



# CITY OF ARLINGTON NOTICE OF DECISION

## Smartcap Arlington Airport Building B Site Plan Review

The City of Arlington has issued a Notice of Decision for a Special Use Permit as required by Arlington Municipal Code. The following project has been **APPROVED**, with the conditions listed in the permit decision.

**Project Name:** Smartcap Arlington Airport Building B  
**Proponent:** Smartcap Arlington Airport Industrial Park QOZB, LLC  
**Project Number:** PLN #951

**Description of Proposal:** The applicant is proposing to construct a 168,494 square foot building on Lot B of the Smartcap Arlington Airport Binding Site Plan. Building B will serve as office/manufacturing for future tenants that would supply separate tenant improvement permits. The site provides 283 onsite parking stalls, sidewalks, street trees, landscaping, screening walls, and the construction of 173<sup>rd</sup> Street.

**Location:** 17216 51<sup>st</sup> Avenue NE

**Permit Decision: Approved, with Conditions**

**Notice of Decision Date:** June 13, 2022

**End of Appeal Period:** June 27, 2022

**Special Use Permit Expiration Date:** June 13, 2024

**Appeals:** This decision may be appealed pursuant to AMC 20.20.010, which provides for a hearing of the zoning permit decision before the Hearing Examiner. Any aggrieved party of record may file an appeal within 14 days of the permit decision. An appeal shall be considered filed when a written notice of appeal, specifying the grounds and arguments, therefore, is delivered to the Department of Community and Economic Development by **5:00 PM on June 27, 2022**, and the appeal fee as set by resolution is paid.

**Staff Contact:** Amy Rusko, Planning Manager, [arusko@arlingtonwa.gov](mailto:arusko@arlingtonwa.gov), 360-403-3550

# SPECIAL USE PERMIT

FOR

## Smartcap Arlington Airport Building B

*This certifies that the proposed*  
**MANUFACTURING DEVELOPMENT**

*Located at 17216 51st Avenue NE*

*Meets all applicable requirements, as conditioned in the attached report, of*

**TITLE 20**

*Of the City of Arlington Municipal Code*



**ISSUED BY THE DEPARTMENT OF COMMUNITY & ECONOMIC DEVELOPMENT**

June 13, 2022

PLN #951

ISSUANCE DATE

FILE No

SIGNATURE





Community and Economic Development  
Planning Division

18204 59<sup>th</sup> Avenue NE, Arlington, WA 98223

**SPECIAL USE PERMIT – SITE PLAN REVIEW  
STAFF REPORT AND PERMIT DECISION**

**GENERAL INFORMATION**

File Number: PLN #951

Project Title: Smartcap Arlington Airport Building B

Owner/Applicant: Smartcap Arlington Airport Industrial Park QOZB, LLC

Contact: Robert Shipley

Description: Office/Manufacturing

Location: 17216 51<sup>st</sup> Avenue NE

Tax Parcel ID: 31052100400100

Lot Size: 8.709 acres

Topographical Description: Relatively Flat

Soil Type: Lynnwood Loamy Sand

Zoning Classification: Business Park

Land Use Designation: Business Park

Proposed Use Classification: 3.110 and 4.120

City Approvals Required: Special Use Permit, Design Review Board,  
Civil Permit, Building Permits, Utility Permits

Date of Decision: June 13, 2022

Decision: **APPROVED, with Conditions**

## I. NATURE OF APPLICATION

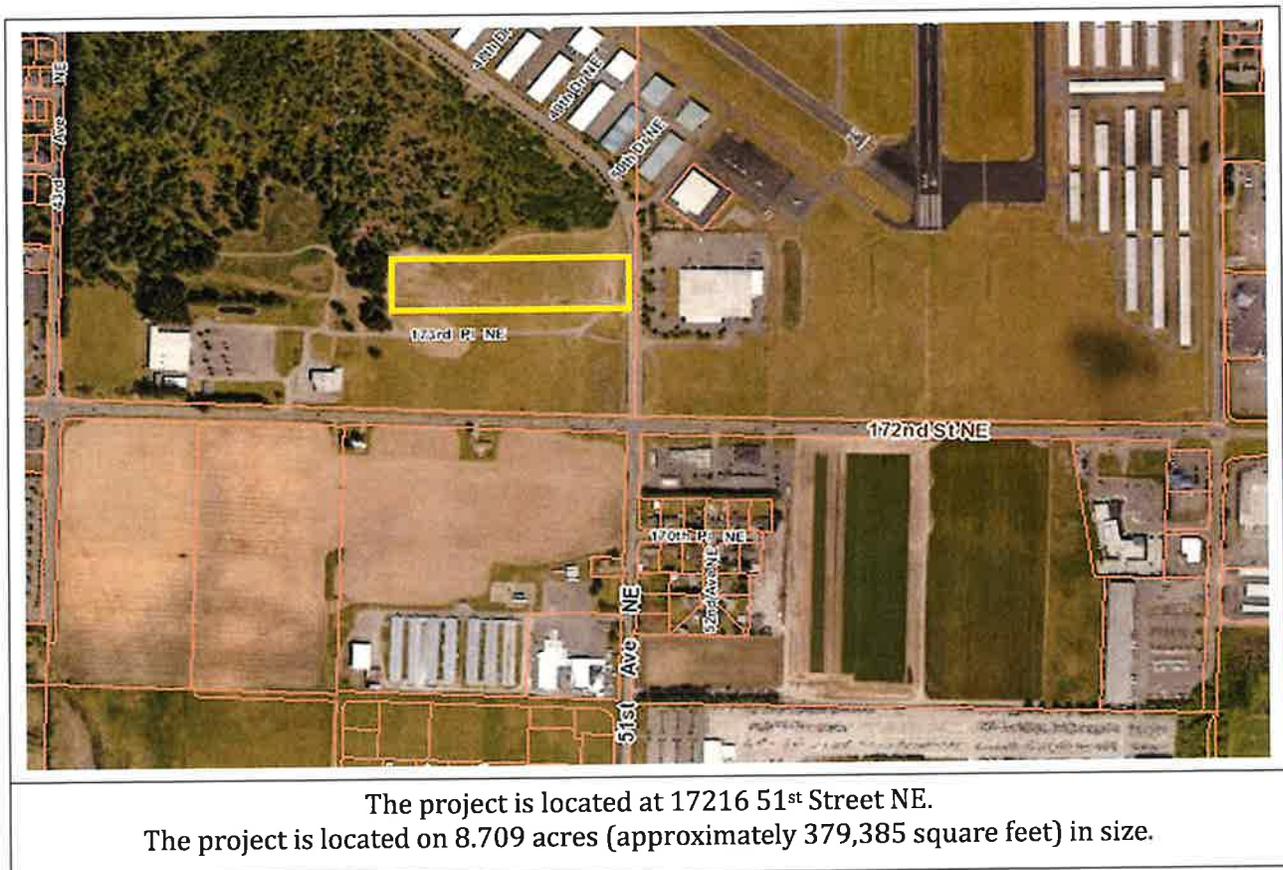
### A. Request

The applicant is proposing to construct a 168,494 square foot building on Lot B of the Smartcap Arlington Airport Binding Site Plan. Building B will serve as office/manufacturing for future tenants that would supply separate tenant improvement permits. The site provides 283 onsite parking stalls, sidewalks, street trees, landscaping, screening walls, and the construction of 173<sup>rd</sup> Street.

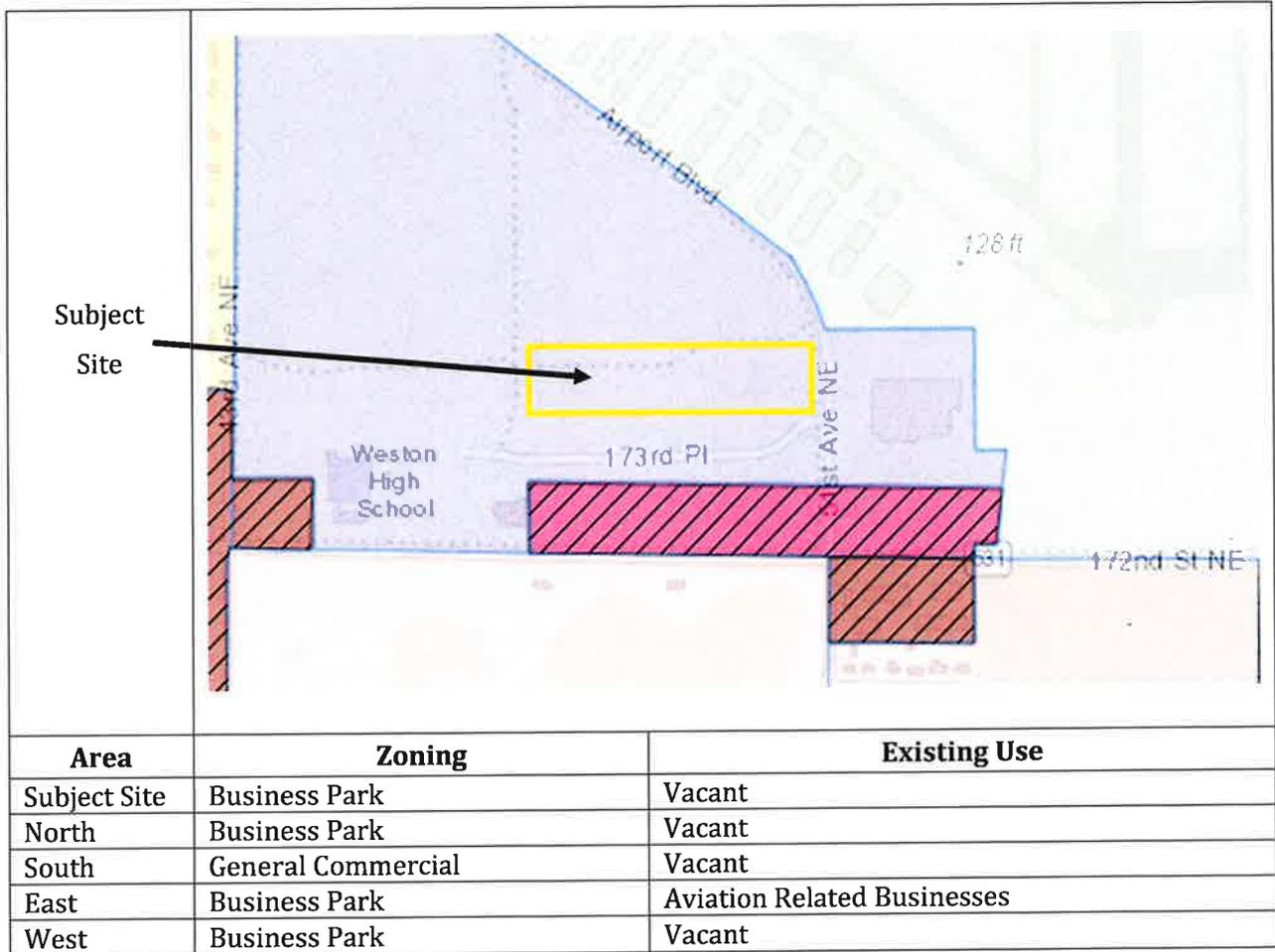
### B. Project Chronology / Background

A formal application for the Special Use Permit –Site Plan Review was submitted to the Community & Economic Development Department on May 17, 2022, with revised plans submitted on June 7, 2022. Staff routed the material to City review staff on May 23, 2022, and after each resubmittal.

### C. Site Location / Description



**D. Site and Adjacent Zoning / Uses**



**II. PROJECT CONSISTENCY WITH TITLE 20 AMC, ZONING**

**A. Applicable Review Criteria and Process**

The Zoning Permit – Site Plan Review request is subject to review for conformity with the Arlington Municipal Code (AMC), including but not limited to the following:

Regulation	Analysis	Meets
<b>Chapter 20.16 AMC, Permits and Final Plat Approval</b>		
20.16.010 (b) Special Use Permits are issued under this title only when a review of the application submitted, including plans contained therein, indicates that the development will comply with the provisions of this title if completed as proposed. All development shall occur strictly in accordance with such approved plans and applications.	The applicant submitted for a Special Use Permit for Site Plan Review. The Community Development Director is responsible for the permit decision and the decision is appealable to the Hearing Examiner, unless a hearing is requested through the public comments period, then the Hearing Examiner makes the decision, and the decision is appealable to Snohomish County Superior Court.	Yes

Regulation		Analysis		Meets															
20.16.034 Official Representative of the Applicant. The applicant for each land use permit shall designate an official representative, which may be himself, to receive all correspondence, determinations, and notices regarding the application.		The applicant, Smartcap Arlington Airport Industrial Park QOZB, LLC, has designated Robert Shipley as the official representative for the subject permit.		Yes															
20.16.070 (c) Complete Application. Within 28 days of after receiving the permit application, the Community Development Director shall mail or provide in person a written determination to the applicant.		The application was submitted on May 17, 2022. The City issued a Notice of Complete Application on May 24, 2022, within the 28-day timeframe.		Yes															
20.16.120 Notice of Application Filed. The Community and Economic Development Director shall give public notice of any application filed for a special use permit by issuing, distributing, and advertising a "Notice of Application Filed".		The city issued a Notice of Application on May 27, 2022. The notice was advertised in the Everett Herald, posted on the site, city website, post office, city hall, Arlington library, and mailed to all property owners within 500 feet of the property.		Yes															
<b>Chapter 20.36 AMC, Zoning Districts and Zoning Map</b>																			
20.36.020 Commercial districts established. (f) The business park (BP) zone is established to promote and accommodate office, certain manufacturing and light industrial uses, training/educational facilities, high technology research and development, and related uses in a park-like, master-planned setting.		The subject property for the proposed special use permit is zoned Business Park.		Yes															
<b>Chapter 20.38 AMC, Airport Protection District</b>																			
20.38.060 Airport Protection District Boundaries. (a) Airport Protection Subdistrict A (b) Airport Protection Subdistrict B (c) Airport Protection Subdistrict C (d) Airport Protection Subdistrict D		The property is located under Subdistrict B. The applicant has a lease with the Arlington Municipal Airport in place to ensure all performance standards and restrictions are complied with on the site.		Yes															
<b>Chapter 20.40-1 AMC, Table of Permissible Uses</b>																			
Use	RULC	RLC	RMod	RMC	RHC	OTR	NC	OTBD1	OTBD2	OTBD3	GC	CC	HC	BP	LI	GI	AF	MS	P/SP
3.110							ZS	ZS	ZS	ZS	ZS <sup>18</sup>	ZS	ZS	ZS	ZS	ZS <sup>15</sup>		ZS <sup>12</sup>	ZS
4.120														ZS	ZS	ZS	Z <sup>11</sup>		
<ul style="list-style-type: none"> <li>ZS = Zoning Permit/Special Use Permit</li> </ul>																			

