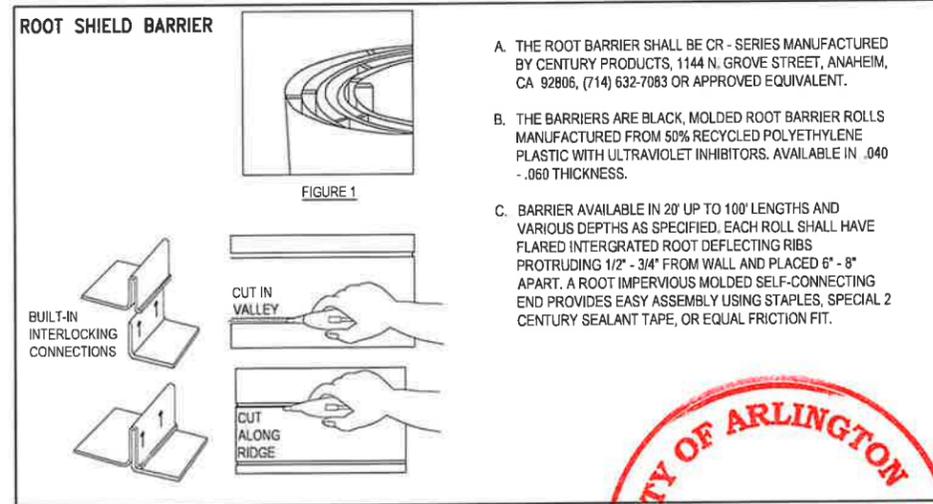
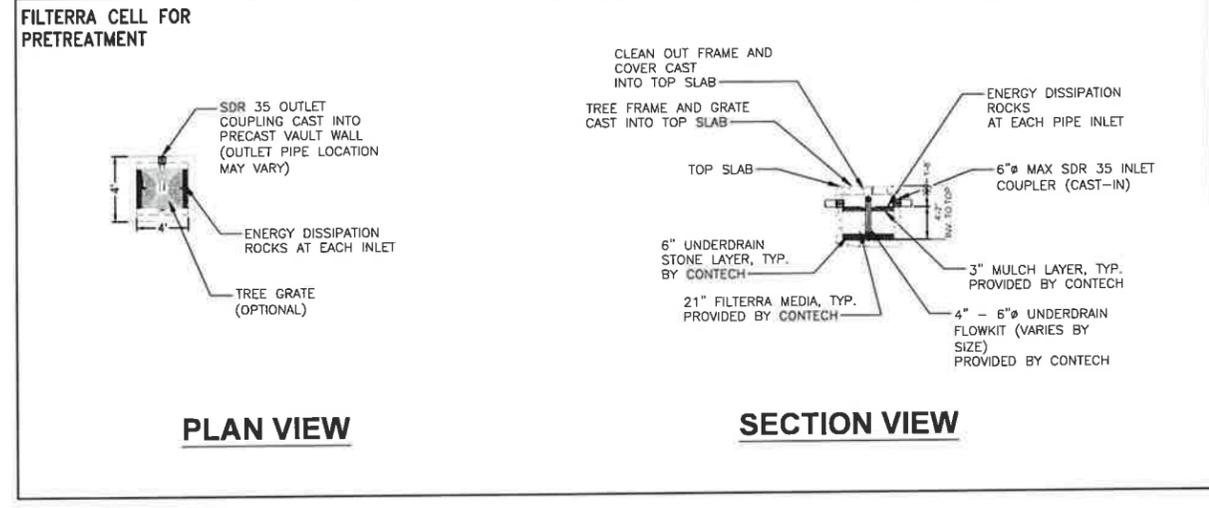
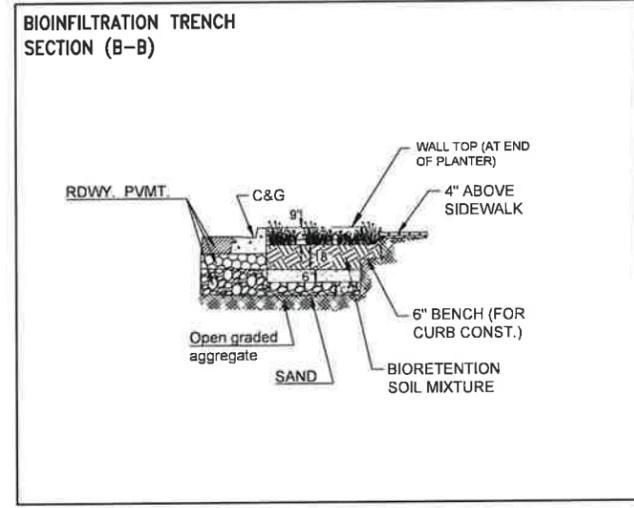
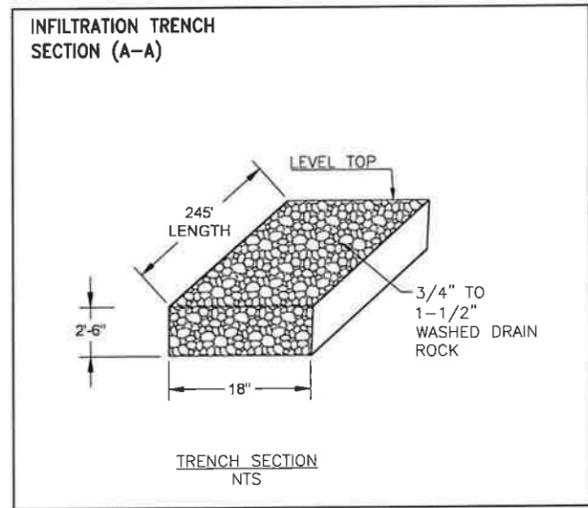
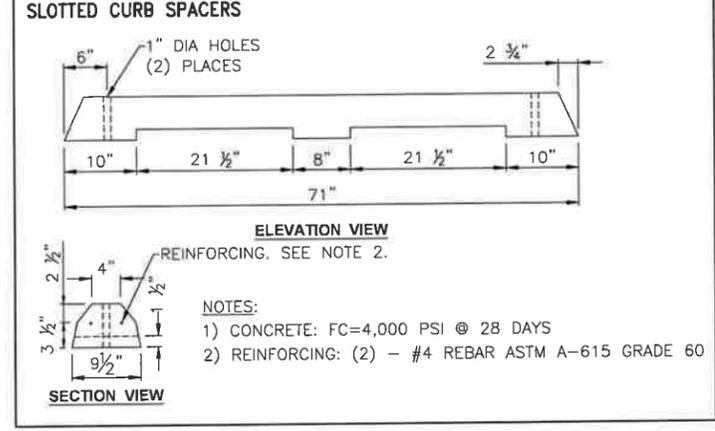
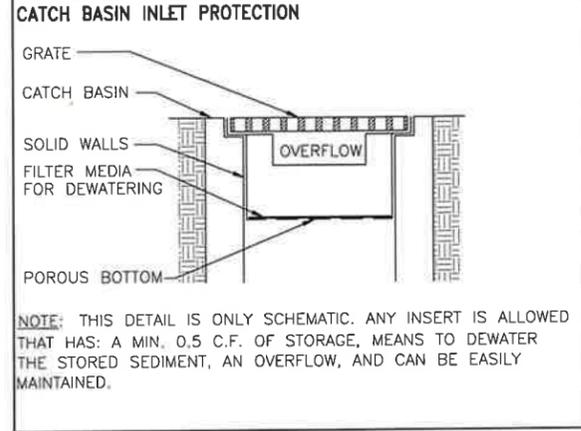
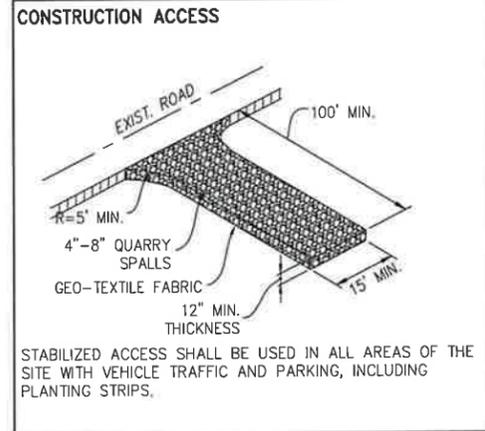
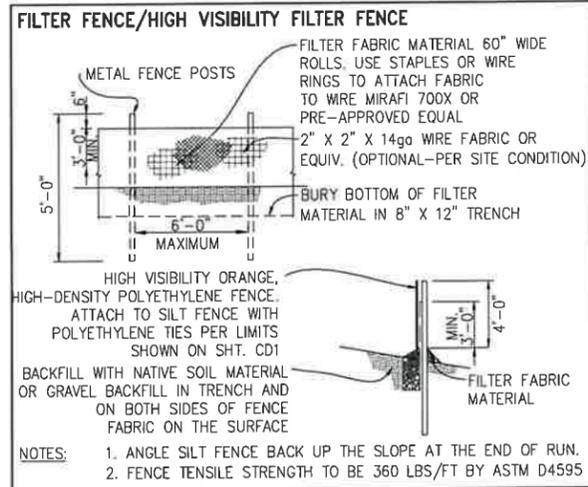
APPLICANT:  
Weiming Bian, PE  
Northwest Civil Engineers PLLC  
(425) 440-9238  
  
