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ARLINGTON APARTMENTS

Arlington, WA

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1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL	DATE June 13, 2025					
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ARLINGTON, WASHINGTON
EXTERIOR RENDERING
Street Perspective

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A.01



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A.02



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ARLINGTON GARDEN APARTMENTS
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EXTERIOR RENDERING
Retail Perspective

SHEET

A.03

BUILDING PROGRAM DATA			6/13/2025					LPAS		
EMBLEM ARLINGTON										
ARLINGTON, WASHINGTON										
SITE SUMMARY										
GROSS SITE AREA:		8.81 ACRES	383,704 SF							
TRACT #1: 211TH PLACE NE		0.59 ACRES	25,620 SF							
TRACT #2: NGPA		1.02 ACRES	44,559 SF							
TRACT #3:		0.05 ACRES	1,986 SF							
LOT 1: FUTURE COMMERCIAL:		0.34 ACRES	14,958 SF							
LOT 2: NET SITE AREA:		6.81 ACRES	296,581 SF							
OPEN SPACE REQ'D:		5%	0.34 ACRES		14,829 SF					
(25% OF REQUIRED OPEN SPACE IS ALLOWED WITH										
		0.09 ACRES	3,707 SF							
MINI PARK REQUIRED:		SF/UNIT	0.51 ACRES		22,334 SF					
1 BDR		91								
2 BDR		143								
3 BDR		208								
TOTAL PARK AND OPEN SPACE:		0.85 ACRES	37,163 SF							
GROSS DENSITY:		23 DU/ACRE								
NET DENSITY:		30 DU/ACRE								
BUILDING SUMMARY										
NUMBER MIX:		BUILDING TOTALS					PROJECT TOTALS			
UNITS	UNIT AREA	BLDG. A	BLDG. B	BLDG. C	BLDG. D	BLDG. E	TOTAL	%	TOTAL NET SF	
	727 SF	20	24	24	16	8	152 UNITS	73.8%	110,515 SF	
A1.1	635 SF	8	8	12	6		60 UNITS	29.1%	38,100 SF	
A1.2	677 SF	2	2	2	2		14 UNITS	6.8%	9,478 SF	
A2.1	725 SF	4	8	4	3	3	33 UNITS	16.0%	23,925 SF	
A3.1	852 SF	4	4	4	3	3	29 UNITS	14.1%	24,708 SF	
A3.2	894 SF	2	2	2	2	2	16 UNITS	7.8%	14,304 SF	
	983 SF	4	12	6	4	2	42 UNITS	20.4%	41,298 SF	
B2.1	924 SF	2	2	4	2		18 UNITS	8.7%	16,632 SF	
B3.1	1,014 SF	2	4	2	2	2	18 UNITS	8.7%	18,252 SF	
B3.2	1,055 SF	0	4	0			4 UNITS	1.9%	4,220 SF	
B3.3	1,097 SF	0	2	0			2 UNITS	1.0%	2,194 SF	
	1,221 SF	0	0	6	0	0	12 UNITS	5.8%	14,652 SF	
C1.1	1,207 SF	0	0	4			8 UNITS	3.9%	9,656 SF	
C1.2	1,249 SF	0	0	2			4 UNITS	1.9%	4,996 SF	
TOTALS:	808 AVE SF	24	36	36	20	10	206 UNITS	100%	166,465 SF	
NET RENTABLE AREA:		18,406	29,748	30,120	15,559	8,547	272 BEDROOMS		166,465 SF	
CIRCULATION:		2,090	3,135	3,135	2,476	1,238			19,775 SF	
SUPPORT:		516	726	726	460	300			4,430 SF	
COMMERCIAL					4,655	2,510			11,820 SF	
RESIDENTIAL BUILDING TOTALS		21,012	33,609	33,981	23,150	12,595			202,490 SF	
MISCELLANEOUS BUILDINGS:										
CLUBHOUSE									5,110 SF	
TOTAL GROSS MIXED-USE BUILDING AREA:									207,600 SF	
COMMERCIAL BUILDING AREA										
BUILDING D:					4,655		4,655 SF			
BUILDING D:					4,655		4,655 SF			
BUILDING E:						2,510	2,510 SF			
									11,820 SF (Included in Gross Area Above)	

PARKING SUMMARY:		
PARKING REQUIRED BY JURISDICTION		
RESIDENTIAL PARKING REQUIRED:		
1 BDR	1.5 SPACES/UNIT	228 SPACES
2 BDR	2.5 SPACES/UNIT	105 SPACES
3 BDR	3 SPACES/UNIT	36 SPACES
1.79 SPACES / UNIT		369 SPACES
COMMERCIAL PARKING REQUIRED:		
COMMERCIAL USES:		1 SPACES PER 1000 SF
		12 SPACES
ACCESSIBLE PARKING BASED ON OVERALL PARKING (301-400 SPACES):		8 SPACES
(ACTUAL REQUIRED ACCESSIBLE PARKING WILL BE DETERMINED BY NUMBER OF SPACES PROVIDED - SEE BELOW)		
TOTAL PARKING REQUIRED:		389 SPACES
PARKING PROVIDED:		
RESIDENTIAL PARKING PROVIDED:		
SURFACE PARKING (PERPENDICULAR):	0.46 SPACES/UNIT	94 SPACES
SURFACE PARKING (CARPORTS):	1.00 SPACES/UNIT	206 SPACES
SURFACE PARKING (PARALLEL):	0.11 SPACES/UNIT	29 SPACES
TANDEM SPACES:	0.17 SPACES/UNIT	35 SPACES
STREET PARKING (IN FRONT OF CLUBHOUSE):	0.02 SPACES/UNIT	5 SPACES
1.79 SPACES/UNIT		369 SPACES
ACCESSIBLE SPACES (300 TO 400 SPACES = 8):		
TOTAL RESIDENTIAL PARKING PROV'D:		1.84 SPACES / UNIT
		380 SPACES
1.40 SPACES / BEDROOM		
COMMERCIAL PARKING PROVIDED:		
STREET PARKING:		
DIAGONAL SPACES:		23 SPACES
PARALLEL SPACES:		9 SPACES
2.71 SPACES PER 1000 SF		32 SPACES
ACCESSIBLE SPACES (26 TO 50 SPACES = 2):		
TOTAL COMMERCIAL PARKING PROVIDED:		2.88 SPACES PER 1000 SF
		34 SPACES
TOTAL PARKING PROVIDED:		414 SPACES
ACCESSIBLE PARKING PROVIDED (INCLUDED IN TOTAL PARKING ABOVE):		
RESIDENTIAL ACCESSIBLE PARKING:		
STANDARD ACCESSIBLE SPACES:		9 SPACES
VAN ACCESSIBLE SPACES:		2 SPACES
301 TO 400 SPACES:		11 SPACES
COMMERCIAL ACCESSIBLE PARKING:		
STANDARD ACCESSIBLE SPACES:		1 SPACES
VAN ACCESSIBLE SPACES:		1 SPACES
26 TO 50 SPACES:		2 SPACES
TOTAL ACCESSIBLE PARKING:		13 SPACES
RESIDENTIAL EV PARKING REQUIRED (INCLUDED IN TOTAL PARKING):		
EV CHARGERS:	10%	38 SPACES
EV READY (OUTLETS):	25%	95 SPACES
EV CAPABLE (CONDUITS):	10%	38 SPACES
		171 SPACES
COMMERCIAL EV PARKING REQUIRED (INCLUDED IN TOTAL PARKING):		
EV CHARGERS:	10%	4 SPACES
EV READY (OUTLETS):	25%	9 SPACES
EV CAPABLE (CONDUITS):	10%	4 SPACES
		17 SPACES
TOTAL EV PARKING PROVIDED:		188 SPACES
BICYCLE PARKING REQUIRED AND PROVIDED:		
RESIDENTIAL	0.25 PER BEDROOM	68 SPACES
COMMERCIAL	20% OF REQUIRED SPACES OR 4 SPACES	3 SPACES
0.34 SPACES / UNIT		71 SPACES

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ARLINGTON, WASHINGTON

PROJECT DATA

SHEET

A.04

ARLINGTON APARTMENTS FORM-BASED CODE REQUIREMENTS	
SUMMARY	
TRANSECTS:	T4-MS Main Street (North portion of the site) T4N-MV Neighborhood -Medium Volume (South portion of the site)
PLACE TYPE:	Community Center
BUILDING TYPE:	Mid-Rise
FRONTAGE TYPES:	Stoop (at residential buildings) Shopfront (at mixed-use buildings facing frontage road) Porch Engaged (at clubhouse)