Regulation	Analysis	Meets
<b>Chapter 20.46 AMC, Design</b>		
<p>20.46.010 (a) Conformance with Design Standards. Structures within the following zones are subject to the relevant design standards adopted in this chapter. No building or land use permit shall be issued for structures or uses that do not conform to the applicable standards.</p> <p>(1) Zones (F) Business Park</p>	<p>The building structure proposed with this land use special use permit received Design Review Board approval on September 18, 2020, under permit number PLN#741.</p> <p>These elevations have minor changes that were approved administratively and documented in the file.</p>	Yes
<b>Chapter 20.48 AMC, Density and Dimensional Regulations</b>		
<p>20.48.040 Building Setback Requirements. No portion of any building or any freestanding sign may be located on any lot closer to any lot line than is authorized in Table 20.48-1 Density and Dimensional Standards for the General Industrial zone.</p>	<p>The proposed project is within the Business Park zone and complies with the following regulations.</p>	Yes
<b>Table 20.48-1 Density and Dimensional Standards</b>		
Minimum Lot Size: 10,000 square feet	379,365 sf	Yes
Minimum Lot Width: 70 feet	239.98 & 341.94 ft	Yes
Arterial ROW Building Setback: 25 feet	79 ft	Yes
Lot Line Building Setback: 5 feet	87 ft	Yes
Building Height: 50 ft	32' 10" ft	Yes
Maximum Lot Coverage: 100%	39%	Yes
<p>20.48.042 Sight Visibility Areas at Intersections. At the intersection of two streets, either public or private, no structure, sign, vegetation, or anything else that obscures sight shall exceed 30 inches in height in the area described by a triangle having two 25-foot legs along the curb faces of the streets from the streets' point of intersection, and a diagonal line connecting the ends of these lines.</p>	<p>The proposed project takes access to the site from Division Street through two access points to the property from 173<sup>rd</sup> Street and one access from 51<sup>st</sup> Avenue. The site plan shows there are no improvements that will obscure sight at any entrance or exit from the site.</p>	Yes
<b>Chapter 20.56 AMC, Streets and Sidewalks</b>		
<p>20.56.030 Access to Lots. Every lot shall have access to it that is sufficient to afford a reasonable means of ingress and egress for emergency vehicles as well as for all those likely to need or desire access to the property in its intended use. Access includes vehicular, pedestrian, bicycle, and other common forms of transportation.</p>	<p>The project proposes vehicular, pedestrian, and bicycle access to the subject property through public street and pedestrian access from 51<sup>st</sup> Avenue and proposed 173<sup>rd</sup> Street.</p>	Yes

Regulation	Analysis	Meets
<p>20.56.050 Entrances to Streets. (a) All driveway entrances and other openings onto streets within the city's planning jurisdiction shall be constructed so that:</p> <ol style="list-style-type: none"> <li>1. Vehicles can enter and exit from the lot in question without posing any substantial danger to themselves, pedestrians, or vehicles traveling in abutting streets, and</li> <li>2. Interference with the free and convenient flow of traffic in abutting or surrounding streets is minimized.</li> <li>3. Driveway cuts shall be limited so the narrowest width necessary to provide safe ingress and egress onto and from the property.</li> <li>4. Driveways shall not be located adjacent to one another in such a manner as to create a "double width" driveway without any landscaping between the driveways.</li> </ol>	<p>The proposed site has two access points to the property from 173<sup>rd</sup> Street and one access from 51<sup>st</sup> Avenue that meet the criteria for both passenger cars and delivery trucks. The proposed project complies with the following City of Arlington Standards and Specifications:</p> <ul style="list-style-type: none"> <li>• The proposed entrances are within the required width and provide safe access to the site.</li> <li>• Access drives from 51<sup>st</sup> Avenue NE, 173<sup>rd</sup> Place and 173<sup>rd</sup> Street provides for both left and right turns from the access points.</li> <li>• The driveway entrances are not located adjacent to each other creating a "double width" driveway.</li> </ul>	Yes
<p>20.56.120 Street Intersections. (a) Streets shall intersect at 80° to 90°. Not more than two streets shall intersect at any one point or vary from the above angle of connections.</p>	<p>The property is currently developed and provides 90° intersections at all access points.</p>	Yes
<p>20.56.130 Construction Standards and Specifications. Construction and design standards and specifications for streets, sidewalks, and curbs and gutters are contained in the "Public Works Construction Standards and Specifications," and all such facilities shall be completed in accordance with these standards.</p>	<p>The proposed project is subject to a Civil permit and Right-of-Way permit. This has been added as a permit condition.</p>	Yes
<b>Chapter 20.60 AMC, Utilities</b>		
<p>20.60.100 Sewage Disposal Facilities Required. Every principal use and every lot within a subdivision shall be served by a sewage disposal system that is adequate to accommodate the reasonable needs of such use or subdivision lot and that complies with all applicable health regulations.</p>	<p>The proposed project is required to connect to City of Arlington Sanitary Sewer. The construction of utilities will take place after Site Civil Permit approval and shall meet all requirements of the Public Works Construction Standards and Specifications.</p>	Yes
<p>20.60.300 Water Supply System Required. Every principal use and every lot within a subdivision shall be served by a water supply system that is adequate to accommodate the reasonable needs of such use or subdivision lot and that complies with all applicable health regulations.</p>	<p>The proposed project is required to connect to City of Arlington water. The construction of utilities will take place after Site Civil Permit approval and shall meet all requirements of the Public Works Construction Standards and Specifications.</p>	Yes

Regulation	Analysis	Meets
20.60.400 Lighting Requirements. (a) All public streets, sidewalks, and other common areas or facilities shall be sufficiently illuminated to ensure security of property and the safety of persons using such streets, sidewalks and other common areas or facilities.	The proposed project has provided sufficient pole lighting throughout the site that will illuminate the building and parking areas.	Yes
(c) All entrances and exits in substantial buildings used for nonresidential purposes shall be adequately lighted to ensure the safety of persons and the security of buildings.	The proposed project has provided adequate lighting at the building entrance and throughout the site to ensure safety.	Yes
(d) All outdoor lights shall be low sodium or similar lamp type and be down shielded to prevent light pollution.	The proposed project has provided low sodium or similar lamp type outdoor lighting. All lighting is required to be down shielded to prevent light pollution.	Yes
20.60.410 Excessive Illumination. Lighting within any lot that unnecessarily illuminates any other lot or public right-of-way and substantially interferes with the use or enjoyment of such other lot or public right-of-way is prohibited.	The proposed project has provided down-shielded lighting that illuminates the site but does not shine onto neighboring properties or public rights-of-way.	Yes
20.60.450 Underground Utilities. All existing, extended, new electrical power lines, telephone, gas distribution, cable television, and other communication and utility lines shall be placed underground in accordance with the specifications and policies of the respective utility service providers and located in accordance with the Public Works Construction Standards and Specifications.	All proposed utilities to and on the site shall be located underground. All utility lines are required to be shown on the Site Civil plans and shall be approved by the City of Arlington prior to construction activities on the site. This has been added as a permit condition.	Yes
<b>Chapter 20.72 AMC, Parking</b>		
20.72.010 Number of Parking Spaces Required. (a) All developments in all zoning districts shall provide a sufficient number of parking spaces to accommodate the number of vehicles that ordinarily are likely to be attracted to the development in question.	The proposed project is located within the Business Park zone and the proposed use is office/manufacturing. All required parking spaces have been met for the uses, see table below.	Yes
(d) Uses in Table 20.72-1: Table of Parking Requirements are indicated by a numerical reference keyed to the Table of Permissible Uses.	The proposed uses with this project include the following:  3.110 – Office, operations conducted on any floor and designed to attract and serve customers or clients on the premises. 4.120 – Manufacturing, primarily consisting of business not done with walk in trade.	Yes

Regulation		Analysis	Meets
<b>Table 20.72-1 Table of Parking Requirements</b>			
<b>Use</b>	<b>Required Parking Stalls</b>	The project proposes 283 parking spaces for Building B and a total of 560 parking spaces are located over the entire site. The project provides 113 parking stalls over the required number of parking per code to allow for future uses within the buildings to have adequate parking on the site.	Yes
3.110	1 space per 400 square feet of gross floor area = 63 parking spaces		
4.120	1 space for every two employees on the maximum shift = 107		
20.72.030 Parking Space Dimensions. Except accessible parking spaces, each parking space shall contain a rectangular area of at least 19 feet long and 9 feet wide.		The project site plan shows 276 standard parking stalls and 7 ADA parking stalls that meet the required width and length. The standards stalls are shown as 9 x 19.	Yes
20.72.040 Required Widths of Parking Area Aisles and Driveways.		The project site plan shows a two-way aisle width of 26 feet within the parking lot area.	Yes
Parking Angle	Aisle Width		
	0°   30°   45°   60°   90°		
One-Way Traffic	13'   11'   13'   18'   24'		
Two-Way Traffic	22'   22'   22'   22'   24'		
20.72.060 Parking Area Surface. (a) All parking areas shall be graded and surfaced with asphalt, concrete or other material that will provide equivalent protection against potholes, erosion, and dust. Specifications for surfaces meeting the standard set forth in this subsection are contained in the Public Works Construction Standards and Specifications. (b) Parking spaces shall be appropriately demarcated with painted lines or other markings. (c) Parking areas shall be properly maintained in all respects.		The project site plan shows paving throughout all drive aisles and parking spaces on the site and the striping of all parking spaces. These requirements shall be reviewed and approved through the Civil permit.	Yes
20.72.064 Accessible Parking Spaces. All handicapped parking spaces shall meet all State and Federal Regulations. The parking spaces shall be at least 8 feet wide and shall have an adjacent access aisle at least 5 feet wide. The parking spaces shall have adjacent aisle access to the sidewalk, have required striping and provide display symbols required on the pavement and signage.		The project site plan shows the layout of the accessible parking spaces. The proposed spaces provide 8-foot-wide stalls with 5 & 8 feet of adjacent striped area, along with adequate striping and signage.	Yes
20.72.110 Bicycle Parking Facilities. (b) All commercial and public uses shall provide "stalls" for bicycles at a ration of 10% of the required automobile parking spaces required for a business or group of businesses.		The proposed project shall provide bicycle racks and show locations on the Civil plans. 170 parking stalls are required for the use, for a total of 17 bicycle stalls that need to be placed on the site.	Yes

Regulation	Analysis	Meets
<b>Chapter 20.76 AMC, Screening and Trees</b>		
<p>20.76.020 General Screening Standard. Every development shall provide sufficient screening sot that:</p> <ol style="list-style-type: none"> <li>1. Neighboring properties are shielded from any adverse external effects of that development.</li> <li>2. The development is shielded from the negative impacts of adjacent uses such as streets and railroads.</li> </ol>	<p>The project is in the Business Park zone with like uses on neighboring properties. The landscape screening provided, and the 3-foot screening wall shield the use from any negative impacts to adjacent properties and to the public right-of-way.</p>	<p>Yes</p>
<p>20.76.030 Compliance with Screening Standard. The table set forth in 20.76.050, in conjunction with the explanations in 20.76.040 concerning the types of screens, establishes screening requirements that presumptively satisfy the general standards established in 20.76.020. The table uses the permissible use designation to determine the type of screening that is required between two uses.</p>	<p>The project is in the Business Park zone. The proposed landscape plan shows that adequate screening and street trees are provided between the proposed use and the street. A screening wall has been proposed along the north and east frontage to screen the large parking areas from the public right-of-way.</p>	
<p>20.76.110 Required Trees Along Dedicated Streets. The developer shall either plant or retain sufficient trees so that within the landscape strip there is for every 30 feet of street frontage at least an average of one deciduous tree of two inches dbh at the time of planting and with a canopy that starts at least eight feet above finished grade and has or will have when fully mature a trunk at least 8 inches in diameter. Root barriers shall be provided for all street trees and the landscape strip shall be planted per the Department of Public Works Standards and Specifications.</p>	<p>The landscape plan shows street trees have been provided along all adjacent streets. The applicant shall provide the City of Arlington Planting Strip Behind Sidewalk Tree Detail R-270 that shows the installation of street trees with a root barrier on both sides of the root ball facing the right-of-way and sidewalk on the site civil construction plans.</p>	<p>Yes</p>
<p>20.76.130 Shade Trees in Parking Area. Vehicle accommodation areas that are paved are required to provide trees that shade 20 percent of the parking area.</p>	<p>The landscape plans show the vehicle accommodation area shaded with trees planted in landscape island planting beds throughout the entire site.</p>	<p>Yes</p>