OWNER:  
Weiming Bian  
ARQO28 LLC  
(425) 440-9238



ENDORSEMENTS	
SIGNATURE	DATE
DRAWN: MER	8/1/2022
CHECK: RL	8/1/2022

LANDSCAPE PERMIT  
DRAWING  
  
PLANTING DETAILS

PROJECT TYPE	RESIDENTIAL DEVELOPMENT	SHEET	13 of 17
PROJECT NAME	TOTEMWOOD TOWNHOMES	CLASS / SHEET	L2
PROJECT ADDRESS	18601 35TH AVE NE ARLINGTON, WA 98223	CITY	ARLINGTON
		SCALE	AS SHOWN
		REV. NO.	1



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ENDORSEMENTS	
SIGNATURE	
DRAWN	
CHECK: WB	10/10/2022

**NORTHWEST CIVIL ENGINEERS PLLC**  
CONTACT: WEIMING BIAO, PE  
(425) 440-9238  
weiming.biao@outlook.com

PROJECT NAME	TOTEMWOOD TOWNHOMES	SHEET	14 of 17
PROJECT ADDRESS	18601 35TH AVE NE ARLINGTON, WA 98223	CLASS / SHEET	D1
SHEET DESCRIPTION	DETAILS	CITY	ARLINGTON
		SCALE	REV. NO.
			0