TRANSECT REQUIREMENTS:	SECTION 20.110.014(c)(2)		COMPLIANCE NOTES
BUILDING TYPES AND DESIGN SITE SIZE	T4-MS	T4N-MV	
LOT SIZE:			
Width (Mid-Rise Bldg.):	50' Min., 75' Max.	50' Min., 75' Max.	Not Applicable: The site is approx. 8.86 acres so lot size exceeds the maximum width. The future commercial site which has multiple frontages has a width (perpendicular to 59th Ave. NE) of 80 feet.
Depth (Mid-Rise Bldg.):	80' Min.	80' Min.	Complies
BUILDING FORM (1,2)			
BUILDING HEIGHT:			
Main Building:	20' Min., 3 Stories Max.	3 Stories Max.	Complies: Residential and mixed-use buildings are 3 stories. The future commercial building may be single or multi-story.
Accessory Structure:	1 Story Max.	1 Story Max.	Complies: Clubhouse is 1 story
CEILING HEIGHT:			
Ground Floor:	9' Min Clear	9' Min Clear	Complies: Primary rooms will have a minimum ceiling height of 9'. Some rooms will have soffits and soffitted ceilings to conceal mechanical equipment and ductwork.
Upper Floors:	8'-6" (Min) Clear	9' Min Clear	Complies: Primary rooms will have a minimum ceiling height of 9'. Some rooms will have soffits and soffitted ceilings to conceal mechanical equipment and ductwork.
GROUND FLOOR FINISH LEVEL:			
Ground Floor < 10' from ROW:	18" Min.	24" Min.	Complies: There are six buildings that front onto a public right of way ROW. The floor level of buildings along 59th Ave NE is greater than 24" above the ROW. The floor level for the commercial buildings along the frontage road is flush with the ROW to meet ADA access requirements and Shopfront frontage requirements. Ground-floor residential units in the mixed-use buildings are 2 ft to 3 ft above the ROW elevation.
Ground Floor > 10' from ROW:	0" Min.	0" Min.	Complies: Buildings greater than 10' from the ROW may not have an elevation change at the frontage.
BUILDING FOOTPRINT:			
Ground Floor Depth (Residential):	40' Min.	30' Min.	Complies: Residential building depths are 60'
Ground Floor Depth - Front (Commercial):	40' Min.	30' Min.	Complies: Commercial building depths at the front street are 40'
Ground Floor Depth - Side (Commercial):	30' Min.	30' Min.	Complies: Commercial building depths at side streets exceed 30'. The site for the future commercial building can accommodate a building that will comply with the Form-Based Code requirements.
DISTANCE BETWEEN FRONT ENTRIES:			
Entries to Ground Floor:	50' Max		Complies: The distance between private ground floor stoops are less than 50 ft.
Entries to Upper Floor(s):	100' Max		Complies: The distance between upper floor entries is approx. 50 ft.
NOTES:			
1 Buildings wider than 75' shall be designed to read as a series of buildings no wider than 50' wide.			Complies: The overall building facades have been broken up into increments less than 50 ft.
2 Upper floors shall have a primary entrance to the front.			Complies: Entries to upper floors have a primary entrance to either a front street or front open space.
BUILDING PLACEMENT			
SETBACKS (MAIN BUILDING):			
Front:	5' Min., 20' Max.	10' Min., 20' Max.	Complies: Buildings have been set the required Build-to-Lines as noted below
Side Street:	10' Min., 20' Max.	10' Min., 20' Max.	Complies: Buildings have been set the required Build-to-Lines as noted below
Side:	10' Min.	10' Min.	Complies: Side building setbacks exceed 20'
Rear:	20' Min.	20' Min.	Complies: Rear building setbacks exceeds 20'
FAÇADE WITHIN A FAÇADE ZONE:			
Front:	75% Min.	75% Min.	Complies: See Architectural Sheets 12 & 13 for façade zone compliance
Side Street:	50% Min.	50% Min.	Complies: See Architectural Sheets 12 & 13 for façade zone compliance
BUILD-TO-LINES:			
Distance:	0' Min, 10' Max.	0' Min, 10' Max.	Complies: The residential buildings along 59th Ave NE are set back to the 10' build-to line. Mixed-use buildings along the frontage road are set at a 0' build-to line. The clubhouse is set on a curve so the setback varies and in some cases may exceed the building-to line setback.
Front Lots < 50' Wide:	60% Min	100% Min	NA
Front Lots ≥ 50' Wide:	60% Min	75% Min	Complies: See Architectural Sheets A.12 & A.13 for façade zone compliance
Side Street:	30% Min	60% Min	NA
NOTES:			
1 On corner lots, the BTL must be defined by a building for the first 50' of the corner.			Complies

PARKING (Tables 20.110-7, -10)	VEHICLE (Spaces/Unit)	BICYCLE (Spaces/Bedroom)	VEHICULAR PARKING REQUIREMENTS
RESIDENTIAL USES:			
Studio or 1 Bedroom (152 Units / 152 Bedrooms)	1.5 228 Spaces	0.25 38 Spaces	Complies
2 Bedroom (42 Units / 84 Bedrooms)	2.5 105 Spaces	0.25 21 Spaces	Complies
3 Bedroom (12 Units / 36 Bedrooms)	3 36 Spaces	0.25 9 Spaces	Complies
206 Units Total Parking Provided:	369 Spaces Required See Architectural Sheet 04 for compliance	68 Spaces Required See Architectural Sheet 04 for compliance	Complies: The project proposes to provide approximately 18 bicycle spaces within individual units and the remaining will be located on site.
NON-RESIDENTIAL USES (General Commercial)			
Less than 3,500 SF More than 3,500 SF +/- 12,000 SF	0/1000 SF 1/1000 SF 12 Spaces	20% of Req'd Parking 20% of Req'd Parking 3 Spaces	NA Complies: See Architectural Sheet A.04 and A.08 for compliance
Total Parking Provided:	See Architectural Sheet 04 for compliance	See Architectural Sheet 04 for compliance	Complies: See Architectural Sheet A.04 and A.08 for compliance
PARKING SETBACK			
Front	40' Min.	40' Min.	Complies: Parking areas are setback behind buildings
Side Street	15' Min	15' Min	NA
Side	0'	0'	Complies
Rear	0'	0'	Complies
DRIVEWAY			
Parking Drive Width:	20' - 24'	20' - 24'	Complies: Driveway widths are 24 ft wide

BUILDING TYPE: MID-RISE	SECTION 20.110.014(e)	COMPLIANCE NOTES
NUMBER OF UNITS		
Units per Building	Unrestricted	Complies
BUILDING SIZE AND MASSING		
HEIGHT:		
Stories:	3 Stories	Complies: The maximum building height is 3 stories.
MAIN BODY:		
Floors 1-2		
Width:	150' Max	Complies: The majority of buildings have a length less than 150 ft. three buildings exceed 150 ft but are articulated with elements that reduce the perceived length. These include gables, changes of materials, common entries, and individual unit patios and decks.
Depth:	150' Max	Complies: The maximum mixed-use building depth is approx. 74 ft. Residential buildings have a width of 60 ft, and the clubhouse has a width of approx. 72 ft.
Floors 3+		
Width:	65' Max	Complies: The maximum building width is 60 ft for both residential and mixed-use buildings.
ALLOWED FRONTAGE TYPES		
Stoop, Shopfront, and Porch Engaged		Complies: The Stoop and Shopfront are allowed frontages in a midrise building. The Porch Engaged is proposed only used at the clubhouse where it is appropriate for the scale of the building, and provides a wider, inviting, and usable entrance. See Architectural Sheets A.16 through A.19 for frontage design criteria and compliance.
PEDESTRIAN ACCESS		
Upper Floor:	Units shall be accessed by a common entry along the front street.	Complies: All buildings have common entries oriented toward a front street or common open space.
Ground Floor:	Units may have individual entries along the front or side street.	Complies: All units are served with a common entrance. Each common entrance has a front entrance conforming with the frontage type requirements.
PRIVATE OPEN SPACE		
None Required		NA

PRIVATE FRONTAGE TYPES: STOOP, SHOPFRONT, PORCH ENGAGED	SECTION 20.110.014(d)	COMPLIANCE NOTES
See Architectural Sheets A.16 through A.19 for frontage design criteria and compliance.		See Architectural Sheets 16 through 19 for frontage design criteria and compliance.