Regulation	Analysis	Meets												
<p>20.76.140 Maintenance of Screening and Shading Elements. All screening and shading elements required by this Chapter shall be maintained by the owner for the life of the project to the following standards:</p> <ol style="list-style-type: none"> <li>1. All plant material shall be maintained with respect to pruning, trimming, mowing, watering, insect control, and fertilizing to maintain a healthy growing condition, create an attractive appearance, and to accomplish the purpose for which it was required.</li> <li>2. Dead, diseased, stolen, vandalized, or damaged plants shall be replaced within three months of the plants indicated on the approved landscape plans.</li> <li>3. All screening and shading elements shall be maintained reasonably free of weeds and trash.</li> <li>4. All screening and shading elements located within the public right-of-way shall be maintained by the abutting property owner.</li> </ol>	<p>The property owner is required to maintain the landscaping on the property and within the right-of-way per AMC 20.76. The final landscape plan shall be approved with the Site Civil Permit.</p>	<p>Yes</p>												
<p><b>Chapter 20.90 AMC, Concurrency &amp; Impact Fees</b></p>														
<p>20.90.040 (a) Imposition of Impact Fees on Development Activity. All development projects within the City shall be assessed a transportation impact fee, at the rate of \$3,355.00, based on peak p.m. trips, as computed in accordance with the most current edition of the Institute of Transportation Engineers Trip Generation Manual, as applied to the City's transportation element of the adopted Comprehensive Plan.</p>	<p>The applicant provided a Traffic Impact Analysis prepared by Gibson Traffic Consultants in July 2020. The traffic analysis concluded that the proposed use would produce 120 new PM peak-hour-trips to the site, pending the end use businesses leasing spaces within the building and may be reduced or increased.</p> <p>Building A has paid for 43 PM Peak Hour Trips in the amount of \$144,265.00 with Special Use Permit PLN#737. The traffic fees and impacts will be reviewed prior to the issuance of the building permit.</p> <p>The city concurs with the amount proposed for City of Arlington Traffic Impact Fees as shown below.</p> <table border="1" data-bbox="805 1598 1328 1782" style="margin-left: auto; margin-right: auto;"> <thead> <tr> <th>Traffic Fee</th> <th># Of Trips</th> <th>Total Amount</th> </tr> </thead> <tbody> <tr> <td>\$3,355.00</td> <td>120</td> <td>\$402,600.00</td> </tr> <tr> <td></td> <td>-43</td> <td>\$144,265.00</td> </tr> <tr> <td>Remaining</td> <td>77</td> <td>\$258,335.00</td> </tr> </tbody> </table>	Traffic Fee	# Of Trips	Total Amount	\$3,355.00	120	\$402,600.00		-43	\$144,265.00	Remaining	77	\$258,335.00	<p>Yes</p>
Traffic Fee	# Of Trips	Total Amount												
\$3,355.00	120	\$402,600.00												
	-43	\$144,265.00												
Remaining	77	\$258,335.00												

Regulation	Analysis	Meets						
<p>Per Ordinance 2021-002, which adopted the Planned Action for the Cascade Industrial Center, established a transportation impact fee, at the rate of \$5,841.39, based on peak p.m. trips, as computed in accordance with the most current edition of the Institute of Transportation Engineers Trip Generation Manual.</p>	<p>The remaining trips have been calculated below for the Cascade Industrial Center transportation impact fee. These traffic fees are pending the end use businesses leasing spaces within the building and may be reduced or increased.</p> <table border="1" data-bbox="800 426 1333 499"> <thead> <tr> <th>Traffic Fee</th> <th># Of Trips</th> <th>Total Amount</th> </tr> </thead> <tbody> <tr> <td>\$5,841.39</td> <td>77</td> <td>\$449,787.03</td> </tr> </tbody> </table> <p>In-lieu of payment of the Cascade Industrial Center Transportation Impact Fees the applicant may use the amount to be paid for the completion of 43<sup>rd</sup> Avenue frontage improvements and toward the construction of 173<sup>rd</sup> Street NE both of which are required with the proposal.</p>	Traffic Fee	# Of Trips	Total Amount	\$5,841.39	77	\$449,787.03	<p>Yes</p>
Traffic Fee	# Of Trips	Total Amount						
\$5,841.39	77	\$449,787.03						
<p><b>Chapter 20.93 AMC, Critical Area Ordinance</b></p>								
<p>20.93.230 Compliance. All land uses or development applications shall be reviewed to determine whether an environmentally critical area exists on the property for which the application is filed, what the action's impact to any existing environmentally critical area would be, and what actions are required for compliance with this chapter.</p>	<p>The City of Arlington concludes that the subject property does not contain environmentally critical areas and does not impact nearby critical areas.</p>	<p>Yes</p>						
<p><b>Chapter 20.98 AMC, State Environmental Policy Act (SEPA)</b></p>								
<p>20.98.110 (d) Environmental Checklist. For projects submitted as planned actions under WAC 197-11-164, the City shall use its existing environmental checklist form or may modify the environmental checklist form as provided in WAC 197-11-315. The modified checklist form may be prepared and adopted along with or as part of a planned action ordinance.</p>	<p>Under WAC 197-11-164 and WAC 197-11-315 the City of Arlington has adopted a modified environmental checklist through Ordinance 2021-002 for projects that are located within the Cascade Industrial Center.</p> <p>The applicant has provided the modified environmental checklist and the city has approved the proposed project per the requirements of the checklist.</p>	<p>Yes</p>						

Regulation	Analysis	Meets
<b>Chapter 13.28 AMC, Stormwater</b>		
<p>13.28.070 Applicability of the Utility. The following actions or applications for the following permit and/or approvals will require submittal for approval by the utility: site plans, design drawings, and operations and maintenance plans. Submittals shall be consistent with the provisions of this Code, and shall comply with the stormwater manual and engineering standards:</p> <p>(3) New Development</p>	<p>The proposed project is subject to meeting the required stormwater regulations for the site. A Site Civil Permit shall be required for all site improvements. The approval of the stormwater system takes place during this review process. All stormwater systems shall comply with the City of Arlington Public Works Standards and Specifications and the most recent Department of Ecology Stormwater Manual for Western Washington. This has been added as a permit condition.</p>	<p>Yes</p>

### III. CONCLUSIONS

Under AMC 20.16.100, the Community and Economic Development Director shall issue the requested special use permit unless he concludes after reviewing the application that:

Regulation	Analysis	Meets
(a) The requested permit is not within its jurisdiction according to the table of permissible uses.	The requested site plan review is within the City of Arlington's jurisdiction per the above zoning map and permissible use table.	Yes
(b) The application is incomplete.	The application for the subject site plan review was deemed complete on May 24, 2022.	Yes
(c) If completed as proposed in the application, the development will not comply with one or more of the requirements of this title.	The proposed site plan review complies with all required sections of AMC Title 20 per the above staff analysis.	Yes
(d) The proposed project is not in conformance with the Comprehensive Plan, Transportation Plan, and the Arlington Municipal Code.	The proposed site plan review complies with the Arlington Municipal Code, Comprehensive Plan, and Transportation Plan.	Yes

#### IV. PUBLIC COMMENTS

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Public Comment	Response
Public comments received during the Notice of Application comment period for the Smartcap Arlington Airport Building B project, PLN #951.	The City received comments from the following agencies or citizens in the community:  The Stillaguamish Tribe of Indians WSDOT Aviation Division  A summary of the comments and concerns are included below. The original comments submitted are in the official permit file and available upon request.
The Stillaguamish Tribe of Indians requested notification of ground disturbance on the project	Staff responded to the comment that a condition would be placed on the permit.
WSDOT Aviation commented that the plans should be reviewed against the WSDOT Airport Land Use Compatibility Program Guidebook to ensure the project does not create height hazard obstructions, smoke, glare, electronic interference, wildlife attractants or any other airspace hazard.	Staff responded to the comment stating that the City has reviewed those items against the Arlington Municipal Code and the proposed building is almost identical to the existing building located just to the south of this proposal. The Arlington Municipal Airport has also entered into a lease agreement with the applicant, and they have met all criteria.

#### V. ADMINISTRATIVE DECISION

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The proposed project was found to be consistent with and meets the intent of the Arlington Zoning Code, Comprehensive Plan, and the Arlington Municipal Code, therefore the Special Use Permit –Site Plan Review for Smartcap Arlington Airport Building B (PLN #951) is hereby APPROVED, subject to the following conditions.

#### VI. CONDITIONS

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##### Special Use Permit:

1. All development shall be in substantial conformance with the approved site plan received on June 7, 2022, subject to any conditions or modifications that may be required as part of the permit review.
2. The building shall be constructed per the elevations approved by the Design Review Board on September 18, 2020, under permit number PLN#741. The elevations changed slightly and were approved administratively. The revisions are included with the permit decision.
3. The developer shall meet all local, state, or federal code requirements. Attached is a list of code requirements that are specifically called to the developer's attention. It is in no way intended to be a complete list of code requirements, but a general checklist of major steps and issues. Please refer to the Arlington Municipal Code for a complete list of code requirements for your project type.

4. The development is subject to the following traffic impact fees for 77 new PM peak-hour trips as proposed in the Traffic Impact Analysis prepared by Gibson Traffic Consultants:
  - o City of Arlington Traffic Impact Fees: \$258,335.00
  - o City of Arlington Cascade Industrial Center Traffic Impact Fees: \$449,787.03These fees are payable at the levels in effect at the time of building permit submittal and will be collected at the time of building permit issuance.
5. The property owner has received approval to use the Cascade Industrial Center Traffic Impact Fees towards the construction and frontage improvement of 43<sup>rd</sup> Avenue NE and 173<sup>rd</sup> Street NE which are required public roadways to be completed with the project.
6. The property owner is required to obtain an Avigation Easement with the Arlington Municipal Airport prior to final building approval. This agreement should be addressed in the Lease.
7. The development complies with the Cascade Industrial Center Planned Action Final EIS.
8. The applicant shall notify the Stillaguamish Tribe of Indians prior to any ground disturbance on the site.
9. The property owner shall comply with the Unanticipated Discovery Plan on file and notify the affected Tribes, Department of Archaeological and Historic Preservation, and the City of Arlington in the event of any historic or cultural artifacts are found.

Civil Permit:

10. A Civil construction permit shall be applied for and approved prior to any land disturbance on the subject property.
11. A Right-of-Way Permit shall be required for all work within the City of Arlington right-of-way.
12. The Final Landscape Plans shall be approved with the Civil plans.
13. Prior to any construction activities, the applicant shall file and receive approval of civil construction plans, which comply with all requirements of the Arlington Municipal Code, International Building Code(s), International Fire Code and Public Works Construction Standards and Specifications. Said plans shall address all site improvements, either required or voluntarily provided.
14. The developer shall comply with AMC Chapter 13.28, Stormwater Management, and the most current City-adopted edition of the Department of Ecology Stormwater Management Manual for Western Washington.
15. The Applicant shall connect to City of Arlington water and sanitary sewer. All proposed improvements shall be shown and approved on the Civil Plans.
16. The Applicant shall construct all existing, extended, and new electrical power lines (not to include transformers or enclosures containing electrical equipment including but not limited to, switches, meters, or capacitors which may be pad mounted), telephone, gas distribution, cable television, and other communication and utility lines in or adjacent to any land use or building permit approved after the effective date of this chapter shall be placed underground in accordance with the specifications and policies of the respective utility service providers and located in accordance with the administrative guideline entitled "Public Works Construction Standards and Specification." Even in the event the distribution line originates from a point opposite any public roadway from the new construction the service lines shall be placed beneath said roadway by means of boring or surface excavation across said roadway.

Building:

17. A building permit application shall be reviewed and approved prior to building construction on the site.
18. All building permits shall meet the most current edition of the International Building Code.
19. The proposed development is subject to a water and sanitary sewer utility application and payment of applicable utility connection charges. All fees shall be paid at the time of building permit issuance.

Other:

20. Construction hours of operations are limited to 7:00 am to 7:00 pm Monday through Saturday. No construction activity or use of heavy equipment may occur on Sundays or holidays observed by the city.
21. All contractors working on the subject site shall obtain a City of Arlington Business License through the Washington State Department of Licensing.

**VII. EXPIRATION**

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Per AMC 20.16.220, a Special Use Permit shall expire automatically if, within two (2) years after the issuance of such permits:

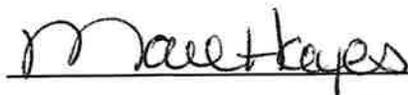
1. The use authorized by such permits has not commenced, in circumstances where no substantial construction, erection, alteration, excavation, demolition, or similar work is necessary before commencement of such use, or
2. Less than 10 percent of the total cost of all construction, erection, alteration, excavation, demolition, or similar work on any development authorized by such permits has been completed on the site.

**VIII. APPEAL**

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This decision may be appealed pursuant to AMC 20.20.010, which provides for a hearing of the zoning permit decision before the Hearing Examiner. Any aggrieved party of record may file an appeal within 14 days of the permit decision. An appeal shall be considered filed when a written notice of appeal, specifying the grounds and arguments, therefore, is delivered to the Department of Community and Economic Development by 5:00 PM on June 27, 2022, and the appeal fee as set by resolution is paid.

ORDERED THIS ON THE 13<sup>th</sup> DAY OF JUNE, 2022



Marc Hayes, Community and Economic Development Department Director

Distributed to the Following Parties:

Robert Shipley  
Dave Ryan, Airport Director

## ATTACHMENT B CODE REQUIREMENTS

**NOTE:** The following items are not conditions of permit approval but rather certain local, state, or federal code requirements that the developer needs to be aware of. This is in no way intended to be a complete list of code requirements but is a general checklist of major steps and issues. Please refer to the Arlington Municipal Code for a complete list of code requirements for your particular project type.

1. **Code Applicability.** This permit is subject to the applicable requirements contained in the Arlington Municipal Code, Land Use Code, Building Code, and COA Public Works Design, Construction Standards and Specifications. It is the responsibility of the developer to ensure compliance with the various provisions contained in these ordinances.
  