# PROJECT SUMMARY

## DESIGN PARAMETERS

- PRETREATMENT METHOD = Hydrodynamic Separator
- STORAGE VOLUME REQUIRED = 1100ft<sup>3</sup>
- INVERT DEPTH = 6ft
- MANIFOLD DIAMETER = 12in.
- SPACING BETWEEN CHAMBERS = 5.6in.
- SIDE PERIMETER STONE WIDTH = 12in.
- END PERIMETER STONE WIDTH = 12in.
- TOP PERIMETER STONE WIDTH = 6in.
- BOTTOM PERIMETER STONE WIDTH = 6in.
- STONE POROSITY = 40%

## SYSTEM DETAILS

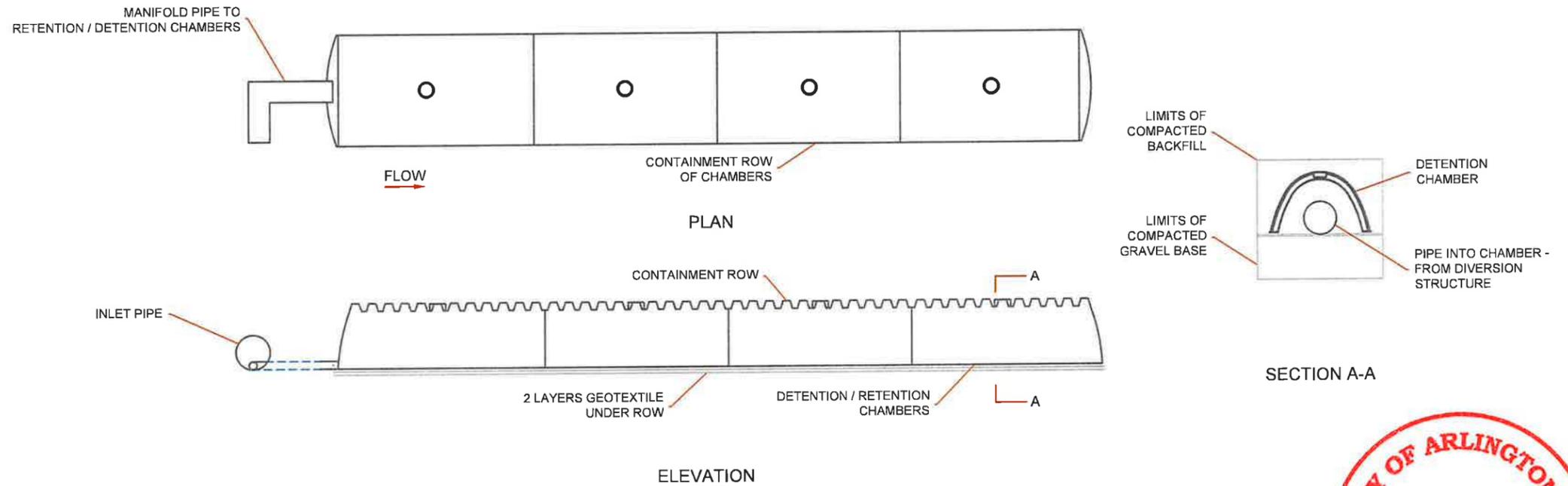
- TOTAL ELBOW MANIFOLDS = 1
- TOTAL TEE MANIFOLDS = 1
- TOTAL START CHAMBERS = 2
- TOTAL MID CHAMBERS = 8
- TOTAL END CHAMBERS = 2
- TOTAL NUMBER OF CHAMBERS = 12
- NUMBER OF ROWS = 2
- CHAMBERS PER ROW = 6
- CHAMBER STORAGE VOLUME = 570.4ft<sup>3</sup>
- MANIFOLD STORAGE VOLUME = 10.44ft<sup>3</sup>
- BACKFILL STORAGE VOLUME = 532.94ft<sup>3</sup>
- TOTAL STORAGE PROVIDED = 1113.78ft<sup>3</sup>