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ARLINGTON, WASHINGTON
FORM-BASED CODE COMPLIANCE

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ARCHITECTURAL STANDARDS		SECTION 20.110.014(I)	COMPLIANCE NOTES
1. COMPATIBILITY WITH SURROUNDING DEVELOPMENTS:		SECTION 20.110.014(I).1	
<p>Arlington and Regional Compatibility Standard: Buildings shall be finished in muted, natural-hued colors and natural finishes. Bright colors shall be used as accents only. Buildings shall provide protection from the elements at a minimum at public entries. Protection shall be provided by at least one of the following elements:</p> <ol style="list-style-type: none"> 1. A roof overhang with a minimum depth of (4) feet where the entry is in a one-story form; 2. Recessed into the building to minimum depth of (3) feet; 3. An awning or canopy with a minimum depth of (4) feet; and/or 4. A gallery, where allowed in a Transect, construction per section 20.110.014(d). 		<p>Complies:</p> <p>The buildings are finished in muted, natural-hued colors and natural finishes with deep hued wall colors with a variety of simulated wood finishes. Gabled elements are accented in an off-white color.</p> <p>Entries are recessed into the building. Common entrances are approx. 30 feet deep. Entries at individual unit patios are recessed approx. 5 feet.</p>	
<p>Neighborhood Compatibility Standard : Projects in existing developed areas with an established character shall be compatible with or complement the established architectural character of the neighborhood, specifically in:</p> <ol style="list-style-type: none"> 1. Material and colors 2. Scale and proportions of forms; 3. Scale, proportion, pattern, and approximate head heights of doors and windows; and 4. Approximate floor level elevations 		<p>NA: The project is not in an existing developed area with an established character.</p>	
2. COMPATIBILITY WITH MULTIPLE BUILDING DEVELOPMENT:		SECTION 20.110.014(I).2	
<p>Intent: Multiple building developments shall be designed with size, building massing, and setbacks that are consistent with the Place Types in which they are located.</p>		<p>Complies: Each building complies with the mass and articulation requirements articulated in the Form-Based Code.</p>	
<p>Standard: Similar building materials: All buildings in a multiple - building commercial development, including pad site buildings, shall be constructed of building materials and colors approved as part of the development application. Applications shall include illustrations and examples of building materials and/or colors.</p>		<p>Complies</p>	
<p>Similar Architectural Details: All buildings in a multiple - building development, shall be constructed of building materials and colors approved as part of the development application. Applications shall include illustrations and examples of building materials and/or colors.</p>		<p>Complies</p>	
3. FOUR-SIDED DESIGN:		SECTION 20.110.014(I).3	
<p>Intent: Buildings shall not look like they have a fake facade pasted on the front of them. Buildings shall be designed to ensure that they look like the same building on all sides. Consistent building details and proportions on all sides ensure a "four-sided" quality to a building.</p>		<p>Complies: Each building has consistent details and articulation on all sides of the building reflecting both the overall planning requirements and programmatic needs within each building.</p>	
<p>Standard: The design of the building shall provide consistent architectural details and avoid monotonous building massing and design. Architectural details and colors shall be consistent on all building walls.</p>		<p>Complies: Each building has consistent details and articulation on all sides of the building.</p>	
<p>Roof/Equipment Screen: Roof equipment shall be screened from view of pedestrians and vehicles on all sides with a screen that is at a minimum the same height as the equipment. The screen shall be constructed from Visually Light Material. Utilities shall be 100% screened from the view of the public and internal streets.</p>		<p>Complies: Each building has a sloped roof without any equipment requiring screening. The mixed-use buildings have a small portion of flat roof. The height of the front parapet shall screen any roof-mounted equipment.</p> <p>Ground mounted equipment will be screened with low fencing along front-facing facades and landscaping internal to the site. Landscape planters between the parking areas and the buildings have been widened to accommodate the increased screening. There is no exposed wall-mounted equipment.</p> <p>Wall-mounted switchgear and electrical meters will be screened with free-standing fencing where exposed to public view.</p>	
4. SIGNAGE AND DESIGN ELEMENTS:		SECTION 20.110.014(I).4	
<p>Intent: A building shall not be dominated by corporate or trademark architectural details; a building shall be compatible with other surrounding buildings and should not consist of building forms that primarily serve as signage and marketing elements.</p>		<p>Wall-mounted switchgear and electrical meters will be screened with free-standing screening where exposed to public view.</p>	
<p>Standard: Corporate or Trademark Architecture. Individual corporate image, trademark, or marketing architectural design elements and colors shall be incorporated only as secondary design elements to the development and not as dominant elements. These architectural design elements shall be compatible with surrounding development and shall not define the character or style of the building or development.</p>		<p>Complies: Residential and mixed-use buildings will not have Corporate or Trademark architecture or images that dominate the facade. Commercial uses have been integrated into mixed-use buildings.</p> <p>The future commercial building may have Corporate or Trademark images but these will not serve as dominant elements.</p>	
<p>Building Signage: All street frontages, signage material shall be integrated into the overall design of the building. Signs shall be located to complement the architectural features of a building such as above the building entrance, storefront opening, or other similar features.</p>		<p>Complies: Residential buildings will not have any signage other than code required signage. Commercial signage will occur over tenant entries in conformance with the city's sign ordinance.</p> <p>Future commercial buildings will comply with these requirements.</p>	
<p>Sign Ordinance: See Section 20.68 of the AMC.</p>		<p>Complies: Residential buildings will not have any signage other than code required signage, and Mixed-Use Buildings will have tenant signage in compliance with the City's Sign Ordinance.</p> <p>A freestanding monument sign is proposed along 59th Ave. NE near the project entrance in compliance with the City's sign ordinance.</p> <p>Future commercial buildings and site development will comply with the City's sign ordinance.</p>	
<p>Standardized Marketing Features: The city reserves the right to require significant departures from standardized architectural "themes" that are intended to market or brand any type of entity that will occupy the structure.</p>		<p>Complies: Noted</p>	
5. BUILDING HEIGHT AND TRANSITIONS:		SECTION 20.110.014(I).5	will comply with these requirements.
<p>Intent: Abrupt or severe differences in building scale or massing within mixed use developments, or in adjacent developments can dwarf or overwhelm the neighboring areas. Buildings shall be designed to minimize this difference in scale.</p>		<p>Complies: All residential buildings have a consistent height, massing, and articulation, and some buildings are stepped to follow the finished grade. The centrally-located clubhouse is 1-story with high ceilings. It is separated from residential buildings providing an appropriate scale transition.</p>	
<p>Standard: Building height. Building heights are regulated by Section 20.110.014(c) (Place Types).</p>		<p>Complies</p>	
<p>Height transition to adjacent residential or mixed uses: any portion of a building closer than 50 feet from a common property line which has an existing residential or mixed use shall be no higher than twelve (12) feet above the highest point of the closest existing residential or mixed-use structure. The closest existing structure shall be defined as the residential or mixed-use structure that is closest to the common property line that the existing structure(s) and the proposed development share. This does not apply if the existing structure is located across a street from the proposed development.</p>		<p>Complies: There is an existing single-family home adjacent to the east property line. All multi-story buildings have been setback more than 50 feet from the shared property line.</p>	

6. BUILDING MATERIALS:		SECTION 20.110.014(I).6	
<p>Intent: Buildings shall be attractive and durable. To insure this, buildings shall be constructed of high-quality materials and require minimal maintenance.</p>		<p>Complies: All buildings are constructed with high-quality materials requiring minimal maintenance.</p>	
<p>Standard: Building materials. Exterior building materials are classified according to their visual weight; exterior materials shall include, but shall not be limited to the materials shown in: Table 20.110-20 Allowed Exterior Materials</p>		<p>Complies: Exterior building materials comply with the requirements of Table 20.110-20</p>	
<p>Location: Heavy materials shall be located below medium and light materials; medium materials shall be located below light materials. Heavy materials shall extend to grade.</p>		<p>Complies: Heavy materials, defined as horizontal wide-exposure wood siding articulates the base of all buildings and extend up to the roof as an accent material at gables. This siding is wider in profile than siding on upper floors. Thin-brick veneer is also incorporated at required frontages to highlight building entrances and provide additional variety along the building base.</p>	
<p>Required Exterior Materials: At least 50% of the total exterior wall area of each building elevation, excluding gables, windows, doors, and related trim, shall be heavy materials. The balance of exterior wall area shall be medium or light materials.</p>		<p>Complies: More than 50% of each building elevation consists of "heavy materials". All buildings incorporate horizontal wide-exposure siding. Buildings facing public streets also incorporate thin brick at the ground floor. See compliance tables on Sheets A.14 and A.15 for demonstrated compliance.</p>	
<p>Synthetic Stone: Synthetic stone, such as pre-manufactured fiberglass, cultured stone, or glass-fiber reinforced concrete is permitted, provided it is identical in appearance and of equal or greater durability to natural stone.</p>		<p>Complies: Synthetic stone is not proposed.</p>	
<p>Vertical Change of Materials: A vertical change of materials shall occur at an interior corner or shall not occur within four (4) feet of an exterior corner.</p>		<p>Complies: Changes of materials do not occur within 4' of an outside corner.</p>	
<p>Building Rehabilitation: The rehabilitation of existing buildings shall comply with the requirements for exterior building materials. Use of alternate exterior materials for the rehabilitation of existing buildings is subject to approval by the Design Review Board.</p>		<p>NA: All buildings are new construction.</p>	
<p>Column Standards: Columns shall be sized so that they have the visual weight necessary for their purpose. Visually Heavy Material columns shall be a minimum of 16" in any direction. Finished wood, or synthetic wood, columns shall be a minimum of 5 1/2" in any direction if not supporting just a roof, or a minimum of 7" in any direction if supporting upper floors. Exposed structural steel columns may be any size necessary for their structural support.</p>		<p>Complies: Synthetic wood columns are provided at the clubhouse and at stoops which meet or exceed 5-1/2"</p>	
<p>Prohibited materials: unless approved by the Design Review Board, exterior building shall not include the materials shown in: Table 20.110-21 Prohibited Materials</p>		<p>Complies: Prohibited materials from Table 20.110-21 are not proposed.</p>	
<p>Intent: Brick, stone, and other types of masonry or masonry veneer shall be detailed as Masonry bearing walls, especially at openings. Proper masonry detailing allows the building to be more pleasing to the eye because masonry openings and corners appear to be structurally supported.</p>		<p>Complies: Thin brick will be incorporated on certain buildings in key locations and will be detailed with different coursing at lintels and sills. Corner bricks will be used where the material turns the corner.</p>	
<p>Standard: Exterior Corners. Stone and brick used on exterior walls shall not terminate at exterior corners.</p>		<p>Complies: Thin brick will be return at building corners or where there is a building wall transition.</p>	
<p>Masonry Openings. Openings in a brick or stone facade shall have a stone lintel, a tone or brick arch, or a brick soldier course. Window and door openings shall be classified as masonry openings.</p>		<p>Complies: Openings will have soldier course lintels.</p>	
<p>Vertical Change of Materials. A vertical change of materials from stone or brick to another material shall occur at an interior corner or shall not occur within four (4) feet of an exterior corner.</p>		<p>Complies: A vertical change of material occurs at wall transitions or beyond 4 feet from an exposed building corner.</p>	
<p>Horizontal Change of Materials. Horizontal changes of material from brick or stone to another material shall include a stone cap or a brick sill; the cap or sill shall project from the face of the building.</p>		<p>Complies: A horizontal change of material will have a brick cap.</p>	
7. BUILDING MODULATION AND ARTICULATION:		SECTION 20.110.014(I).7	
<p>Intent: Long, large buildings can be monotonous if they contain large or long expanses of surface area with no detailing or shadow lines; recesses and projections in building walls help to proportion and subdivide the massing of large buildings. Tall building walls with little detailing emphasize their height and dwarf human beings. Tall building walls shall have an apparent base, middle, and top.</p>		<p>Complies: All building elevations have consistent details and articulation with an apparent base, middle, and top.</p>	
<p>Standard: Facade Modulation. Any facade exceeding 30 feet in length shall include at least one change in wall plane, such as projections or recesses, having a depth of at least three (3) percent of the entire length of the facade; this projection or recess shall extend over at least 20% percent of the entire length of the facade.</p>		<p>Complies: All facades greater than 30 feet in length will have at least one change in wall plane:</p> <p>The maximum residential building wall length is approx. 133 feet which requires 4 ft deep recesses (3%) extending for a total of 26.6 ft. (20%). Each long facade has a minimum of 4 balconies per floor. Each balcony is 5 ft deep and combined, provide a minimum of 28 ft of recessed wall area per facade.</p> <p>The end elevations of residential buildings are approx. 60 ft long which requires a plane change of 1.8 ft extending 12 ft. in length. Each end elevation has a single-story shed extension that that projects 6 ft. and extends 16 ft.</p>	
<p>Roofs. Buildings larger than 50,000 square feet shall include both pitched and flat roofs with parapets.</p>		<p>NA: There are no buildings are larger than 50,000 SF.</p>	
<p>Vertical Building Bays. All building facades shall consist of vertical building bays that are a maximum of 30 feet in width. The edges of each bay shall be defined by a vertical architectural feature that projects or recesses from the wall plane a minimum of eight (8) inches.</p>		<p>Complies: All facades consist of vertical bays that breakup the façade into bays that are a maximum of 30 ft in width.</p> <p>Bays are articulated with either balconies that are recessed 5 ft and project 2 ft beyond the facade or gables extending out a minimum of 8 inches.</p>	
<p>Building Base. A recognizable base shall include, but shall not be limited to:</p> <ul style="list-style-type: none"> • Thicker walls, ledges, or sills. • Integrally textured, colored, or patterned materials such as stone or other masonry. • Raised planters which are integral to the building face. 		<p>Complies: The residential buildings are articulated with a 1-story building base consisting of wide horizontal lap siding differentiated in color and texture from the rest of the wall area. This building base is differentiated from the wall above with a different material texture and a 4" think ledger trim which creates a shadow line at the transition of materials.</p> <p>The mixed-use buildings incorporate a concrete wall base and thin-brick veneer at the building base to enhance the Shopfront frontage. The clubhouse also incorporates thin-brick veneer at the building base, and retail buildings incorporate thin-brick veneer at the stoops to enhance the building entrances.</p> <p>Raised planters integral with a wood-frame structure create water intrusion issues and are not incorporated.</p>	
<p>Building Top. A recognizable top shall include, but shall not be limited to:</p> <ul style="list-style-type: none"> • Cornice treatments, other than just colored "stripes" or "bands," with integrally textured materials such as stone or other masonry or differently colored materials. • Sloping roofs with eaves and bracket. 		<p>Complies: All buildings have a building top defined by a sloped roof. Decorative brackets have been added to the main building gables.</p> <p>The commercial portion of the mixed-use buildings have a parapet with a shapped cornice creating an enhanced cap to the wall.</p>	

NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

DRAWN BY	DESIGNED BY
CHECKED BY	APPROVED BY
DATE June 13, 2025	
JOB No.: 1501-0008	



ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON

FORM-BASED CODE COMPLIANCE

SHEET

A.06

8. BUILDING SCALE: SECTION 20.110.014(I).8		
Intent: To ensure a comfortable pedestrian experience, the scale of large buildings shall be visually reduced by elements that divide a large building into smaller proportions.		Complies: Each building is divided into smaller components with porches and balconies, gables, and changes in materials.
Standard: Building walls shall be subdivided and proportioned using features such as windows, entrances, storefronts, arcades, arbors, awnings, trellises, or other similarly scaled architectural details. These features shall cover at least 90% of the building front wall length and at least 60% of other building wall lengths. The full width of each vertical building bay that contains the previously listed details shall be counted towards the minimum length of the building that must contain these details.		Complies: Long residential facades are subdivided with balconies, windows, and entrances covering at least 120 ft (90%) of the front wall length. Side elevations are subdivided with windows, gables, and other similarly scaled features covering at least 36 ft. (60%) of the wall length.
9. PITCHED ROOF AND EAVES: SECTION 20.110.014(I).9		
Intent: Pitched roofs shall be simple hip, shed, or gable configurations. Roofline offsets shall be provided to lend architectural interest and variety to the massing of a building and to relieve the effect of a single, long roof. The use of alternating dormers, stepped roofs, gables, or other roof elements can be used to add visual relief and articulation to the overall building form.		Complies: All buildings have a hipped or gabled roof with a variety of alternating gables to provide visual relief along each façade.
Standard: Allowed Pitch Roof Configurations. Pitched roofs shall be gable, hip, or shed configurations with overhanging eaves.		Complies: All buildings have a hipped or gabled roof.
Visible Roof Standards: Roofs visible from pedestrian and vehicles shall be sloped and of an approved material in section 20.110-20. Sloped roofs shall have a pitch of 3:12 rise: run to 12:12 rise: run. Any portion of visible sloped roofs exceeding (80) feet in length shall include scaling elements including, but not limited to, a change in plate height, dormers, stepped roofs, and / or gables.		Complies: All buildings have a hipped or gabled roof. The main roof of the residential building have a slope of 5:12. Gables along the façade are steeper between 6:12 and 8:12 to provide more dramatic interest as seen from the ground.
Allowed Slope. Pitched roofs shall have a minimum slope of four (4) feet vertical rise for every twelve (12) feet of horizontal run; the maximum slope is limited to one (1) foot vertical rise for every one (1) foot of horizontal run.		Complies: See Visible Roof Standards above
Roof Modulation. A pitched roof more than 90 feet in length shall include a change in parapet height or pitched roof height at least every 90 feet. This change in height shall align with the vertical building bays. Buildings larger than 50,000 square feet shall include both pitched and flat roofs with parapets.		Complies: The maximum roof ridge length does not exceed 90 feet.
Roof Elements. Continuous pitched rooflines greater than 90 feet in length shall include roof elements that align with the vertical building bays and roof modulation. Roof elements shall include, but shall not be limited to, dormers, stepped roofs, gables, or other roof elements that add significant visual relief to the roof line.		Complies: The maximum roof ridge length does not exceed 90 feet.
10. GUTTER DOWNSPOUTS AND SCUPPERS: SECTION 20.110.014(I).10		
Intent: Building devices used to control rainwater shall be compatible with the roofing system and shall not dominate the facade of a building. Parapets and cornices shall not be interrupted by stormwater elements.		Complies: Sloped roofs have rain gutters and downspouts
Standards: Gutters, downspouts, and scuppers shall be constructed of high-quality, commercial grade metal. These elements shall be integrated into the design of the elevation, placed in harmony with the forms and openings. Parapets shall be continuous above scuppers. Gutters are prohibited on flat roofs. Gutters, downspouts, and scuppers shall be shown on drawings submitted for Architectural Standard approval.		Complies: Gutters and downspouts will be constructed with high-quality metal. Gutters will be painted to match the building trim color. Downspouts will be painted to match the adjacent wall color.
11. CUSTOMER AND PUBLIC ENTRANCES: SECTION 20.110.014(I).11		
Intent: Customer and public entrances shall ensure accessibility to the public, create primary focal points for the facade, and provide a comfortable proportion for the pedestrian entry.		Complies: Residential buildings incorporate common entrances for residents in conformance with the Stoop Frontage requirements. The clubhouse incorporates a generously proportioned Porch Engaged Frontage with a central gabled canopy entrance. Commercial tenants in the mixed-use buildings will have a Shopfront Frontage.
Standard: Number of Entrances. Buildings larger than 50,000 square feet (gross floor area) shall provide at least two (2) customer or public entrances. Buildings smaller than 50,000 square feet (gross floor area) are encouraged to provide multiple customer or public entrances.		Complies: Each building has multiple common or public entrances facing the front street or open space.
Location. Buildings larger than 50,000 square feet (gross floor area) shall orient customer or public entrances toward a public street or an internal street or drive.		NA: There are no buildings larger than 50,000 SF
Prominent Entrances. Each building on a site, regardless of size, shall have clearly defined, highly-visible customer entrances featuring no less than three (3) of the following: <ul style="list-style-type: none"> • Awnings or porticos • Overhangs • Recesses/projections • Arcades • Raised corniced parapets over the door • Peaked roof forms • Arches • outdoor patios • Architectural detail such as tile work and moldings integrated into the building structure and design • Integral planters or wing walls that incorporate landscaped areas and/or places for sitting 		Complies: All building have public or common entrances in conformance with frontage types stipulated in the Form-Based Code. Residential buildings incorporate the Stoop Frontage with a projected portico with roof overhang in front of a recessed entrance. Double columns on each side of the stoop adds additional architectural detail. Mixed-Use buildings incorporate a Shopfront Frontage with recessed entrances and awnings. Brick veneer with a wainscot base provides additional architectural detail. The clubhouse incorporates a Porch Engaged Frontage with a peaked roof form and arcade which shelters an outdoor patio.
Internal Circulation: All stairwells, corridors, and other circulation components of the building shall be completely enclosed within the building envelope.		Complies: Although the stairs are not within the thermal envelope of the building, they are within the physical envelope defined by the exterior façade and roof. The width of the opening was reduced to match the width of the adjacent windows to increase the sense of enclosure. In addition, the stairs occur at the rear of buildings away from the primary building frontage.