2. **Pre-Construction Phase.** Prior to commencing any site work, including installing any easement or right-of-way improvements, utility systems, drainage systems, streetlights, mailbox structures, emergency facilities, storm water control systems, or any other improvements, the developer shall submit site civil construction improvement plans for review and approval by the Public Works Director. Said plans shall be in conformance with applicable code and below listed conditions.
  - a. The developer shall survey and mark all property corners prior to review of any submitted construction plans.
  - b. The developer shall design and install erosion control measures deemed necessary by the City. These measures shall be installed and inspected by the City prior to the issuance of any permits.
  - c. The developer shall undertake no site preparation or other disturbances within environmentally sensitive areas or their required buffers.
  - d. The developer shall submit to the Community & Economic Development Department and receive approval of a storm-water run-off and detention plan in conformance with the AMC Chapter 13.28, Stormwater Management, and the most current City-adopted edition of the Department of Ecology's Stormwater Management Manual for the Puget Sound Basin (The Technical Manual) for both the construction phase and a permanent system. All site drainage must be directed through bio filtration swales prior to discharge into wetlands.
  - e. The developer shall place all new utility lines underground.
  - f. The developer shall provide a temporary rock pad at all points of ingress and egress to the site throughout the construction phase.
  - g. The developer shall show locations of all required streetlights on the construction plans and install them as designed.
  - h. The developer shall obtain a right-of-way permit prior to any work done in a public right-of-way. (NOTE: City departments are exempt from right-of-way permits.)
  - i. The developer shall install all low sodium or similar low intensity illumination lighting and it shall be placed in a way as to not cause glare on an adjoining property or right-of-way.

3. **Construction Phase.** The following conditions shall apply during construction.
- a. The developer shall follow all applicable noise and other nuisance codes.
  - b. The developer shall not track mud and dirt onto public rights-of-way, but if tracked by accident, the developer shall clean it up immediately.
  - c. During any site grading or clearing activity, the developer and contractor shall use all available means of controlling air pollution (dust, ash, and smoke).
  - d. The restrictions of the AMC shall apply to any and all grading.
4. **Installation of Improvements.** Prior to receiving a Certificate of Occupancy, the developer shall:
- a. Install all rights-of-way and access easement improvements on all proposed streets internal and existing streets adjacent to the project in accordance with the requirements of AMC Chapter 20.56 and per COA Public Works Design, Construction Standards and Specifications. The developer shall coordinate with all adjacent developments the final design of the street improvements and/or include the appropriate transition tapers for the street pavement from the property.
  - b. Install a potable water system to serve the project per the COA Public Works Design, Construction Standards and Specifications. Water is to be served by the City of Arlington. This system cannot be deferred if a performance bond is secured. Both water and sanitary sewer must be completely installed and approved before either a temporary or permanent Certificate of Occupancy is issued.
  - c. Relocate any existing water facilities and/or install water services/fire hydrants at the expense of the developer.
  - d. Install a sanitary sewer system per COA Public Works Design, Construction Standards and Specifications. This system cannot be deferred if a performance bond is secured. Both water and sanitary sewer must be completely installed and approved before either a temporary or permanent Certificate of Occupancy is issued.
  - e. Install a permanent storm water control system per AMC Chapter 13.28.
  - f. Prior to issuance of a Certificate of Occupancy, the applicant shall complete all required or voluntary improvements unless otherwise secured by the developer and authorized by the City Engineer.

(NOTE: Code requirements for infrastructure improvements are based on conceptual information as submitted by the applicant for the land use permit. Additional specific requirements may be required upon review of the engineered construction drawings submitted by the developer. All improvements are subject to review and approval by the City of Arlington Inspectors. All utilities shall be constructed underground.)

**LEGAL DESCRIPTION**

THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M., DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 21, THENCE NORTH 87°34'37" WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION A DISTANCE OF 55.03 FEET, THENCE NORTH 80°23'37" EAST A DISTANCE OF 280.15 FEET TO THE POINT OF BEGINNING, THENCE CONTINUING NORTH 02°33'37" EAST A DISTANCE OF 55.71 FEET TO THE POINT OF A CURVATURE, THENCE 103.86 FEET ALONG A TANGENT CURVE TO THE LEFT, CURVING TO THE NORTH-EAST, HAVING A RADIUS 586.75 FEET AND CONSUMING A CENTRAL ANGLE OF 107°30'00".  
 THENCE NORTH 87°34'37" WEST A DISTANCE OF 108.75 FEET, THENCE SOUTH 02°33'37" WEST A DISTANCE OF 659.05 FEET, THENCE SOUTH 87°34'37" EAST A DISTANCE OF 1126.25 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON  
 (CONTAINING APPROXIMATELY 734,815 S.F. / 16.87 ACRES)

TAX PARCEL NUMBER: 310521004020100

**PROJECT STATISTICS**

ZONING DESIGNATION: B7-BUSINESS PARK  
 ARPORT PROTECTION DISTRICT SUBDISTRICT: B  
 SITE AREA: 379,385 S.F. / 8.709 ACRES  
 BUILDING SETBACK FROM ARTERIAL: 25 FEET  
 BUILDING SETBACK FROM LOT BOUNDARY LINE OR ALLEY: 5 FEET  
 HEIGHT LIMITATION: 50 FEET  
 MAXIMUM LOT COVERAGE: 100%

**BUILDING DATA**

CODES USED: 2018 IBC, IBC, UPC, IFC, 2015 ICC ANS 117.1, 2012 WASHREC & CITY OF ARLINGTON MUNICIPAL CODE

TYPE OF CONSTRUCTION: TYPE II-B, SPRINKLED  
 OCCUPANCY GROUPS (ANTICIPATED): B, S-1 AND F-1  
 NUMBER OF STORES: 1  
 BUILDING SETBACK FROM ARTERIAL PROVIDED: 75'-10" +  
 BUILDING SETBACK FROM LOT BOUNDARY LINE PROVIDED: 87'-0"  
 BUILDING HEIGHT (MAXIMUM): 32'-10"  
 LOT COVERAGE \* (IMPERVIOUS SURFACE): 283,069 S.F. (39%)  
 \* EXCLUDES EXISTING BUILDING A  
 ALLOWABLE FLOOR AREA: UNLIMITED  
 ALLOWABLE AREA CALCULATION  
 PER IBC 503.1.2, TWO OR MORE BUILDINGS ON THE SAME LOT SHALL BE CONSIDERED AS PORTIONS OF ONE BUILDING. BUILDING A AND BUILDING B TO BE UNLIMITED AREA BUILDINGS PER I.B.C. 507.4, SPRINKLED ONE STORY BUILDING SEPARATED BY YARDS 60' OR GREATER.

BUILDING AREA:  
 PROPOSED BUILDING B AREA (FOOTPRINT): 168,494 S.F.  
 TOTAL BUILDING B AREA: 168,494 S.F.  
 REQUIRED PARKING:  
 BUILDING B:  
 FUTURE OFFICE (ASSUME 15%): 63 STALLS  
 FUTURE MANUFACTURING (ASSUME 25%): 56 STALLS  
 FUTURE WAREHOUSE (ASSUME 60%): 51 STALLS  
 TOTAL PARKING REQUIRED FOR BUILDING B: 170 STALLS

PROVIDED PARKING:  
 BUILDING A (EXISTING)  
 STANDARD: 270 STALLS  
 ACCESSIBLE: 7 STALLS  
 TOTAL PARKING PROVIDED BUILDING A: 277 STALLS  
 BUILDING B (PROPOSED)  
 STANDARD: 276 STALLS  
 ACCESSIBLE: 7 STALLS  
 TOTAL PARKING PROVIDED BUILDING B: 283 STALLS  
 TOTAL PARKING PROVIDED BUILDING A & B: 560 STALLS

BUILDING TO BE SEMI-HEATED SPACE. SEE ENERGY ANALYSIS BY FRANKLIN ENGINEERING. BOODER DESIGN GAS HEAT TO BE DESIGNED FOR SEMI-HEATED SPACE (METHANE/S.F.) FOR ENTIRE BUILDING AND ELECTRICAL/SPRINKLER ROOM. ROOF TO HAVE MINIMUM R-38 RIGID INSULATION OVER ENTIRE ROOF AREA.

STORAGE CLEAR HEIGHT (INTERIOR): 24' FEET HIGH

**PROJECT SCOPE**

CONSTRUCT 168,494 S.F. OFFICE/WAREHOUSE BUILDING SHELL AND ASSOCIATED SITE WORK.

**VICINITY MAP**



**PROJECT ADDRESS**

17216 51ST AVENUE NE, ARLINGTON, WA 98223

# CITY OF ARLINGTON ARLINGTON AIRPORT INDUSTRIAL PARK BUILDING B

File: PLN#951

SECTION 21, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M



## PERMIT APPLICATION SET

4-12-22

**PROJECT TEAM**

DEVELOPER:	ARCHITECT:	CIVIL ENGINEER:	STRUCTURAL ENGINEER:	LANDSCAPE DESIGN:	GEOTECHNICAL ENGINEER:
SMARTCAP ARLINGTON AIRPORT INDUSTRIAL PARK 0078, LLC 8201 164TH AVE. NE, SUITE 110 REDMOND, WA 98052 (425) 422-3494 CONTACT: ROBERT SHIPLEY EMAIL: ROBERTSH@SMARTCAPGROUP.COM	LANDE MUELLER & ASSOCIATES 130 LAKESIDE AVE. SUITE 250 SEATTLE, WA 98127 (206) 325-2553 FAX: (206) 325-2554 CONTACT: HAROLD CHRISTENSEN EMAIL: HAROLD@LMUELLER.COM	LAND TECHNOLOGIES, INC 18820 3RD AVE. NE ARLINGTON, WA 98223 (206) 826-9777 CONTACT: MERLE ASH EMAIL: MERLE@LANDTECHWAY.COM	ENGINEERS NORTHWEST 9725 3RD AVE. N.E., SUITE 207 SEATTLE, WA 98115 (206) 973-5423 CONTACT: JOANNE BAYLGA EMAIL: JOANNE@ENGINEERSNW.COM	MAIN STREET DESIGN 9402 TOM COURT BAINBRIDGE ISLAND, WA 98110 (206) 842-7899 CONTACT: KEN LONEY EMAIL: MARK_STREET@MAINSTREETDESIGN.COM	GEOTECH 20527 67TH AVE. NE ARLINGTON, WA 98223 (360) 435-1141 CONTACT: KEVIN RICHARDSON

**DEFERRED PERMITS**

- ELECTRICAL PERMIT
- PLUMBING PERMIT
- MECHANICAL (HVAC) PERMIT
- FIRE SPRINKLER PERMIT
- FIRE ALARM PERMIT

**CITY OF ARLINGTON GENERAL NOTES**

- THE JOB SUPERINTENDENT SHALL MAINTAIN AT THE JOB SITE A LIST OF THE SPECIAL INSPECTORS CONDUCTING INSPECTIONS ON THE PROJECT, INCLUDED ON THE LIST WILL BE THE INDIVIDUAL'S NAME, THE TYPES OF INSPECTIONS THE INDIVIDUAL IS QUALIFIED TO PERFORM, THE DATES AND TIMES OF EACH INDIVIDUAL WAS OR WILL BE PRESENT ON THE JOB SITE, AND THE TYPES OF INSPECTIONS COMPLETED EACH DATE.
- NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. APPROVAL FOR OCCUPANCY IS ONLY GRANTED AFTER ACCEPTANCE BY THE BUILDING DIVISION, PLANNING DIVISION, FIRE MARSHAL AND PUBLIC WORKS DEPARTMENT. NO EXCEPTIONS.
- SEPARATE PERMITS ARE REQUIRED FOR PLUMBING, MECHANICAL, ELECTRICAL, SIGNS, FENCES AND DEMOLITIONS. A SEWER CAPPING PERMIT IS REQUIRED PRIOR TO ANY DEMOLITION WORK.
- GREASE TRAPS AND OIL-WATER SEPARATORS REQUIRE SEPARATE INSPECTIONS DURING INSTALLATION AND BEFORE COVERING UP.
- ALL REQUESTED CHANGES TO THE APPROVED PLANS SHALL BE PREPARED BY THE PROJECT ARCHITECT AND/OR ENGINEER AND SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. COPIES OF THE APPROVED PLANS SHALL BE ON THE JOB SITE PRIOR TO COMMENCEMENT OF WORK.
- THE FINAL SIGNED REPORT FROM THE APPROVED TESTING LAB SHALL BE SUBMITTED TO THE BUILDING OFFICIAL, 25205 10TH AVENUE S.E. TO FINAL INSPECTION FOR OCCUPANCY.
- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STATE-ADOPTED CODES.

**CITY OF ARLINGTON FIRE PROTECTION NOTES**

- BODER DESIGN FIRE SPRINKLER SYSTEM TO BE DESIGNED AS E.S.F.R. THROUGHOUT THE BUILDING PER N.F.P.A. 13 FOR ANTICIPATED HIGH PILE STORAGE PROTECTION OF COMMODITY GROUPS I-M.
- SPRINKLERS TO UTILIZE QUICK RESPONSE HEADS.
- ALL AREAS PROVIDED WITH WET FIRE SPRINKLERS TO BE MAINTAINED BY BUILDING OWNER TO A MINIMUM OF 40 DEGREES FOR FROST PROTECTION.
- SPRINKLER RISER ROOM TO HAVE LIGHT AND HEAT TO KEEP EQUIPMENT FROM FREEZING. PROVIDE EXTERIOR SIGNAGE ON DOOR STATING SPRINKLER RISER ROOM IN 1" HIGH WHITE LETTER ON RED BACKGROUND.
- PROVIDE SPRINKLER PROTECTION UNDER ALL CANOPIES IF REQUIRED BY ARLINGTON FIRE DEPARTMENT.
- ALL HYDRANTS ARE TO BE INSTALLED AND OPERATIONAL PRIOR TO ANY COMBUSTIBLE STORAGE OR MATERIAL STORAGE.
- BODER DESIGN VISIBLE AND MONITORED FIRE ALARM SYSTEM TO BE INSTALLED IN PER 2015 IFC AND CITY OF ARLINGTON REQUIREMENTS.