## SYSTEM DIMENSIONS AND OTHER MATERIALS

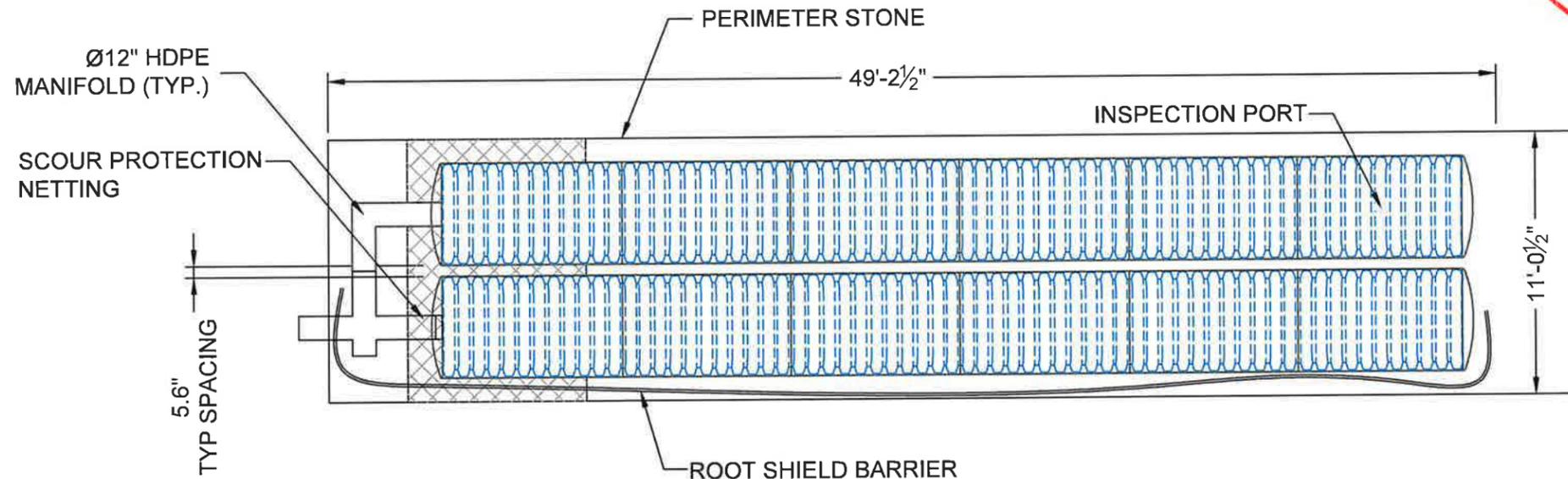
- RECTANGULAR FOOTPRINT = 49.19x11.03ft
- TOTAL EXCAVATION = 130.66y<sup>3</sup>
- STONE BACKFILL = 49.35y<sup>3</sup>
- REMAINING BACKFILL TO PAVEMENT = 59.8y<sup>3</sup>
- WOVEN GEOTEXTILE QTY = 0y<sup>2</sup>
- NON-WOVEN GEOTEXTILE QTY = 60.31y<sup>2</sup>
- SCOUR PROTECTION FITTING = 11.03x7.5ft
- APPROXIMATE TRUCKLOADS = 1

## GENERAL NOTES

1. ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS AND INLETS SHALL BE VERIFIED BY THE ENGINEER OF RECORD.
2. PRIOR TO INSTALLATION OF THE CHAMBERMAXX SYSTEM A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED. THOSE REQUIRED TO ATTEND ARE THE SUPPLIER OF THE SYSTEM, THE GENERAL CONTRACTOR, SUB-CONTRACTORS AND THE ENGINEER.
3. CHAMBERMAXX CHAMBERS ARE MANUFACTURED FROM POLYPROPYLENE PLASTIC.
4. CHAMBERMAXX SYSTEM TO MEET AASHTO HS20/HS25 LIVE LOADING, PER AASHTO LRFD SECTION 12.
5. ACCESS COVERS TO MEET AASHTO HS20/HS25 LIVE LOADING.
6. MINIMUM COVER IS 18-INCHES TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. FOR COVER HEIGHTS GREATER THAN 96-INCHES CONTACT YOUR LOCAL REPRESENTATIVE.
7. ALL PARTS PROVIDED BY CONTECH UNLESS OTHERWISE NOTED.
8. FOR INFORMATION ON PRE-TREATMENT SYSTEMS, REFERENCE CONTECH PRE-TREATMENT SYSTEM STANDARD DETAILS OR CONTACT YOUR LOCAL REPRESENTATIVE.
9. CHAMBERMAXX BY CONTECH ENGINEERED SOLUTIONS (800) 925-5240



**CONTAINMENT ROW DETAILS**  
NOT TO SCALE



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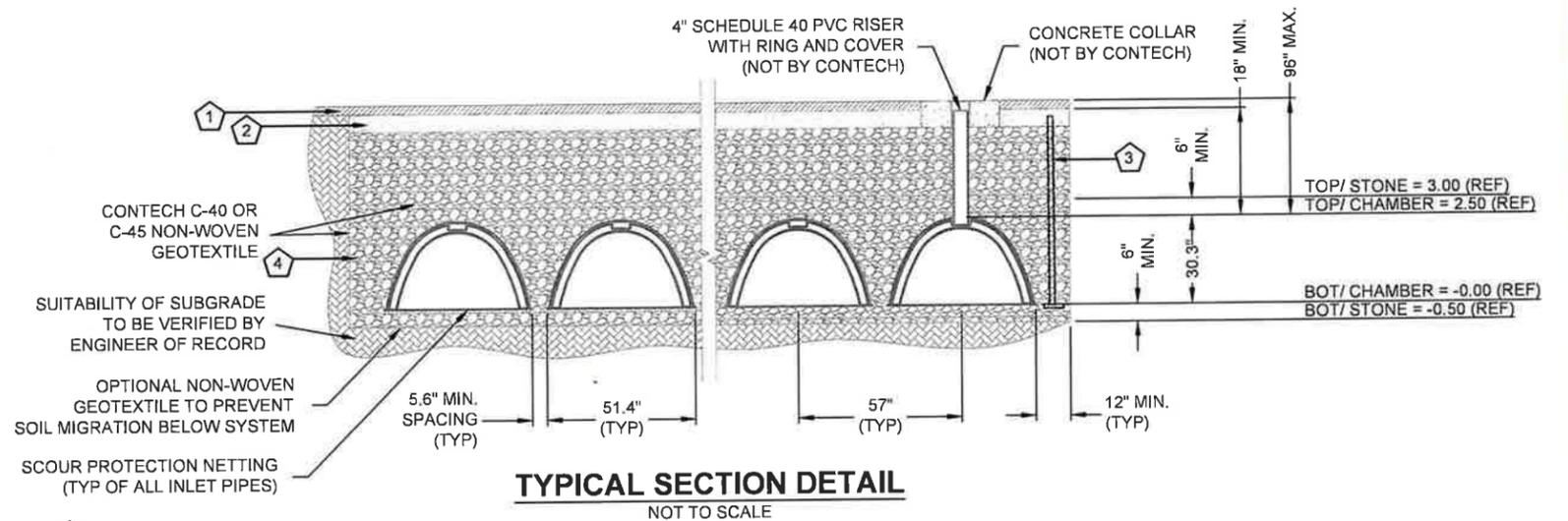
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CONTECH  
DYODS  
DRAWING