12. WINDOWS: SECTION 20.110.014(I).12		
Intent: Windows shall be vertically proportioned; this allows the window opening to appear to be structurally supported. Window trim is not compatible with masonry construction. Upper story windows shall logically align with building bays and windows on the ground floor, so the upper floors look like they are part of the same building as the ground floor.		Complies: Windows are vertically proportioned and stacked on all floors.
Standards: Window Proportion. Windowpanes shall be vertically proportioned.		Complies: Windows are vertically-proportioned 3' wide by 5' wide single-hung windows.
Window Trim. Window openings on brick, stone, cast stone, or synthetic stone buildings shall not be trimmed. Lintels, sills, and arches are not considered trim. Window openings without trim or molding shall have window frames at least two (2) inches wide when looking at the finished façade of the building.		Complies: Window trim is greater than 2 inches wide.
Upper Story Windows. Windows located above the ground floor shall align with ground floor windows, ground floor doors, and the building modulation.		Complies
Display Windows. The light source for display windows shall not be visible from the exterior of the building.		Complies: Interior display lighting at commercial windows will be shielded and not visible from the exterior. This will be incorporated into the tenant improvements for each space.
13. GLAZING: SECTION 20.110.014(I).13		
Intent: The ground floor of commercial buildings shall be transparent. Ground floor transparency guarantees a visual connection to the passers-by and is usually necessary for most commercial structures. By exposing the ground floor to the exterior, there is an invitation to participate with the activity inside.		Complies: Residential buildings will provide ground-floor transparency based on the operational requirements of individual residential units within each building. Commercial spaces within mixed-use buildings will have transparency based on the Shopfront Frontage standards.
Standard: Required Transparency for Primary Facades. Primary facades shall be glazed and transparent according to the table in this section of the standards: Commercial uses in the mixed use buildings are in the T4-MS Transect and shall have 75% transparent glazing in the pedestrian view plane facing the primary street (frontage road). - Between 25% and 60% of the second-floor façade and above shall be transparent glazing. - Transparent glass shall possess a minimum 60% light transmittance factor. - Areas of the building that are functionally restricted from providing vision glass may be exempted provided other architectural scaling techniques are employed. - No highly reflective glazing shall be permitted within the lower 80% of the building façade (maximum reflectance factor of .20) No first floor reflective coating is permitted.		Complies: All building facades will incorporate glazing in conformance with the requirements of this code section.
Primary Facades. A primary facade shall be considered any front facade or facade that fronts onto a street, access way, pedestrian walkway, or internal drive; alleys and service drives shall not be considered streets, access ways, or internal drives for the purposes of this requirement.		Complies: All primary facades shall meet the requirements of this code section.
Pedestrian View Plane. The pedestrian view plane shall be defined as the exterior wall area located between two (2) feet and ten (10) feet above the exterior grade.		Complies:
Exclusions. This standard shall not apply if the Director determines that the required transparency is inconsistent with the operational requirements of the building.		Noted

2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYLE 2 RESUBMITTAL	
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYLE 1 RESUBMITTAL	
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL	
NO.	DATE	BY	CHD.	APPR.	REVISION	

DRAWN BY	DESIGNED BY
CHECKED BY	APPROVED BY
	DATE
	June 13, 2025
JOB No.: 1501-0008	

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ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
FORM-BASED CODE COMPLIANCE

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ZONING DATA (REVISED APPLICATION - (06/2025))

SITE ADDRESS: 21117 59TH AVE NE
ARLINGTON, WA

PARCEL NO.: 31051000402700

ZONING: MIXED-USE COMMUNITY CENTER
T4-MS (T4-MAIN STREET)
T4N-MV (T4- NEIGHBORHOOD MEDIUM VALUE)

AIRPORT PROTECTION DISTRICT SUBDISTRICT: C - AVIATION EASEMENT FROM ARLINGTON MUNICIPAL AIRPORT IS REQUIRED

HEIGHT: 3 STORIES 48'-6"

PROPOSED USE: FUTURE COMMERCIAL
206 APARTMENT UNITS IN 8 BUILDINGS

SITE AREA / DENSITY		
GROSS SITE AREA:	8.81 ACRES	383,704 SF
TRACT #1: 211TH PLACE NE	0.59 ACRES	25,620 SF
TRACT #2: NGPA	1.02 ACRES	44,599 SF
TRACT #3:	0.05 ACRES	1,986 SF
LOT 1: FUTURE COMMERCIAL: (NW CORNER)	0.34 ACRES	14,958 SF
LOT 2: NET SITE AREA:	7.40 ACRES	296,581 SF
RESIDENTIAL DENSITY PER EMC		
GROSS DENSITY:	23 DU/ACRE	
NET DENSITY:	30 DU/ACRE	

BUILDING SQUARE FOOTAGES		
BUILDING A:	21,012 X2 =	42,024 SF
BUILDING B:	33,609 X1 =	33,609 SF
BUILDING C:	33,981 X2 =	67,962 SF
BUILDING D:	23,150 X2 =	46,300 SF
BUILDING E:	12,595 X1 =	12,595 SF
CLUBHOUSE:		5,110 SF
COMMERCIAL AREA:	11,820 SF (INC IN BLDG AREA ABOVE)	
TOTAL AREA:		207,600 SF

UNIT AREAS				
TYPE	COUNT	AREA	AVE SIZE (SF)	PERCENTAGE
1B / 1B	152	110,515	727	74%
2B / 2B	42	41,298	983	20%
3B / 2B	12	14,652	1221	6%
	206	166,465	808	100%

WETLAND BUFFER AREA	
BUFFER AREA:	44,559 SF
BUFFER DISTANCE PROPOSED	110 FT

OPEN SPACE REQUIRED	
NET LOT AREA	296,581 SF
OPEN SPACE REQUIRED	14,829 SF

MINI-PARK REQUIREMENT				
OCCUPANT PER UNIT	UNITS	MINI-PARK OCC	MINI-PARK SF (OCC X 65 SF)	
1B / 1BTH	1.4	152	212.8	13,832
2B / 2BTH	2.2	42	92.4	6,006
3B / 2BTH	3.2	12	38.4	2,496
	206	343.6	343.6	22,334

OPEN SPACE AND MINI-PARK PROVIDED	
MINI-PARK 1	22,334 SF
TOTAL MINI-PARK AREA	22,334 SF
OPEN SPACE 1 (ADJACENT TO MINI PARK)	7,610 SF
OPEN SPACE 2 (ALONG WETLAND BUFFER)	18,145 SF
OPEN SPACE 3 (WITHIN BUFFER AREA)	3,707 SF
TOTAL OPEN SPACE AREA	29,462 SF



PARKING REQUIRED BY 20.110-7				
RESIDENTIAL PARKING REQUIRED				
TYPE	COUNT	PARKING REQUIRED	STALLS REQUIRED	BIKE PARKING
1B / 1B	152	1.5	228	38
2B / 2B	42	2.5	105	21
3B / 2B	12	3	36	9
	206	1.79	369	68
RESIDENTIAL PARKING PROVIDED				
SURFACE (PERPENDICULAR)			94	
SURFACE (CARPORTS)			206	
SURFACE (PARALLEL)			29	
TANDEM SPACES:			35	
STREET PARKING (AT CLUBHOUSE):			5	
ACCESSIBLE (300 TO 400 SP = 8)			369	
			11	
			380	

FUTURE COMMERCIAL PROPOSED AND PARKING REQ'D			
NAME	AREA (SF)	PARKING REQUIRED	PARKING
RETAIL	11,820	0.001	12
COMMERCIAL STALLS REQUIRED PER 20.110.014 (C) (2)			
<3,500 SF = NO SPACES REQUIRED			
>3,500 SF = 1/1,000 SF MAX			
COMMERCIAL PARKING PROVIDED			
STREET PARKING (DIAGONAL)			23
STREET PARKING (PARALLEL)			9
ACCESSIBLE (26 TO 50 SP = 2)			32
			2
			34

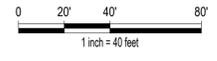
RESIDENTIAL EV PARKING REQUIRED				
STALLS	EV CHARGER (EV)	EV READY (EVR)	EV CAPABLE (EVC)	
171 EV SPACES	10%	25%	10%	
	38	95	38	
RESIDENTIAL EV PARKING PROVIDED				
171 EV SPACES	38	95	38	

COMMERCIAL EV PARKING REQUIRED				
STREET PARKING	EV CHARGER	EV READY	EV CAPABLE	
43 SPACES	10%	25%	10%	
17 SPACES	4	9	4	
COMMERCIAL EV PARKING PROVIDED				
15 SPACES	5	5	5	

NOTE: LOCATIONS OF EV PARKING ARE PRELIMINARY AND WILL BE CONFIRMED DURING CONSTRUCTION DOCUMENTS

← TRACT #3

- TRASH AND RECYCLING ENCLOSURE
- 15' SETBACK FROM PROPOSED WETLAND BUFFER
- PROPOSED TRAIL
- PROPOSED WETLAND BUFFER AND FENCELINE AFTER BUFFER AVERAGING