**INDEX OF DRAWINGS**

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A2.1	FLOOR PLAN (EASTERN END), DETAILS
A2.2	ROOF PLAN (WESTERN END), DETAILS
A2.3	ROOF PLAN (EASTERN END), DETAILS
A3.0	EXTERIOR ELEVATIONS
A4.0	WALL SECTIONS, DETAILS
A4.1	WALL SECTIONS, DETAILS
A5.0	SCHEDULES, DETAILS
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S-0.2	SPECIAL INSPECTIONS
S-0.3	ROOF DECKING FASTENER & ROOF WIND GROSS UPLIFT PLANS
S-1.1	FOUNDATION PLAN
S-1.2	FOUNDATION PLAN
S-1.3	ROOF FRAMING PLAN
S-1.4	ROOF FRAMING PLAN
S-2.1	FOUNDATION SECTIONS
S-2.2	FOUNDATION SECTIONS
S-3.1	ROOF SECTIONS
S-3.2	SECTIONS
S-3.3	BRACE FRAME ELEVATION AND SECTIONS
S-3.4	CANOPY FRAMING PLANS AND SECTIONS
S-4.1	ELEVATIONS
S-4.2	ELEVATIONS
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S-4.4	ELEVATIONS
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S-6.1	TRASH ENCLOSURE AND SECTIONS
LANDSCAPE:	
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE PLAN

**PLAN LEGEND**

WALL	- REFER TO WALL SECTIONS FOR CONSTRUCTION
DOOR	DOOR NUMBER. SEE DOOR SCHEDULE AS.O.
DOOR TYPES AND HARDWARE	GROUPS ON SHEET AS.D
WINDOW	WINDOW TYPE. SEE AS.D.
REVISION	REVISION DELTA NUMBER
REVISION CLOUD	REVISION CLOUD
ROOM	ROOM NAME & NUMBER
WALL TYPE	WALL TYPE REFERENCE SEE WALL TYPES ON SHEET A2.1.
DETAIL	DETAIL REFERENCE
SECTION CUT	SECTION CUT. SEE SHEETS A4.0-A4.1.
EARTH	EARTH
GRAVEL/ROCK	GRAVEL/ROCK
CONCRETE	CONCRETE
ASPHALT PAVING	ASPHALT PAVING
WOOD FRAMING	WOOD FRAMING
BLOCKING OR SHIM	BLOCKING OR SHIM
FINISH WOOD	FINISH WOOD
GLASS (ELEVATION)	GLASS (ELEVATION)
GLASS (SECTION)	GLASS (SECTION)
GYPSUM WALL BOARD	GYPSUM WALL BOARD
CAULKING/SEALANT	CAULKING/SEALANT
PLYWOOD	PLYWOOD
BRICK/CMU	BRICK/CMU
ADJUSTIVE TILE	ADJUSTIVE TILE
ROOF INSULATION	ROOF INSULATION
BATT INSULATION	BATT INSULATION
METAL	METAL

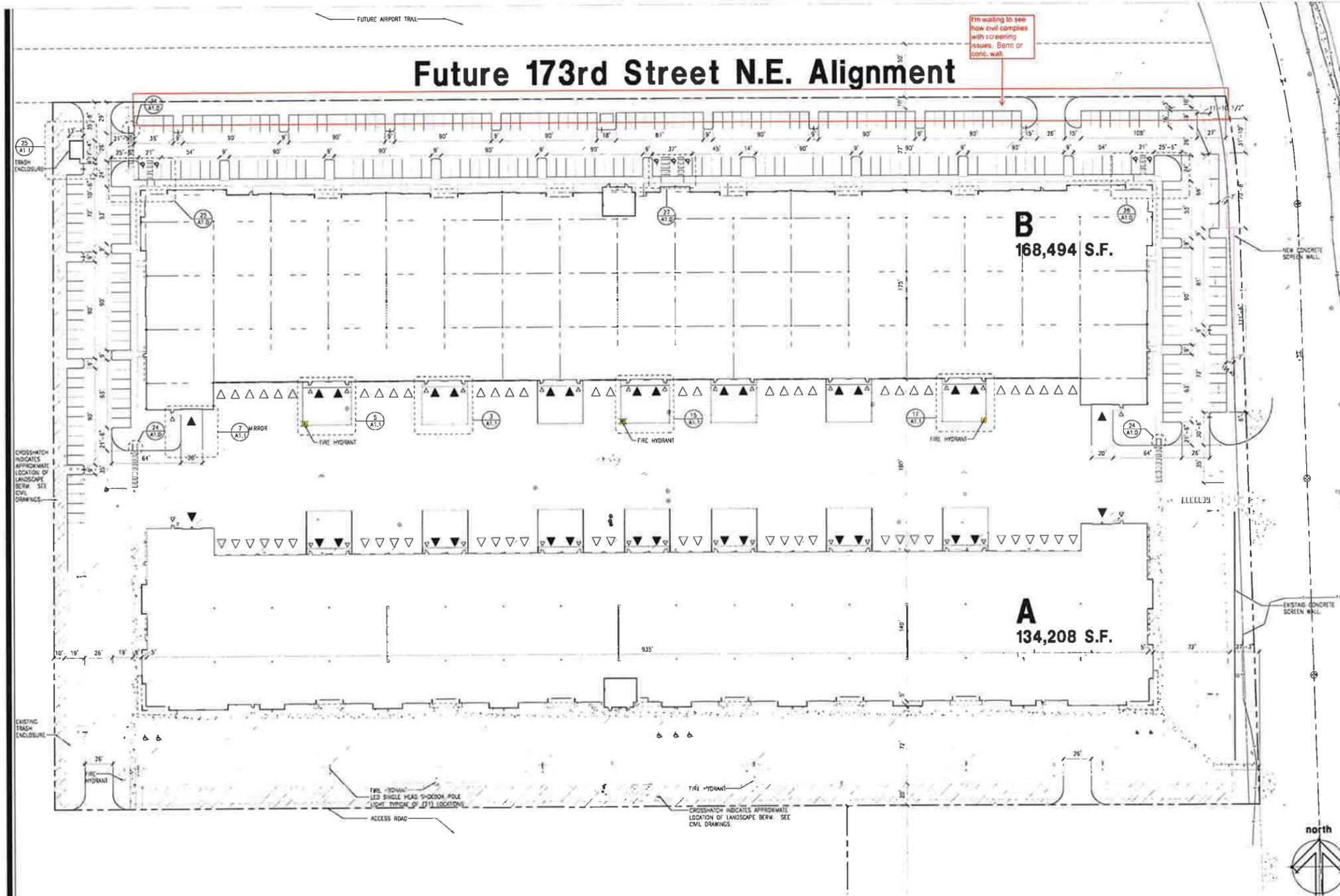
**LIGHT FIXTURE LEGEND (BUILDING B)**

FIXTURE	WATTS	QUANTITY
LED SHOEBOX FIXTURE ON 20' POLE WITH 24" x 7' PRECAST/CONCRETE BASE	220W	10
LED SHOEBOX FIXTURE WITH ARM WALL MOUNTED AT 25' A.F.F.	220W	12
WALL PACK (DOWNWARD CAST LIGHT) AT 25' A.F.F.	157W	17
LED BOLLARD LIGHT FIXTURE	62W	2
LED HIGH BAY LIGHT FIXTURE	232W	206
LED Recessed CAN LIGHT	20W	21
LED 4' STRIP LIGHT FIXTURE	49W	8
LED EXIT LIGHT WITH BATTERY BACK UP AND FROG EYE EMERGENCY LIGHTING	3W	39

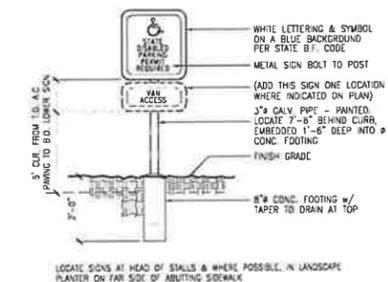


PROJECT DATA / COVER SHEET  
 Proposed Building B for  
**Smartcap**  
 Arlington Airport Industrial Park  
 Arlington, Washington  
 LANDE MUELLER & ASSOCIATES  
 130 LAKESIDE AVE. SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553  
 A R L I N G T O N  
 sheet  
**A0.0**

# Future 173rd Street N.E. Alignment



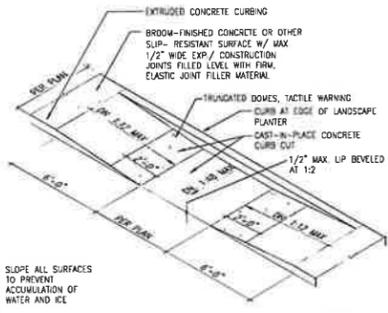
I'm waiting to see how civil complies with screening issues. Berm or conc. wall



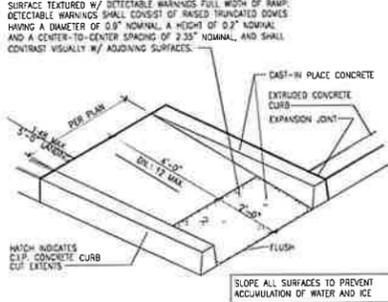
6 ACCESSIBLE PARKING SIGN  
Scale: 1/2"=1'-0"



12 ACCESSIBLE PARKING SYMBOL  
Scale: NOT TO SCALE

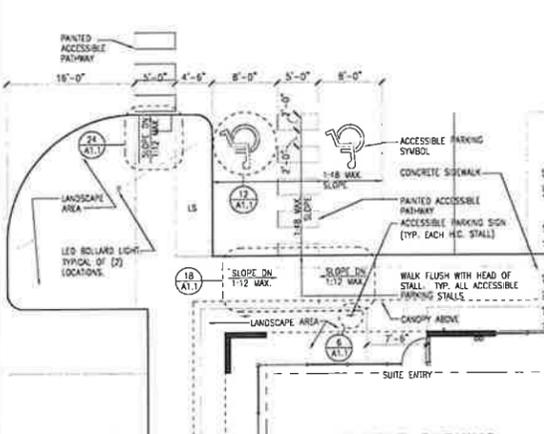


18 CURB CUT AT ACCESSIBLE PARKING  
Scale: NOT TO SCALE

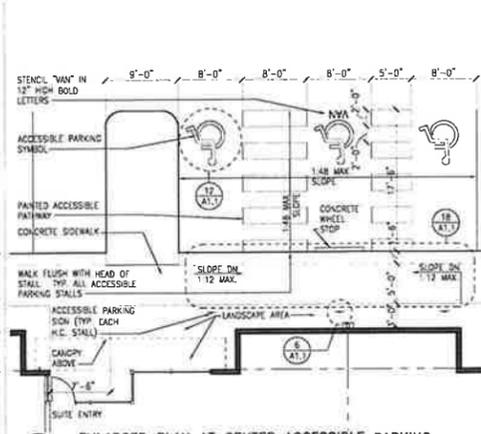


24 CURB CUT  
Scale: NOT TO SCALE

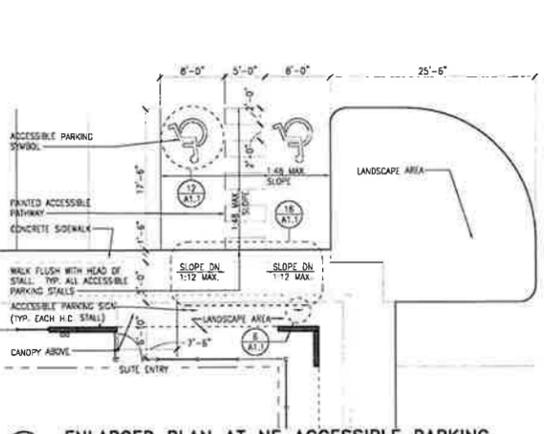
13 SITE PLAN  
Scale: 1"=40'-0"



25 ENLARGED PLAN AT NW ACCESSIBLE PARKING  
Scale: 1/8"=1'-0"



27 ENLARGED PLAN AT CENTER ACCESSIBLE PARKING  
Scale: 1/8"=1'-0"

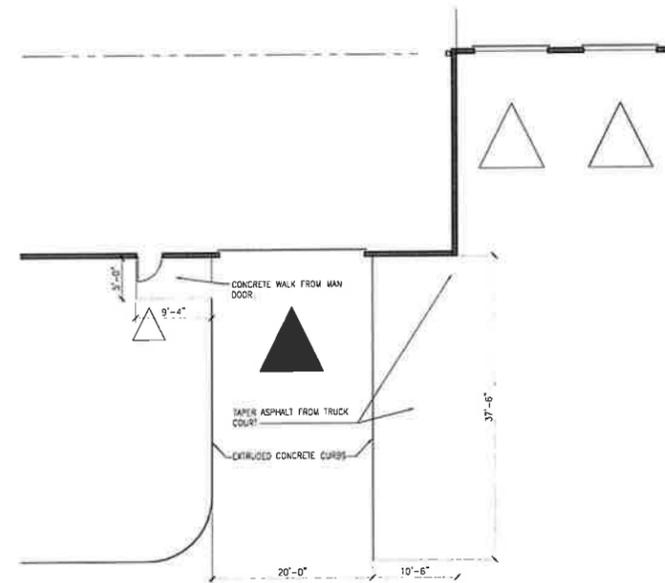


28 ENLARGED PLAN AT NE ACCESSIBLE PARKING  
Scale: 1/8"=1'-0"

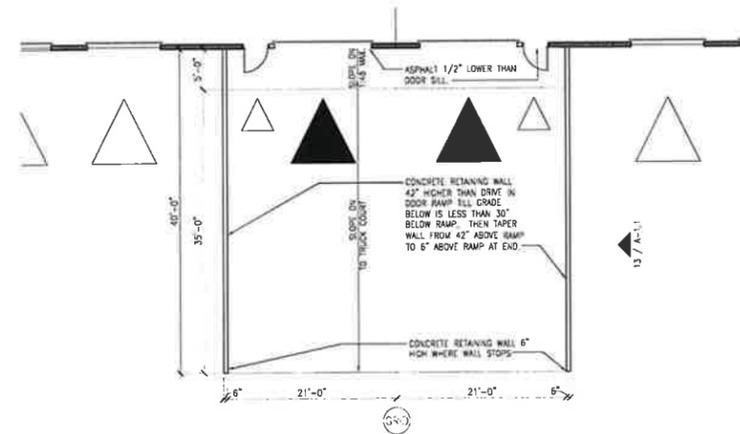


Proposed Building B for  
**Smartcap**  
Arlington Airport Industrial Park  
Arlington, Washington