DYO21532 Totemwood Townhomes  
Infiltration Gallery  
Arlington, WA  
CHAMBERMAXX

PROJECT No.: 14064	SEQ. No.: 21532	DATE: 09/16/2022
DESIGNED: DYO	DRAWN: DYO	
CHECKED: DYO	APPROVED: DYO	
SHEET NO.: 15	OF 17	

**INSTALLATION NOTES**

1. CHAMBERMAXX INSTALLATION GUIDE TO BE REVIEWED BY CONTRACTOR PRIOR TO INSTALLATION.
2. PRIOR TO PLACING BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, UNSUITABLE MATERIAL SHALL BE REMOVED AND BROUGHT BACK TO GRADE WITH FILL MATERIAL AS APPROVED BY THE ENGINEER OF RECORD. ONCE THE FOUNDATION PREPARATION IS COMPLETE, THE BEDDING MATERIAL CAN BE PLACED.
3. THE SCOUR PROTECTION NETTING TO EXTEND 1'-0" BEYOND OUTSIDE EDGE OF INLET CHAMBERS.
4. COVER ANY OPEN VOID SPACES GREATER THAN 3/4" ON CHAMBERS WITH A NON-WOVEN GEOTEXTILE TO PREVENT INFILTRATION OF BACKFILL MATERIAL.
5. STONE EMBEDMENT MATERIAL SHALL BE INSTALLED TO 95% STANDARD PROCTOR DENSITY AND PLACED IN 6-INCH TO 8-INCH LIFTS SUCH THAT THERE IS NO MORE THAN A TWO LIFT DIFFERENTIAL BETWEEN ANY OF THE CHAMBERS AT ANY TIME. GRANULAR BACKFILL MATERIAL SHALL BE COMPACTED TO 90% SPD. BACKFILLING SHALL BE ADVANCED ALONG THE LENGTH OF THE CHAMBER ROWS AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING AND DISPLACEMENT OF THE CHAMBERS. THE MINIMUM CHAMBER SPACING MUST BE MAINTAINED.
6. REFER TO CHAMBERMAXX INSTALLATION GUIDE FOR TEMPORARY CONSTRUCTION LOADING GUIDELINES.
7. IT IS ALWAYS THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.
8. GENERAL INSTALLATION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH ASTM D2321.



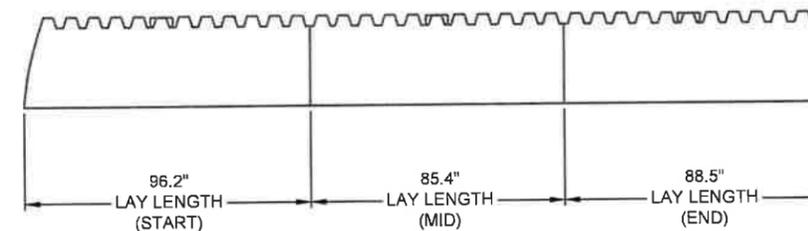
**KEY**

1. ARTIFICIAL LANDSCAPING SURF.
2. GRANULAR BASE, NO COMPACTION REQUIRED.
3. ROOT SHIELD BARRIER PER ENGINEERING PLANS.
4. THE BACKFILL MATERIAL SHALL BE FREE-DRAINING ANGULAR WASHED STONE 3/4" - 2" PARTICLE SIZE. MATERIAL SHALL BE PLACED IN 8"-10" MAXIMUM LIFTS. MATERIAL SHALL BE WORKED INTO THE CHAMBER SPACING BY MEANS OF SHOVEL-SLICING, RODDING, AIR-TAMPER, VIBRATORY ROD, OR OTHER EFFECTIVE METHODS. COMPACTION IS CONSIDERED ADEQUATE WHEN NO FURTHER YIELDING OF THE MATERIAL IS OBSERVED UNDER THE COMPACTOR, OR UNDER FOOT, AND THE PROJECT ENGINEER OR THEIR REPRESENTATIVE IS SATISFIED WITH THE LEVEL OF COMPACTION. INADEQUATE COMPACTION CAN LEAD TO EXCESSIVE DEFLECTIONS WITHIN THE SYSTEM AND SETTLEMENT OF THE SOILS OVER THE SYSTEM. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO-LIFT DIFFERENTIAL BETWEEN THE SIDES OF ANY CHAMBER IN THE SYSTEM AT ALL TIMES DURING THE BACKFILL PROCESS. BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON ANY PIPES IN THE SYSTEM.