NO.	DATE	BY	CHD.	APPR.	REVISION
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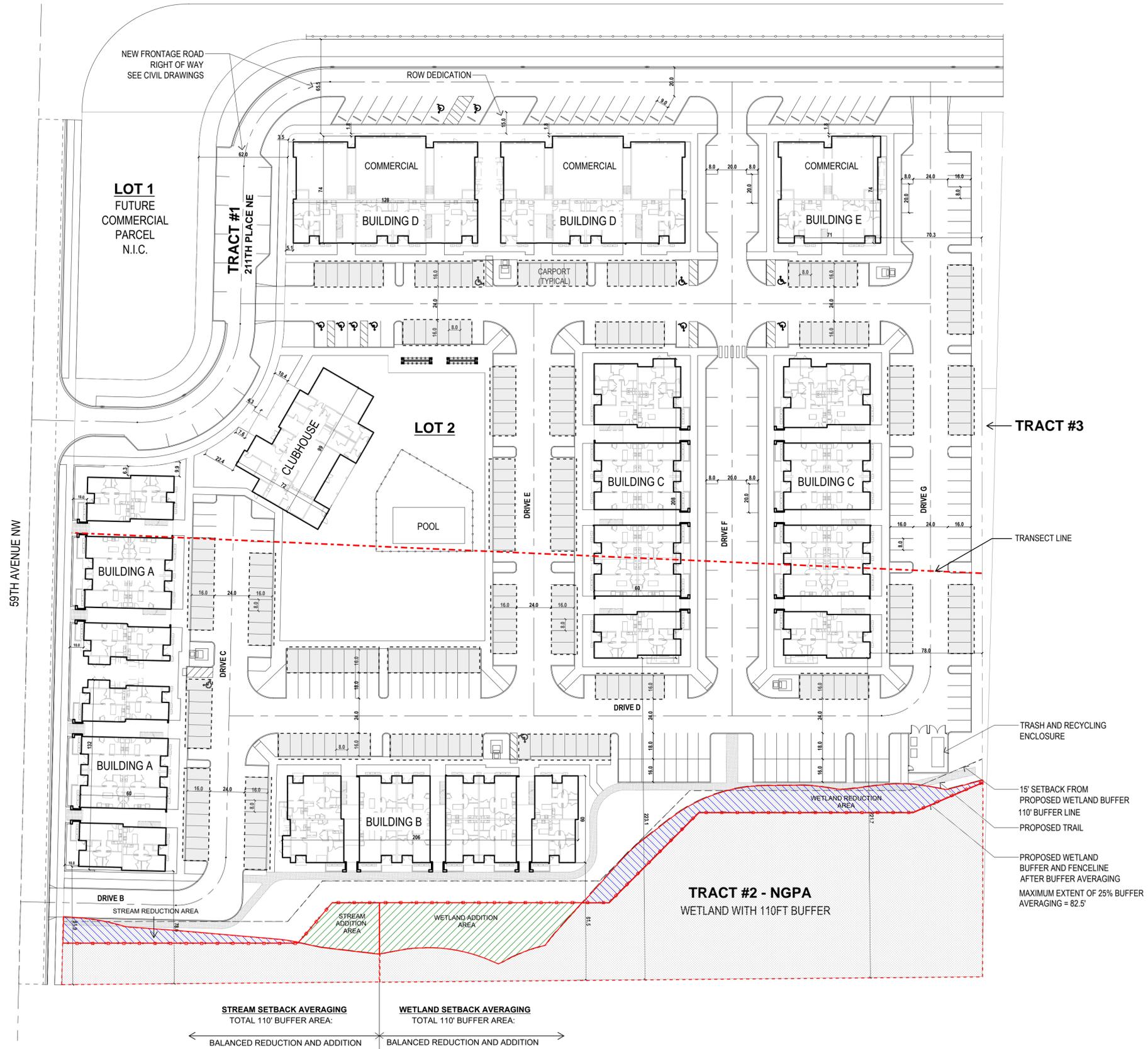
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ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
ARCHITECTURAL SITE PLAN

SHEET
A.08



BUFFER MITIGATION TABLE		
	STREAM REDUCTION AREA	1,481.82 SF
	STREAM ADDITION AREA	1,487.14 SF
NET 5.32 SF ADDITIONAL STREAM BUFFER		
	WETLAND REDUCTION AREA	4,312.56 SF
	WETLAND ADDITION AREA	4,322.92 SF
NET 10.36 SF ADDITIONAL WETLAND BUFFER		

STREAM SETBACK AVERAGING
 TOTAL 110' BUFFER AREA:
 BALANCED REDUCTION AND ADDITION

WETLAND SETBACK AVERAGING
 TOTAL 110' BUFFER AREA:
 BALANCED REDUCTION AND ADDITION

NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

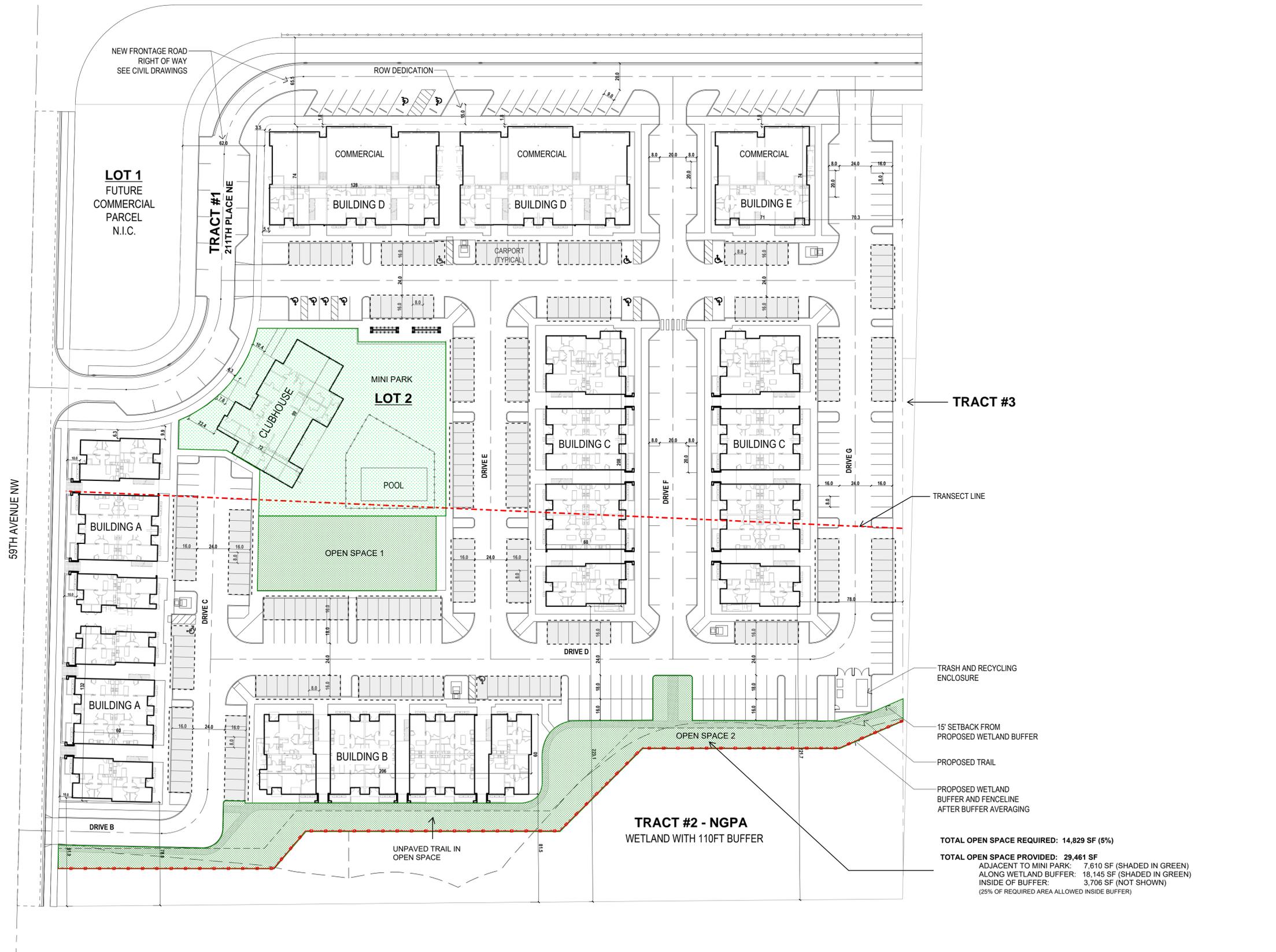
DRAWN BY: _____
 DESIGNED BY: _____
 CHECKED BY: _____
 APPROVED BY: _____
 DATE: June 13, 2025
 JOB No.: 1501-0008

CALL TWO BUSINESS DAYS BEFORE YOU DIG
 1-800-424-5555
 SCALE:



ARLINGTON GARDEN APARTMENTS
 ARLINGTON, WASHINGTON
WETLAND AVERAGING
 AMC SECTION 19.02 - Scale: 1"=40'

SHEET
A.09



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON

MINI PARK AND OPEN SPACE
AMC SECTIONS 20.52.030, 20 110.014 (h) - 1"=40'

SHEET
A.10

BUILDINGS ALONG THE FRONTAGE STREET FACING SR530

BUILDING TYPE: MID-RISE FRONTAGE TYPE: SHOPFRONT

FRONT STREET SETBACK: 0' FEET TO MINIMUM BUILD-TO LINE PORTIONS OF FACADE WILL BE SETBACK UP TO 5 FEET TO COMPLY WITH BUILDING MODULATION REQUIREMENTS.

SIDE STREET SETBACK: 5' MINIMUM AS REQUIRED IN T4-MS ZONE.