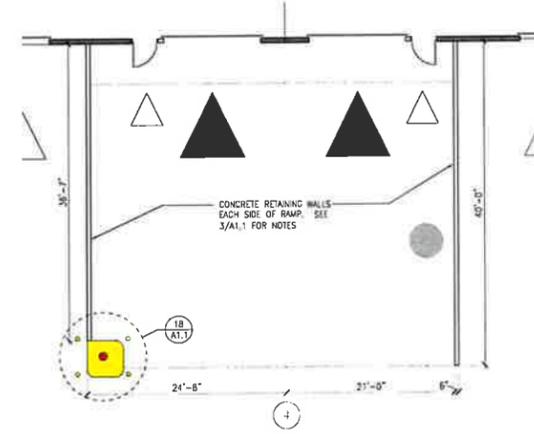
SITE PLAN, ENLARGED SITE DETAILS  
LANE MUELLER & ASSOCIATES  
A R L I N G T O N  
130 LAKEBRIE • SUITE 250 • SEATTLE, WA 98102 • (206) 325-9553  
sheet  
**A1.0**



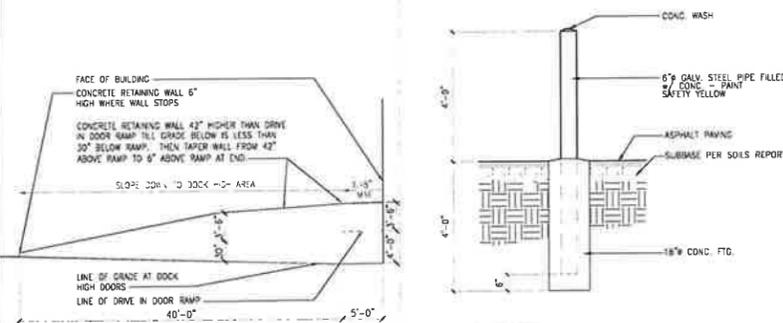
**7 ENLARGED DRIVE IN DOOR RAMP PLAN (SW AND SE CORNER)**  
Scale: 1/8"=1'-0" (OPPOSITE SIDE MIRROR IMAGE)



**3 ENLARGED DRIVE IN DOOR RAMP PLAN (TYPICAL RAMP WITHOUT FIRE HYDRANT)**  
Scale: 1/8"=1'-0"

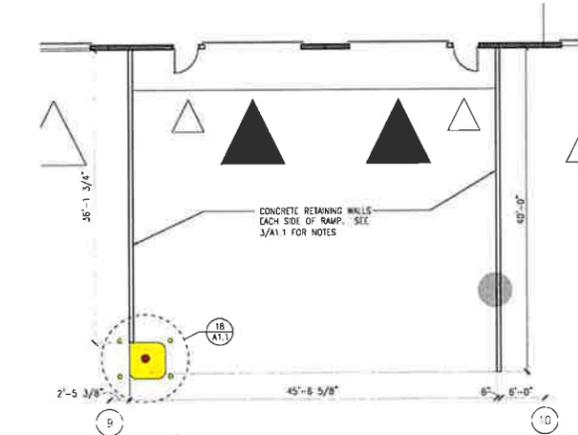


**5 ENLARGED DRIVE IN DOOR RAMP PLAN AT GRID 4**  
Scale: 1/8"=1'-0"

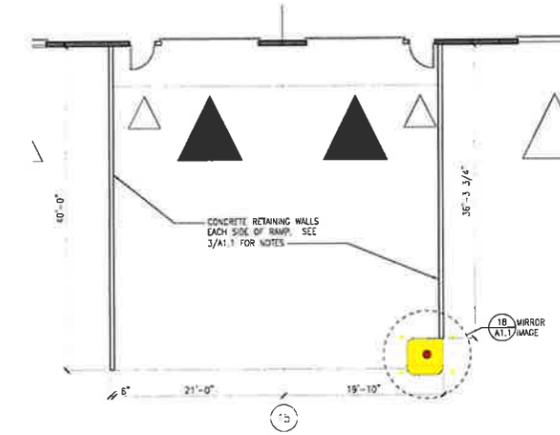


**13 ELEVATION AT DRIVE IN DOOR RAMP WALL**  
Scale: 1/8"=1'-0" (OPPOSITE SIDE MIRROR IMAGE)

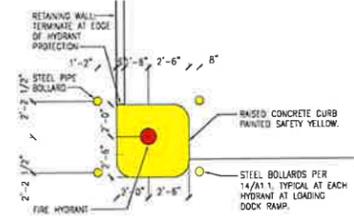
**14 BOLLARD**  
Scale: 1/2"=1'-0"



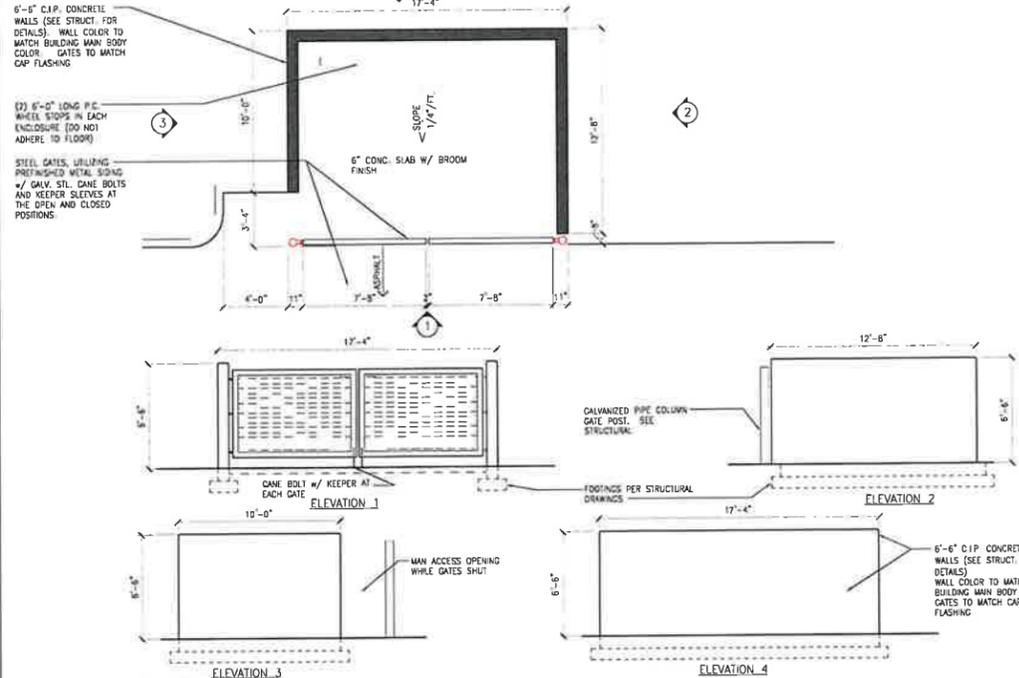
**15 ENLARGED DRIVE IN DOOR RAMP PLAN AT GRIDS 9-10**  
Scale: 1/8"=1'-0"



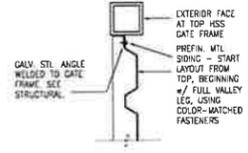
**17 ENLARGED DRIVE IN DOOR RAMP PLAN AT GRID 15**  
Scale: 1/8"=1'-0"



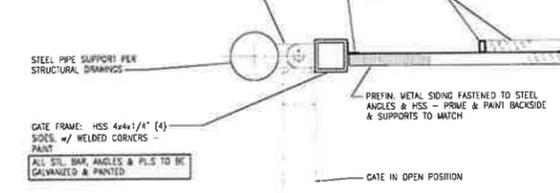
**18 FIRE HYDRANT PROTECTION AT RAMP**  
Scale: 1/4"=1'-0" (EAST SIDE MIRROR IMAGE)



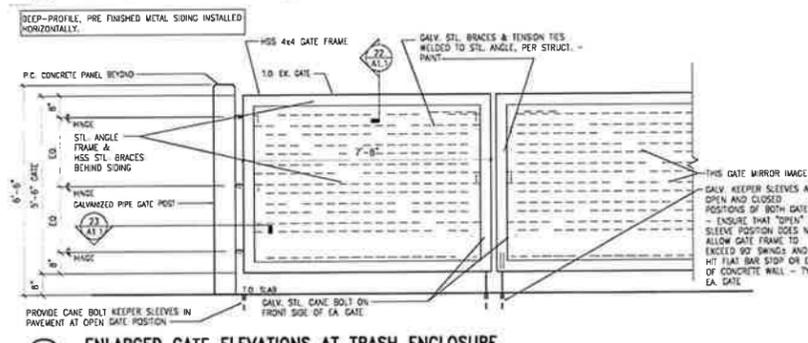
**25 TRASH ENCLOSURE**  
Scale: 1/4"=1'-0"



**22 T.O. GATE SECTION (HAMB SIM)**  
Scale: 1 1/2"=1'-0"

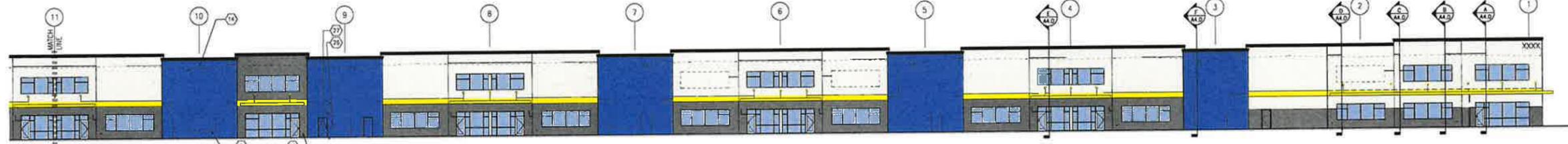


**23 GATE HINGE DETAIL - PLAN VIEW**  
Scale: 1 1/2"=1'-0"



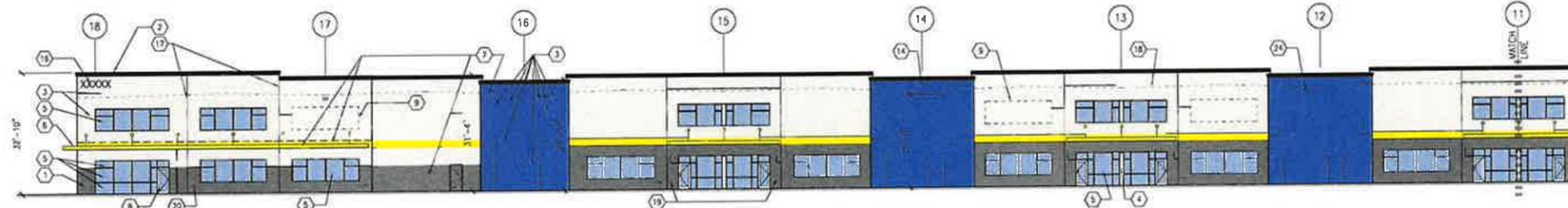
**28 ENLARGED GATE ELEVATIONS AT TRASH ENCLOSURE**  
Scale: 1/2"=1'-0"





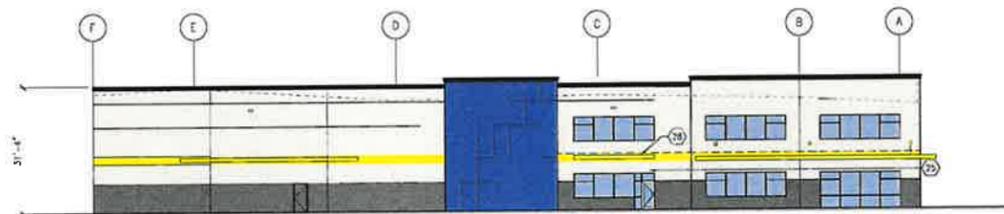
**NORTH ELEVATION (WESTERN END)**

Scale: 1/16"=1'-0"



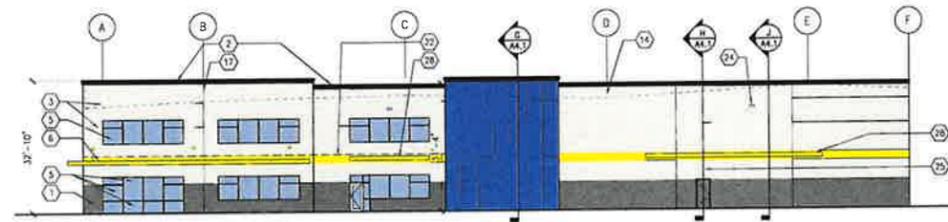
**NORTH ELEVATION (EASTERN END)**

Scale: 1/16"=1'-0"



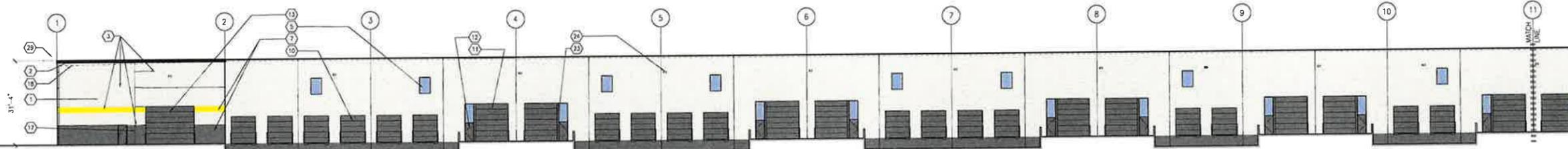
**EAST ELEVATION**

Scale: 1/16"=1'-0"