EQUIPMENT USED TO PLACE AND COMPACT THE BACKFILL SHALL BE OF A SIZE AND TYPE SO AS NOT TO DISTORT, DAMAGE, OR DISPLACE THE CHAMBERS. ATTENTION MUST BE GIVEN TO PROVIDING ADEQUATE MINIMUM COVER FOR SUCH EQUIPMENT, AND MAINTAIN BALANCED LOADING ON ALL CHAMBERS IN THE SYSTEM, DURING ALL SUCH OPERATIONS.

OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS. CONTACT YOUR LOCAL CONTECH REPRESENTATIVE FOR DETAILS.

CHAMBERMAXX DESIGN DETAILS			
FEATURE	START CHAMBER	MIDDLE CHAMBER	END CHAMBER
OVERALL CHAMBER HEIGHT - IN	30.3	30.3	30.3
OVERALL CHAMBER WIDTH - IN	51.4	51.4	51.4
ACTUAL LENGTH - IN	98.4	91.0	92.0
INSTALLED LAY LENGTHS - IN	96.2	85.4	88.5
CHAMBER STORAGE VOLUME - CF	50.2	47.2	46.2
CHAMBER STORAGE PER LINEAR FOOT - CF/LF	6.3	6.6	6.3
*MIN. INSTALLED CHAMBER VOLUME - CF	78.1	75.1	74.1
*MIN. INSTALLED CHAMBER VOLUME PER LINEAR FOOT - CF/LF	9.7	10.6	10.0
CHAMBER WEIGHT - LB	83	73	76
*6" OF STONE ABOVE AND BELOW CHAMBER, 5.6" CHAMBER SPACING AND 40% POROSITY			



**TYPICAL ELEVATION VIEW**  
NOT TO SCALE



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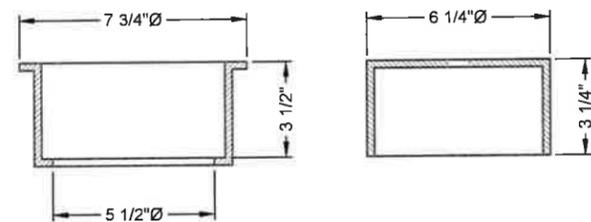
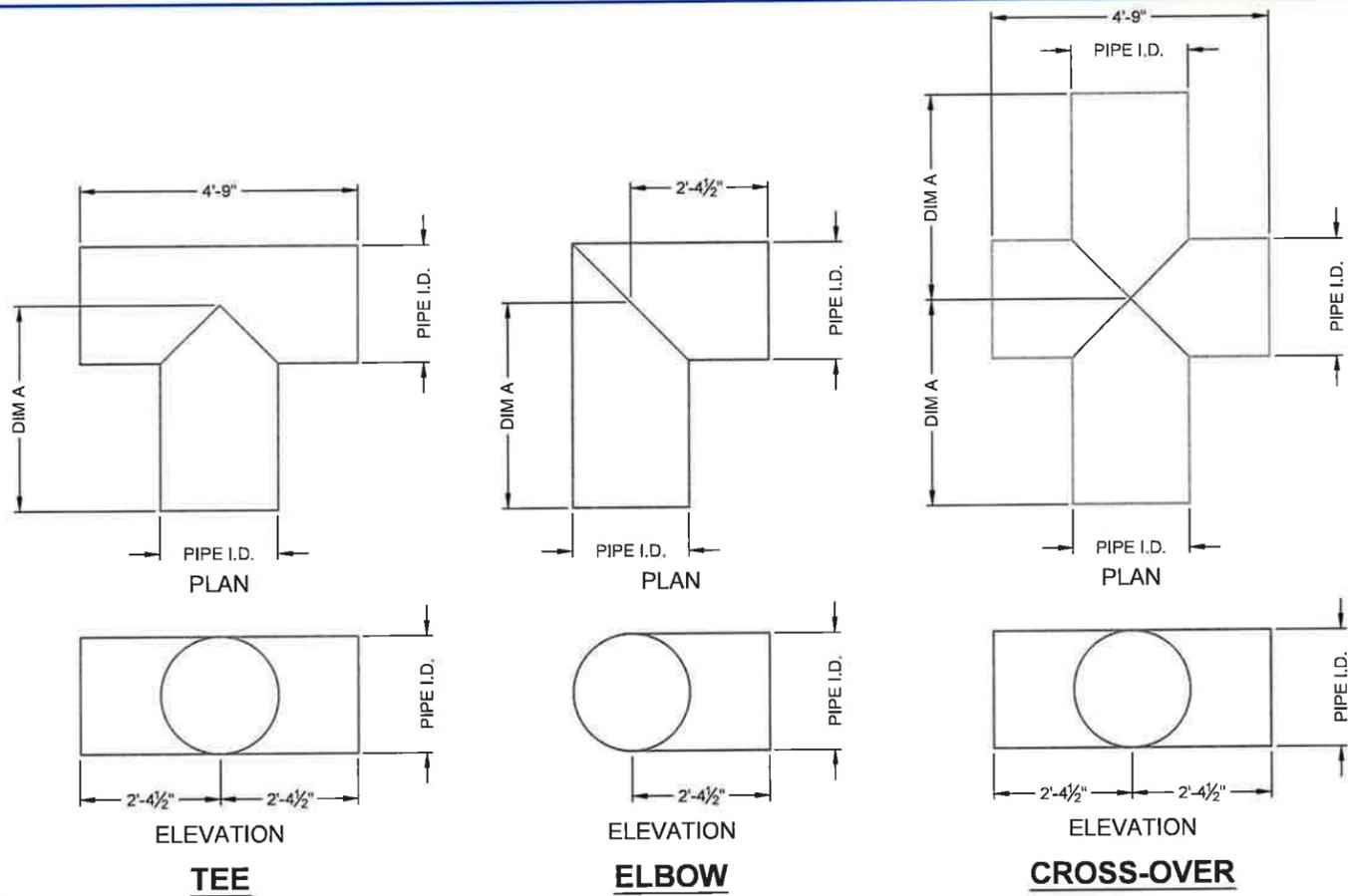
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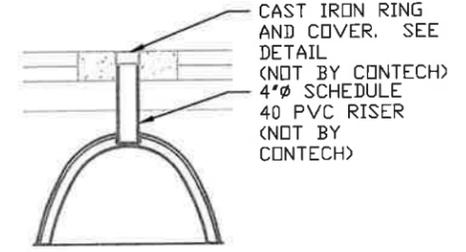
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CHAMBERMAXX