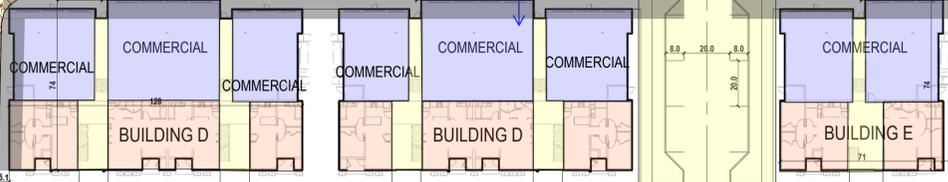
DRIVE AISLE SETBACKS: 3' TO PEDESTRIAN ZONE, 15'-0" TO PARKING (10' MINIMUM TO DRIVE AISLE REQUIRED PER 20.110.014 (G) B.15)

NEW FRONTAGE ROAD
COMMERCIAL RIGHT OF WAY
SEE CIVIL DRAWINGS

ROW DEDICATION

LOT 1
FUTURE
COMMERCIAL
PARCEL
N.I.C.

TRACT #1
211TH PLACE NE



BUILDINGS ALONG 59TH AVE NE:
BUILDING TYPE: MID-RISE
FRONTAGE TYPE: ENGAGED PORCH
FRONT STREET SETBACK: NA
SIDE STREET SETBACK: VARIES BETWEEN 4 FEET AND 32 FEET. AVERAGE SETBACK = 18 FEET (SHOWN SHADED)
DRIVE AISLE SETBACKS: 4' TO PEDESTRIAN ZONE, 17'-0" TO PARKING (10' MINIMUM TO DRIVE AISLE REQUIRED PER 20.110.014 (G) B.15)

BUILDINGS ALONG THE PRIVATE RESIDENTIAL STREET THOROUGHFARE
BUILDING TYPE: MID-RISE
FRONTAGE TYPE: STOOP
FRONT SETBACK: 6' FEET TO BUILDING BUILD-TO LINE, 0' SETBACK AT STOOPS
SIDE STREET SETBACK: NA
DRIVE AISLE SETBACKS: 6' TO PEDESTRIAN ZONE, 18'-0" TO PARKING (10' MINIMUM TO DRIVE AISLE REQUIRED PER 20.110.014 (G) B.15)

PUBLIC SIDE STREET THOROUGHFARE

59TH AVENUE NE
PUBLIC FRONT STREET THOROUGHFARE

100% OF BUILDING FRONTAGE IS WITHIN FRONT FACADE ZONE TYPICAL

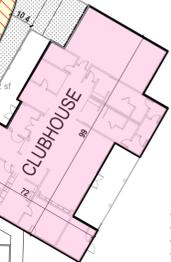
BUILDINGS ALONG 59TH AVE NE:
BUILDING TYPE: MID-RISE
FRONTAGE TYPE: STOOP
FRONT STREET SETBACK: 10 FEET TO MAXIMUM BUILD-TO LINE SETBACK TO ACCOMMODATE STOOP FRONTAGE AND STEPS TO SIDEWALK.
SIDE STREET SETBACK: 5' MINIMUM AS REQUIRED IN T4-MS ZONE.
DRIVE AISLE SETBACKS: 2' TO PEDESTRIAN ZONE, 14'-0" TO DRIVE AISLE (10' MINIMUM TO DRIVE AISLE REQUIRED PER 20.110.014 (G) B.15)

PRIVATE RESIDENTIAL SIDE STREET THOROUGHFARE

59TH AVENUE NW



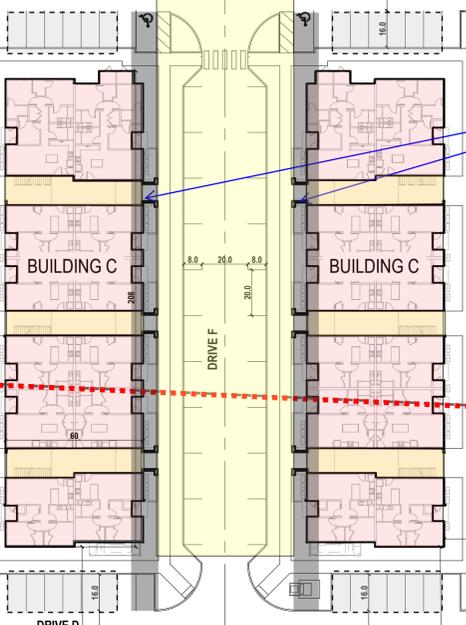
LOT 2



POOL



OPEN SPACE 1

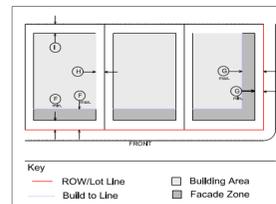


TRACT #3

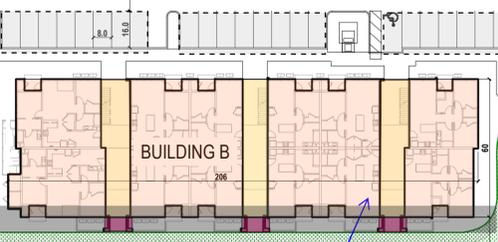
TRANSECT LINE

LEGEND

- 0' MIN, 10' MAX BUILD-TO-LINE AND FACADE ZONE
- AVERAGE SETBACK



Place Type: Mixed Use Community Center



BUILDINGS ALONG THE OPEN SPACE TRAIL AREA
BUILDING TYPE: MID-RISE
FRONTAGE TYPE: STOOP
FRONT SETBACK: 1' FEET TO BUILDING BUILD-TO LINE, 5' SETBACK AT STOOPS (OPEN SPACE DOES NOT INCLUDE SIDEWALK)
SIDE STREET SETBACK: NA
DRIVE AISLE SETBACKS: 10'-0" TO PARKING (10' MINIMUM TO DRIVE AISLE REQUIRED PER 20.110.014 (G) B.15)

OPEN SPACE / TRAIL FRONTAGE

WETLAND WITH 110FT BUFFER
TRACT #2 - NGPA

Building Placement	Build-to-Lines	T4-MS	T4-F	T4N-MV
		Front (F)	0' min. 10' max. ^{6,7}	0' min. 10' max.
BTL Defined by a Building:				
Front Lots <50' wide	60% min.	100% min.	100% min.	
Front Lots ≥50' wide	60% min.	75% min.	75% min.	
Side Street (G)	30% min.	60% min.	60% min.	
Setbacks				
Front (F)	5' min. 20' max	10' min. 20' max	10' min. 20' max.	
Side Street (G)	10' min. 20' max	10' min. 20' max	10' min. 20' max.	
Side: (H)				
Main Building	10' min.	10' min. ⁸	10' min.	
Accessory Structure	5' min.	5' min.	5' min.	
Rear: (I)				
Main Building	20' min.	20' min.	20' min.	
Accessory Structure	5' min.	5' min.	5' min.	
Facade within a Façade Zone				
Front	75% min.	75% min.	75% min.	
Side Street	50% min.	50% min.	50% min.	

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0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

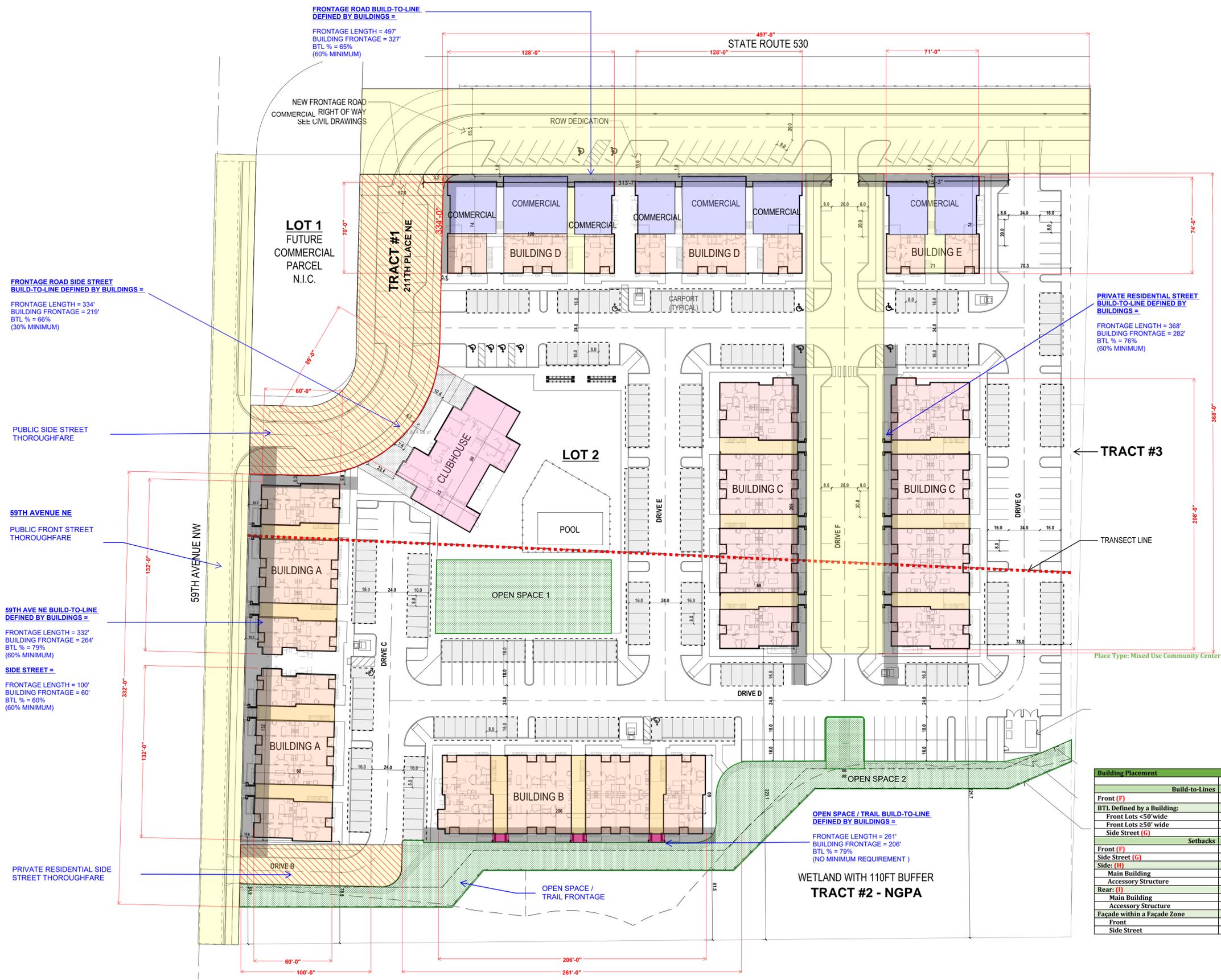
DRAWN BY: _____ DESIGNED BY: _____
CHECKED BY: _____ APPROVED BY: _____
DATE: June 13, 2025
JOB No.: 1501-0008