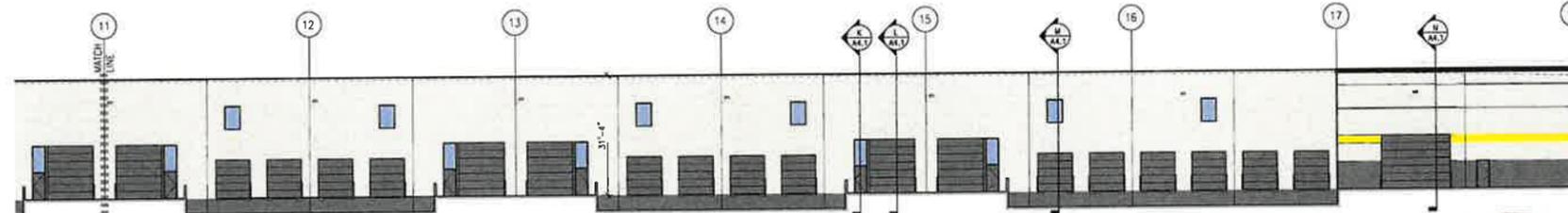
**WEST ELEVATION**

Scale: 1/16"=1'-0"



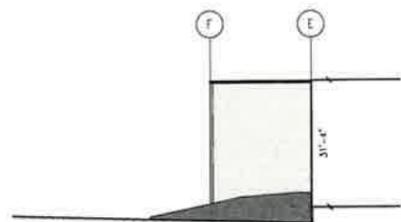
**SOUTH ELEVATION (WESTERN END)**

Scale: 1/16"=1'-0"



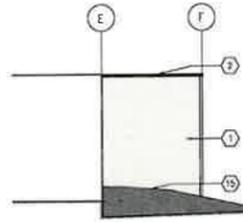
**SOUTH ELEVATION (EASTERN END)**

Scale: 1/16"=1'-0"



**WEST ELEVATION (INSIDE CORNER AT LOADING DOCK)**

Scale: 1/16"=1'-0"



**EAST ELEVATION (INSIDE CORNER AT LOADING DOCK)**

Scale: 1/16"=1'-0"

**ELEVATION KEYNOTES**

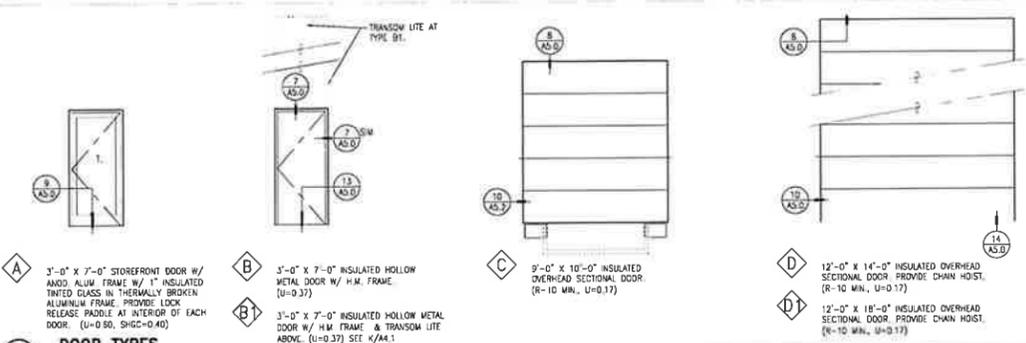
- 1 TILT-UP CONCRETE PANEL (PAINT)
- 2 PRE-FINISHED 24 GA. METAL COPING
- 3 REVEAL (SEE WALL SECTIONS FOR TYPE)
- 4 1" INSULATED SPANDREL GLASS WITH OPACICOAT COATING ON SURFACE
- 5 1" INSULATED GLASS IN CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM
- 6 STEEL CHANNEL ACCENT FRAME/CANOPY PROJECTING 3'-11" FROM BUILDING. PAINT ACCENT COLOR.
- 7 ACCENT COLOR AT EXTERIOR CONCRETE.
- 8 3'-0"x7'-0" STOREFRONT ENTRY DOOR WITH 1/4" 12" CENTER TO CENTER PULLS EACH DOOR.
- 9 SHOWN OUTLINE FOR POTENTIAL FUTURE STOREFRONT WINDOW OPENINGS
- 10 9'-0"x10'-0" INSULATED OVERHEAD DOOR (PAINT)
- 11 12'-0"x14'-0" INSULATED OVERHEAD DOOR (PAINT)
- 12 3'-0"x7'-0" INSULATED HOLLOW METAL MAN DOOR (PAINT)
- 13 20'-0"x14'-0" INSULATED OVERHEAD DOOR (PAINT)
- 14 SCUPPER BOX WITH 6" STEEL DOWNSPOUT (TIGHTLINE PER CIVIL DRAWINGS)
- 15 CONCRETE RETAINING WALL AT DRIVE IN DOOR RAMP.
- 16 BUILDING ADDRESS IN 24" HIGH BOLD NUMERALS PAINTED ON BUILDING WITH CONTRASTING COLORS TO MAIN BODY COLOR.
- 17 LOCATE AS DIRECTED BY FIRE DEPARTMENT.
- 18 TILT-UP CONCRETE PANEL JOINT.
- 19 LINE OF ROOF BEYOND
- 20 3' ROUND DOWNSPOUT FROM CANOPY ABOVE (TIGHTLINE).
- 21 BRONZE CONE TONGUE FOR ROOF DRAIN OVERFLOW. SEE 6/A2.3
- 22 THROUGH WALL ROOF DRAIN OVERFLOW. MINIMUM 8" HIGH x 15" WIDE
- 23 LINE OF POTENTIAL FUTURE MEZZANINE FLOOR LEVEL.
- 24 REMOVABLE 8"x4" TUBE STEEL COLUMN TO CREATE POTENTIAL FUTURE 16'-0" WIDE x 14'-0" HIGH OPENING PROVIDE TRANSOM WINDOW ABOVE MAN DOOR.
- 25 LED SHOEBOX LIGHT FIXTURE. WALL MOUNT ON ARM WITH DOWNWARD CAST LENS. TYPICAL OF (25) LOCATIONS.
- 26 LED COMPACT MAN DOOR LIGHT FIXTURE. TYPICAL OF (9) LOCATIONS.
- 27 BUILDING MASTER KEY SECURED IN KNOX BOX 3200 SERIES. LOCATE ADJACENT TO STRIKE SIDE OF SPRINKLER RISER ACCESS DOOR.
- 28 "SPRINKLER RISER ROOM" & "FIRE ALARM CONTROL ROOM" SIGNAGE POSTED ON DOOR IN 1" HIGH WHITE LETTER ON RED BACKGROUND.
- 29 STEEL CHANNEL ACCENT FRAME PROJECTING 18" FROM BUILDING. PAINT ACCENT COLOR.
- 30 OUTLINE OF BUILDING IN BACKGROUND.



Proposed Building B for  
**Smartcap**  
 Arlington Airport Industrial Park  
 Arlington, Washington

**EXTERIOR ELEVATION**  
 LANDE MUELLER & ASSOCIATES  
 ARCHITECTS  
 1300 LAKEVIEW • SUITE 250 • SEATTLE, WA 98125 • (206) 325-2553

sheet  
**A3.0**



**DOOR NOTES**

- ALL DOOR HARDWARE TO COMPLY WITH I.B.C. SECTION 1010, ICC/ANSI 117.1 STANDARDS.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESS SIGNAGE AT EACH ACCESSIBLE ENTRANCE DOOR.
- ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT PER I.B.C. SECTION 1010.1.9
- PROVIDE SAFETY GLAZING PER DRAWINGS AND I.B.C. SECTION 2405.1- TEMPERED GLAZING.
- OVERHEAD SECTIONAL DOORS TO BE R=10 MINIMUM
- HOLLOW METAL MAN DOORS TO BE U=0.37 OR BETTER.

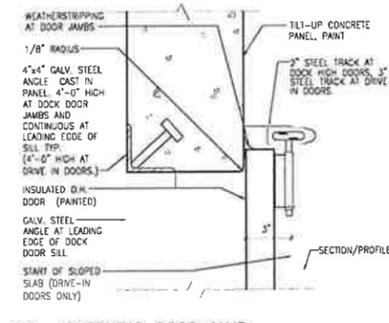
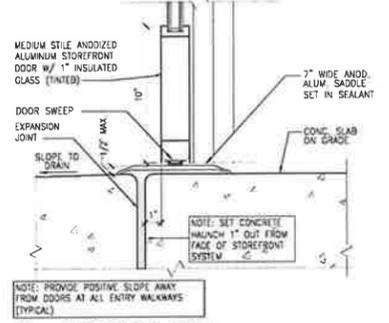
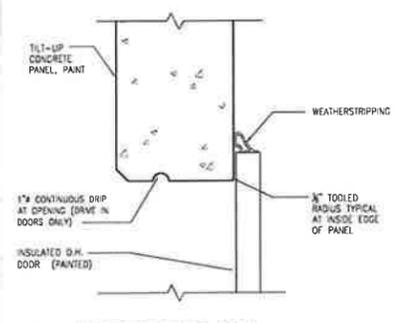
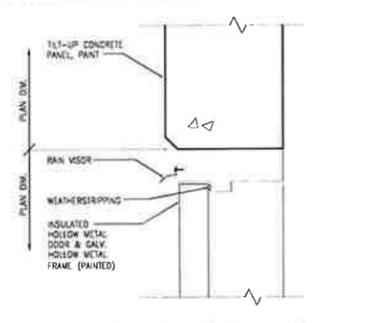
**DOOR HARDWARE TYPES**

#1 INTERIOR PADDLE RELEASE 12" C.T.C. PULLS AT EXTERIOR WEATHER GASKET SET SWEEPS THRESHOLD CLOSER

#2 LEVER LOCKSET WEATHER GASKET SET CLOSER THRESHOLD RAIN VISOR

#3 PANIC HORIZONTAL WEATHER GASKET SET CLOSER THRESHOLD RAIN VISOR

**1 DOOR TYPES**  
Scale: 1/4" = 1'-0"

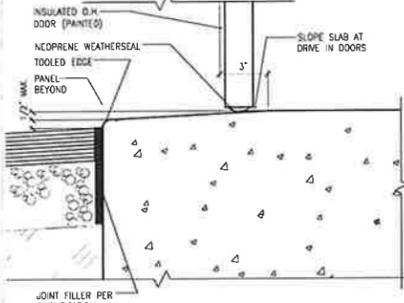
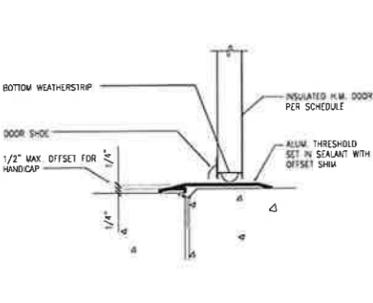


**7 H.M. DOOR HEAD (JAMB SIM.)**  
Scale: 3/8" = 1'-0"

**8 OVERHEAD DOOR HEAD**  
Scale: 3/8" = 1'-0"

**9 STOREFRONT DOOR SILL**  
Scale: 3/8" = 1'-0"

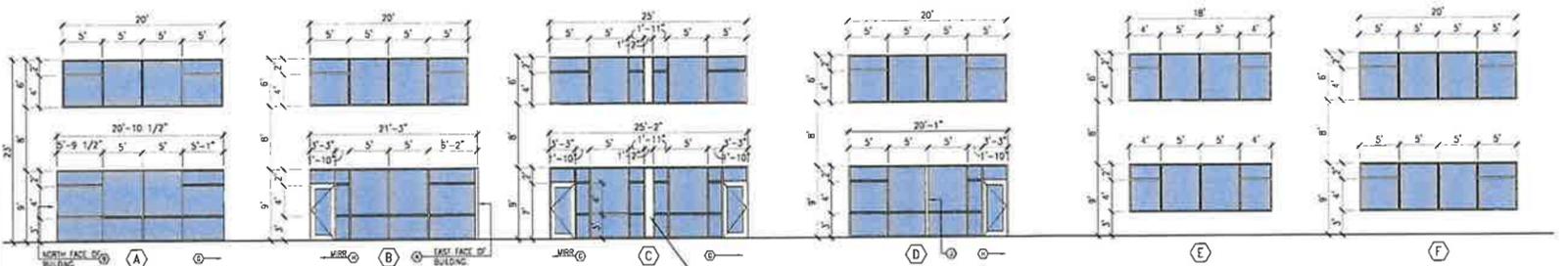
**10 OVERHEAD DOOR JAMB**  
Scale: 3/8" = 1'-0"



**13 H.M. DOOR SILL**  
Scale: 3/8" = 1'-0"

**14 OVERHEAD DOOR JAMB**  
Scale: 3/8" = 1'-0"

NOTE: VERTICAL GLAZING TO BE NFRC CERTIFIED, U=0.38, SHGC=0.40 OR BETTER. GLASS ENTRY DOORS TO BE NFRC CERTIFIED, U=0.80, SHGC=0.40 OR BETTER. SKYLIGHTS TO BE NFRC CERTIFIED, U=0.50, SHGC=0.35, V=0.50 OR BETTER.