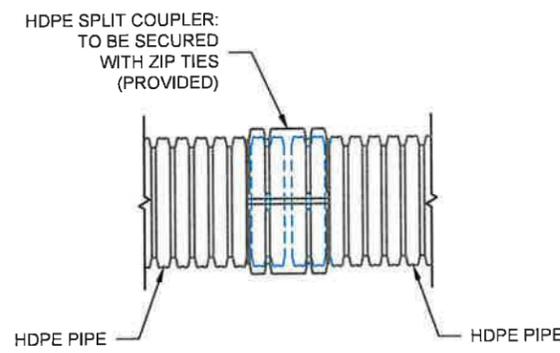
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DESIGNED: DYO	DRAWN: DYO	
CHECKED: DYO	APPROVED: DYO	
SHEET NO.:		16 OF 17



**RING AND COVER DETAIL**  
NOT TO SCALE



**INSPECTION PORT DETAIL**  
NOT TO SCALE



**HDPE SPLIT COUPLER DETAIL**

STANDARD MANIFOLD COMPONENTS - NOT TO SCALE				
	AVAILABLE DIAMETERS - INCHES			
TEE	12	15	18	24
ELBOW	12	15	18	24
DIM A	42	42	48	48

- GENERAL NOTES:
- FITTING MATERIAL TO BE MANUFACTURED FROM CORRUGATED HIGH DENSITY POLYETHYLENE, AASHTO M294 PIPE.
  - FITTINGS TO BE FABRICATED IN ACCORDANCE WITH THE REQUIREMENT OF AASHTO M294.
  - FITTINGS DESIGNED TO PROTRUDE 6" INTO THE END OF THE INLET CHAMBERS.
  - MANIFOLD TEE AND ELBOW JOINT TO BE CONNECTED UTILIZING HDPE SPLIT COUPLERS.

**TYPICAL MANIFOLD DETAILS**



HDPE SPLIT COUPLERS	
COUPLER SIZE	PART NUMBER
12"Ø SPLIT COUPLER	PEF12SPCP
15"Ø SPLIT COUPLER	PEF15SPCP
18"Ø SPLIT COUPLER	PEF18SPCP
24"Ø SPLIT COUPLER	PEF24SPCP