**25 WINDOW SCHEDULE**  
Scale: 1/8" = 1'-0"

**EXTERIOR GLAZING SCHEDULE**

TYPE	DESCRIPTION	SIZE (WxH)	AREA	QUANT.	TOTAL	REMARKS
A	WINDOW UNITS	20'-10 1/2" x 9'-0" & 20'-0" x 9'-0"	357.875 SF	2	735.75 SF	
B	STOREFRONT W/ ENTRY DOOR	21'-3" x 9'-0" & 20'-0" x 9'-0"	371.25 SF	3	1113.75 SF	INCLUDES ENTRANCE DOORS
C	STOREFRONT W/ ENTRY DOOR	25'-0" x 9'-0" & 25'-0" x 9'-0"	375.00 SF	6	2250.00 SF	INCLUDES ENTRANCE DOORS
D	STOREFRONT W/ ENTRY DOOR	20'-1" x 9'-0" & 20'-0" x 9'-0"	330.75 SF	1	330.75 SF	INCLUDES ENTRANCE DOORS
E	WINDOW UNITS	12'-18'-0" x 9'-0"	216.00 SF	2	432.00 SF	
F	WINDOW UNITS	12'-22'-0" x 9'-0"	240.00 SF	2	480.00 SF	
G	WINDOW UNIT	3'-0 3/4" x 9'-0"	27.56 SF	12	330.72 SF	
H	WINDOW UNIT	3'-2 3/4" x 9'-0"	28.06 SF	5	140.30 SF	
J	WINDOW UNIT	3'-9" x 9'-0"	33.75 SF	1	33.75 SF	
K	WINDOW UNIT	18'-0" x 6'-0"	108.00 SF	14	1512.00 SF	
L	WINDOW UNIT	3'-4" x 7'-0"	23.75 SF	14	332.50 SF	
M	WINDOW UNIT	4'-0" x 8'-0"	32.00 SF	14	448.00 SF	
N	SKYLIGHT	4'-0" x 8'-0"	32.00 SF	20	640.00 SF	
P	STOREFRONT W/ ENTRY DOOR	20'-0" x 9'-0" & 20'-0" x 6'-0"	255.00 SF	7	1785.00 SF	INCLUDES ENTRANCE DOORS
TOTAL GLAZED OPENING AREA					10,714.87 SF	

**DOOR SCHEDULE**

DOOR NO.	TYPE	DESCRIPTION	DOOR		FRAME		HARDWARE GROUP	RATING	SIGNAGE/REMARKS
			MAT.	FIN.	MAT.	FIN.			
<b>BUILDING B</b>									
1	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
2	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	3	-	SIGNAGE PER PLANS
3	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
4	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
5	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
6	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
7	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
8	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
9	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	3	-	
10	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	3	-	SIGNAGE PER PLANS
11	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
12	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
13	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
14	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
15	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
16	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
17	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
18	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
19	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
20	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SECONDARY SUITE ENTRY
21	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
22	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
23	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
24	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
25	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
26	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
27	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
28	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
29	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
30	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
31	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
32	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
33	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
34	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
35	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
36	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
37	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
38	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
39	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
40	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
41	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
42	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
43	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
44	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
45	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
46	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
47	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
48	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
49	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
50	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
51	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
52	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
53	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
54	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
55	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
56	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
57	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
58	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
59	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
60	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
61	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
62	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
63	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
64	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
65	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
66	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
67	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
68	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
69	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
70	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
71	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
72	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
73	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
74	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
75	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
76	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
77	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
78	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
79	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
80	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
81	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
82	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
83	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
84	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
85	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
86	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
87	A	3'-0" x 7'-0"	ALUM/CLS	FACT.	ALUM.	FACT.	1	-	SECONDARY SUITE ENTRY



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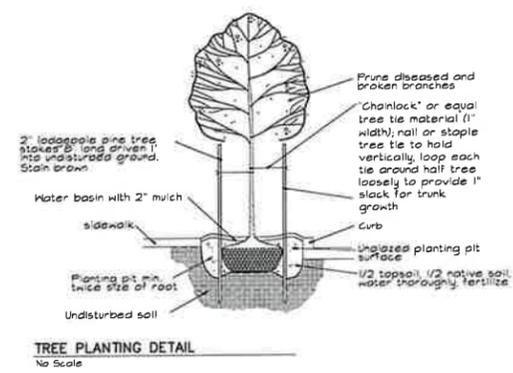
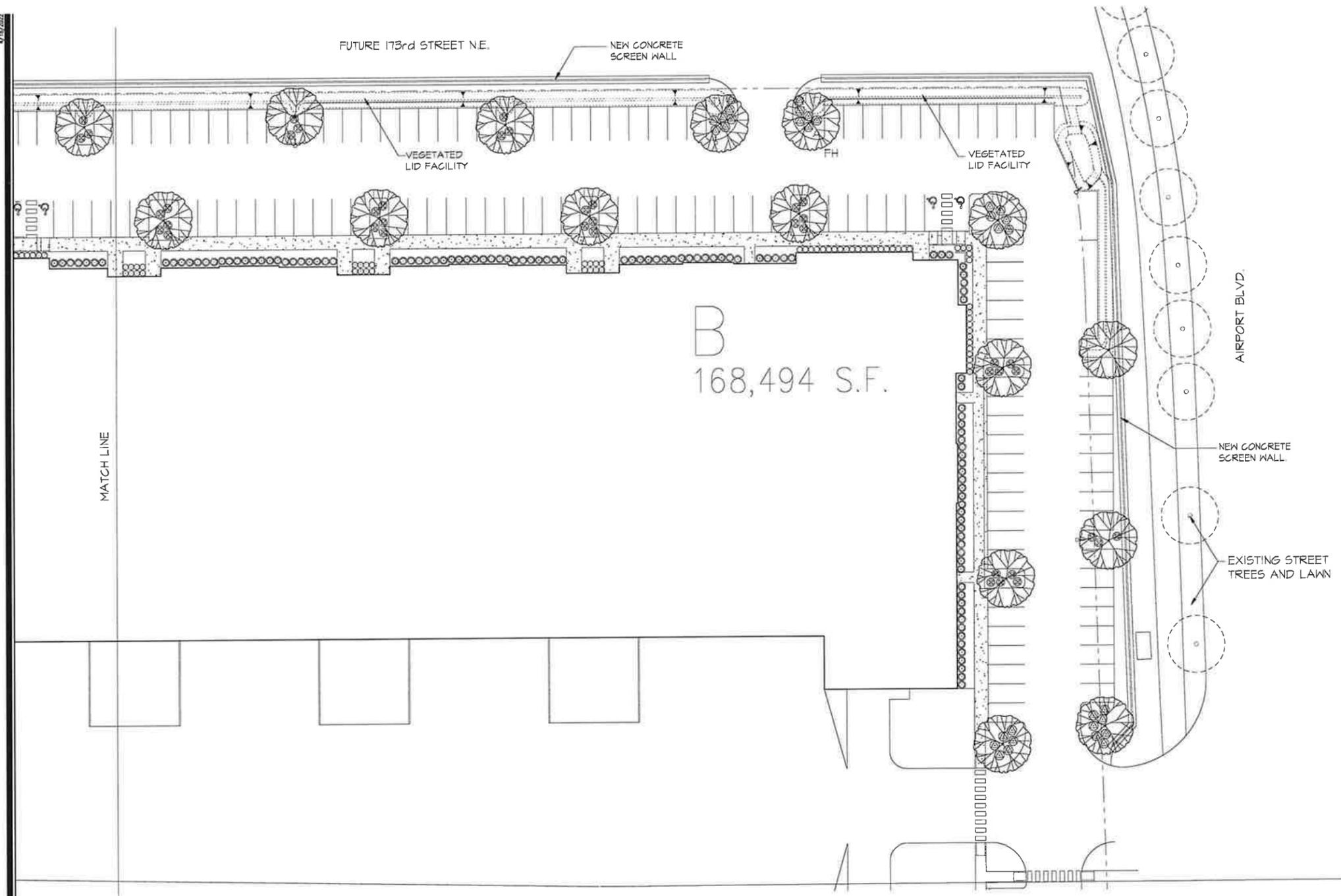
Proposed Building B for  
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Arlington, Washington

DOOR TYPES & SCHEDULE

sheet

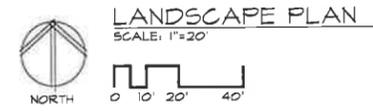
**A5.0**

4/14/2022  
 4-11-22.dwg  
 4-11-22.dwg



Note:  
 1. Installation includes removal of stakes one year after installation.  
 2. Adjust tree ties during establishment to allow for growth.

SYMBOL	BOTANICAL / COMMON	QUANTITY	SIZE	CONDITION
	Liquidambar sty. 'Slender silhouette' / 36 Slender Silhouette Sweetgum	2	2" cal	B&B
	Lonicera pileata / Privet Honeysuckle	2	gallon	full & bushy
	Santus 'Sashiki' / Golden Hinoki Cypress	2	gallon	full & bushy
	Viburnum Davidii / David Viburnum	2	gallon	full & bushy
	Boxus m. 'Winter Gem' / Winter Gem Boxwood	2	gallon	full & bushy
	Hydrated fine lawn - 80% perennial ryegrass, 20% fine fescue			



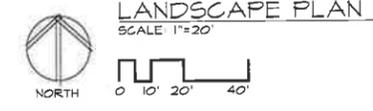
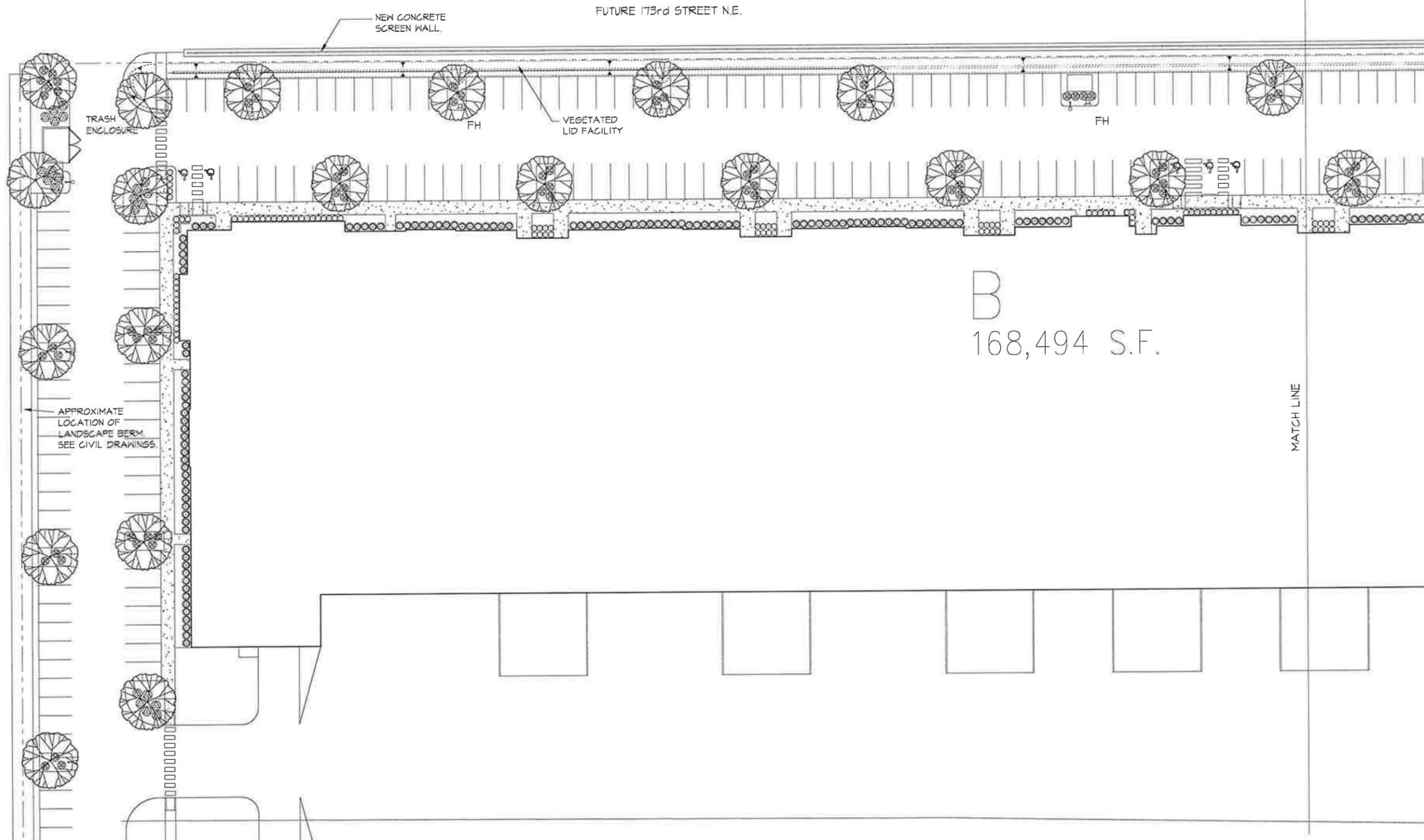
**MAIN STREET DESIGN**  
 LANDSCAPE ARCHITECTURE  
 8402 Tudor Court (206) 842-7886  
 Bainbridge Is., WA 98110

Proposed Building B for  
**Smartcap**  
 Arlington Airport Industrial Park  
 Arlington, Washington

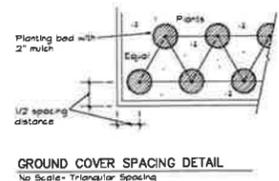
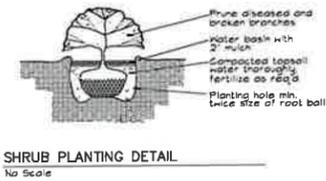
LANDSCAPE PLAN  
 LANGE MUELLER & ASSOCIATES  
 A R C H I T E C T S  
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sheet  
 LANDSCAPE PLAN  
**L-1**

PERMIT APPLICATION SET 4/12/22  
 4/12/22



LANDSCAPE PLAN  
SCALE 1"=20'



NOTES

1. Subgrades, including berms, to within 1/10th foot provided by General Contractor unless otherwise noted.
2. Subgrade shall be scarified or rotted if conditions require.
3. 4" depth 3-way topsoil or equal in all planting areas.
4. 2" depth fine grade bark mulch in all planting beds.
5. All plant material shall be healthy, full and conform to USA standard nursery stock, latest edition.
6. Plant material of size or kind not available may be substituted only with approval of Landscape Architect or Owner.
7. All mass plantings shall have triangular spacing.
8. All tree pits shall be inspected to insure proper drainage.
9. Positive drainage shall be maintained. Mound planting areas minimum 6".
10. Landscape Contractor shall maintain site until final inspection and acceptance by owner.



MAIN STREET DESIGN  
LANDSCAPE ARCHITECTURE  
8402 Fidal Court (206) 842-7886  
Burien WA 98148

Proposed Building B for  
**Smartcap**  
Arlington Airport Industrial Park  
Arlington, Washington

LANDSCAPE PLAN  
LANDE MUELLER & ASSOCIATES  
ARCHITECTS  
130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • 120613952953

9-003  
DATE: 4/12/22  
PROJECT APPLICATION SET 16/22/22

sheet  
LANDSCAPE PLAN  
L-2