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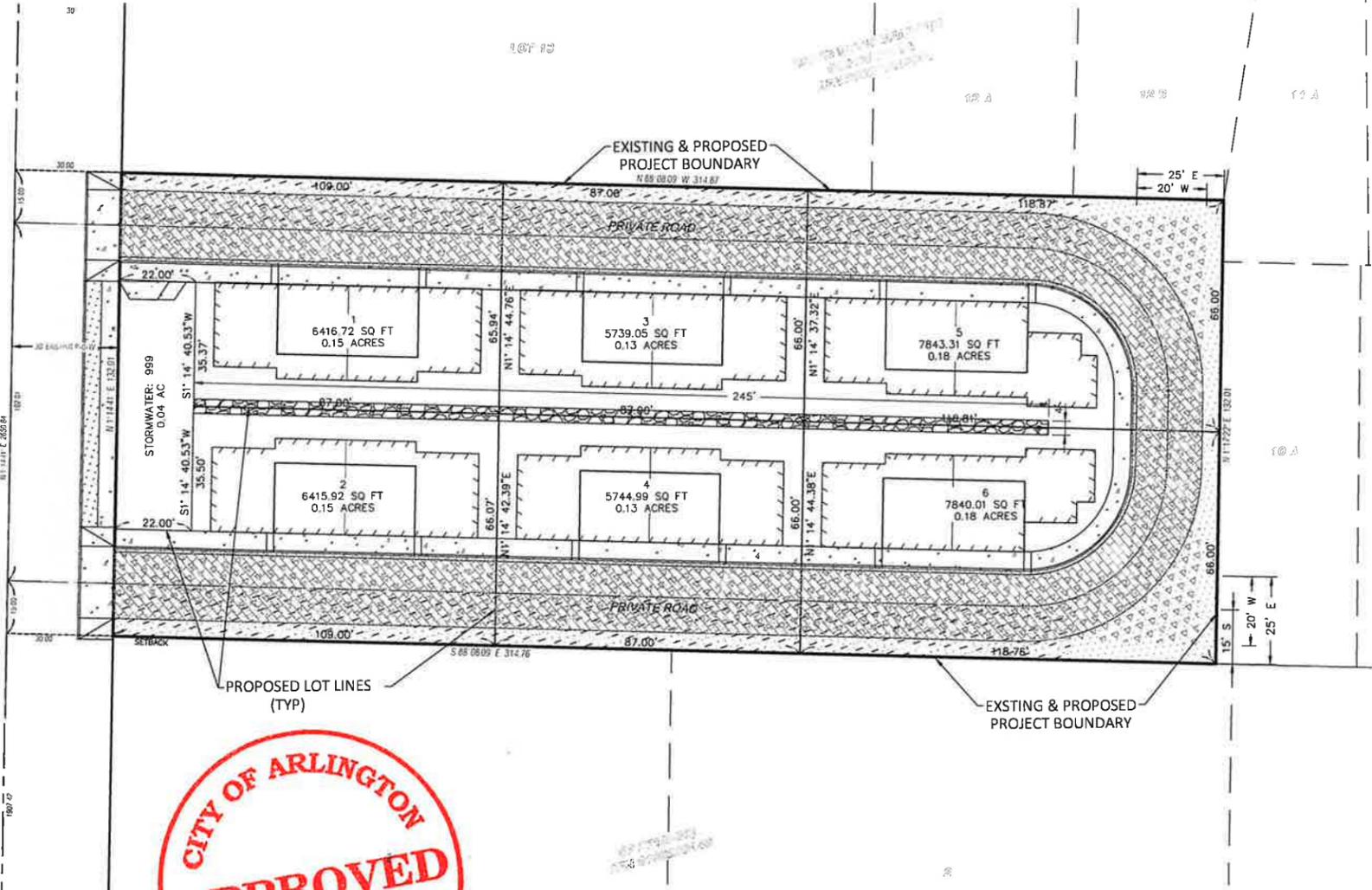
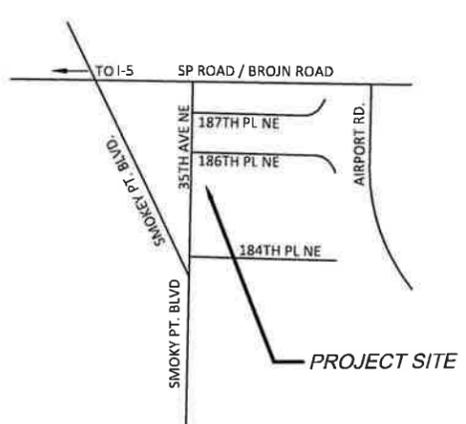
PROJECT No: 14064	SEQ. No.: 21532	DATE: 09/16/2022
DESIGNED: DYO	DRAWN: DYO	
CHECKED: DYO	APPROVED: DYO	
SHEET NO.:		17 OF 17

CITY OF ARLINGTON  
 PRELIMINARY ARQOZB SHORT PLAT  
 FILE NUMBER PLN #948  
 NW 1/4, NW 1/4 SEC. 21, TWP. 31N, RGE. 05E, W.M.



LEGAL DESCRIPTION

TO BE PREPARED



PROPOSED EASEMENTS		
TRACT #	NAME	SIZE
998	ACCESS	13,346 SQ. FT.
999	STORMWATER*	845 SQ. FT.
997	WATER MAIN	12,683 SQ. FT.
996	SEWER MAIN	8,238 SQ. FT.
799	FRANCHISE UTILITIES	8,541 SQ. FT.

\*DESIGNATED STORMWATER TRACT IS EXCLUDED FROM THIS EASEMENT.

LEGEND

- FRANCHISE UTILITY EASEMENT, TRACT 799
- WATER LINE EASEMENT, TRACT 996
- SEWER LINE EASEMENT, TRACT 997
- STORMWATER EASEMENT, TRACT 999
- ACCESS EASEMENT, TRACK 998



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<p>REVISIONS</p> <table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>IMAGE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	REV	DATE	IMAGE	DESCRIPTION					<p>SCALE: ONE INCH FOR 22X34 SIZE PRINT</p>	<p><b>SURVOR</b>                  MEAD GILMAN LAND SURVEYORS                  CONTACT: MARK PENDERGRAFT, PLS                  TEL: 425-486-1252                  EMAIL: MARK@MEADGILMAN.COM</p>	<p><b>ENGINEER</b>                  NORTHWEST CIVIL ENGINEERS PLLC                  CONTACT: WEIMING BIAN, PE                  TEL: 425-440-9238                  EMAIL: WEIMING.BIAN@OUTLOOK.COM</p>				<p>NORTHWEST CIVIL ENGINEERS, PLLC                  CONTACT: WEIMING BIAN, PE                  (425) 440-9238                  weiming.bian@outlook.com</p>	<p>ENDORSEMENTS</p> <table border="1"> <tr> <td>DESIGNED BY</td> <td>ONE</td> </tr> <tr> <td>CHECKED BY</td> <td>WE</td> </tr> <tr> <td>DATE</td> <td>09/30/2022</td> </tr> </table>	DESIGNED BY	ONE	CHECKED BY	WE	DATE	09/30/2022	<p>PROJECT NAME: TOTEMWOOD TOWNHOMES</p> <p>PROJECT ADDRESS: 18601 35TH AVE NE ARLINGTON, WA 98223</p> <p>SHEET DESCRIPTION: DRAFT EASEMENT PLAN</p>	<p>SHEET: G5</p> <p>CITY: ARLINGTON</p> <p>SCALE: 1:40</p> <p>REV. NO.: 1</p>
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