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1-800-424-5555
SCALE:



ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
BUILD TO LINE/SETBACK DIAGRAM
AMC SECTION 20.110.014 (c) (2) - 1"=40'

SHEET
A.12



FRONTAGE ROAD SIDE STREET BUILD-TO-LINE DEFINED BY BUILDINGS =
 FRONTAGE LENGTH = 334'
 BUILDING FRONTAGE = 219'
 BTL % = 66%
 (30% MINIMUM)

PUBLIC SIDE STREET THOROUGHFARE

59TH AVENUE NE PUBLIC FRONT STREET THOROUGHFARE

59TH AVE NE BUILD-TO-LINE DEFINED BY BUILDINGS =
 FRONTAGE LENGTH = 332'
 BUILDING FRONTAGE = 264'
 BTL % = 79%
 (60% MINIMUM)

SIDE STREET =
 FRONTAGE LENGTH = 100'
 BUILDING FRONTAGE = 60'
 BTL % = 60%
 (60% MINIMUM)

PRIVATE RESIDENTIAL SIDE STREET THOROUGHFARE

FRONTAGE ROAD BUILD-TO-LINE DEFINED BY BUILDINGS =
 FRONTAGE LENGTH = 497'
 BUILDING FRONTAGE = 327'
 BTL % = 65%
 (60% MINIMUM)

LOT 1 FUTURE COMMERCIAL PARCEL N.I.C.

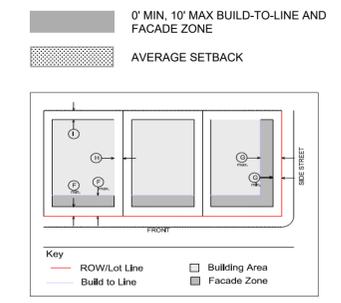
TRACT #1 2111TH PLACE NE

LOT 2

PRIVATE RESIDENTIAL STREET BUILD-TO-LINE DEFINED BY BUILDINGS =
 FRONTAGE LENGTH = 368'
 BUILDING FRONTAGE = 282'
 BTL % = 76%
 (60% MINIMUM)

TRACT #3

LEGEND



Building Placement	T4-MS	T4-F	T4N-MV
Build-to-Lines			
Front (F)	0'min. 10'max. ^{6,7}	0'min. 10'max.	0'min. 10'max.
BTL Defined by a Building:			
Front Lots <50' wide	60% min.	100% min.	100% min.
Front Lots ≥50' wide	60% min.	75% min.	75% min.
Side Street (G)	30% min.	60% min.	60% min.
Setbacks			
Front (F)	5'min. 20'max	10'min. 20'max	10'min. 20'max.
Side Street (G)	10'min. 20'max	10'min. 20'max	10'min. 20'max.
Side: (H)			
Main Building	10'min.	10'min. ⁸	10'min.
Accessory Structure	5'min.	5'min.	5'min.
Rear: (I)			
Main Building	20'min.	20'min.	20'min.
Accessory Structure	5'min.	5'min.	5'min.
Facade within a Facade Zone			
Front	75% min.	75% min.	75% min.
Side Street	50% min.	50% min.	50% min.

OPEN SPACE / TRAIL BUILD-TO-LINE DEFINED BY BUILDINGS =
 FRONTAGE LENGTH = 261'
 BUILDING FRONTAGE = 206'
 BTL % = 79%
 (NO MINIMUM REQUIREMENT)

OPEN SPACE / TRAIL FRONTAGE

WETLAND WITH 110FT BUFFER TRACT #2 - NGPA

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ARLINGTON GARDEN APARTMENTS
 ARLINGTON, WASHINGTON
BUILD TO LINE DEFINED BY BUILDINGS
 AMC SECTION 20.110.014 (c) (2) - 1"=40'

SHEET
A.13

BUILDING A:						
TOTAL LENGTH:	20.110.014 (I).8 ARCH. ELEMENTS (Min 90% Front / 60% Other Sides)		20.110.014 (I).7 OFFSET (AVERAGE):		TOTAL FAÇADE SF:	20.110.014 (I).6 HEAVY MATERIALS SF (50% Min):
	LENGTH (20% Min)	DEPTH (3% Min) Recess & Extension	LENGTH (20% Min)	DEPTH (3% Min)		
ELEVATION 1 (FRONT):	124 FT	114 FT 92%	29 FT 23%	7 FT 5.6%	2,440 SF	1,370 SF 56%
ELEVATION 2 (REAR):	128 FT	118 FT 92%	38 FT 30%	7 FT 5.5%	2,700 SF	1,370 SF 51%
ELEVATION 3 (SIDE):	60 FT	60 FT 100%	30 FT 50%	2 FT 3.3%	1,440 SF	805 SF 56%
ELEVATION 4 (SIDE):	60 FT	50 FT 83%	30 FT 50%	2 FT 3.3%	1,550 SF	850 SF 55%

BUILDING B:						
TOTAL LENGTH:	ARCHITECTURAL ELEMENTS (SF):		OFFSET (AVERAGE):		TOTAL FAÇADE SF:	HEAVY SF (50% Min):
	LENGTH (20% Min)	DEPTH (3% Min)	LENGTH (20% Min)	DEPTH (3% Min)		
ELEVATION 1 (FRONT):	198 FT	113 FT 57%	44 FT 22%	7 FT 3.5%	4,100 SF	2,215 SF 54%
ELEVATION 2 (REAR):	202 FT	113 FT 56%	54 FT 27%	7 FT 3.5%	4,050 SF	2,200 SF 54%
ELEVATION 3 (SIDE):	60 FT	60 FT 100%	30 FT 50%	2 FT 3.3%	1,440 SF	805 SF 56%
ELEVATION 4 (SIDE):	60 FT	50 FT 83%	30 FT 50%	2 FT 3.3%	1,550 SF	850 SF 55%

BUILDING C:						
TOTAL LENGTH:	ARCHITECTURAL ELEMENTS (SF):		OFFSET (AVERAGE):		TOTAL FAÇADE SF:	HEAVY MATERIALS SF (50% Min):
	LENGTH (20% Min)	DEPTH (3% Min)	LENGTH (20% Min)	DEPTH (3% Min)		
ELEVATION 1 (FRONT):	200 FT	185 FT 93%	44 FT 22%	7 FT 3.5%	4,150 SF	2,215 SF 53%
ELEVATION 2 (REAR):	204 FT	192 FT 94%	54 FT 26%	7 FT 3.4%	4,200 SF	2,190 SF 52%
ELEVATION 3 (SIDE):	60 FT	60 FT 100%	30 FT 50%	2 FT 3.3%	1,440 SF	805 SF 56%
ELEVATION 4 (SIDE):	60 FT	50 FT 83%	30 FT 50%	2 FT 3.3%	1,360 SF	745 SF 55%

BUILDING D:						
TOTAL LENGTH:	ARCHITECTURAL ELEMENTS (SF):		OFFSET (AVERAGE):		TOTAL FAÇADE SF:	HEAVY SF (50% Min):
	LENGTH (20% Min)	DEPTH (3% Min)	LENGTH (20% Min)	DEPTH (3% Min)		
ELEVATION 1 (FRONT):	129 FT	129 FT 100%	55 FT 43%	5 FT 3.9%	3,450 SF	2,000 SF 58%
ELEVATION 2 (REAR):	128 FT	118 FT 92%	38 FT 30%	7 FT 5.5%	2,800 SF	1,390 SF 50%
ELEVATION 3 (SIDE):	74 FT	74 FT 100%	35 FT 47%	4.5 FT 6.1%	1,740 SF	960 SF 55%
ELEVATION 4 (SIDE):	74 FT	46 FT 62%	35 FT 47%	5 FT 6.8%	1,900 SF	1,050 SF 55%

BUILDING E:						
TOTAL LENGTH:	ARCHITECTURAL ELEMENTS (SF):		OFFSET (AVERAGE):		TOTAL FAÇADE SF:	HEAVY SF (50% Min):
	LENGTH (20% Min)	DEPTH (3% Min)	LENGTH (20% Min)	DEPTH (3% Min)		
ELEVATION 1 (FRONT):	72 FT	72 FT 100%	51 FT 71%	7 FT 9.7%	1,970 SF	1,225 SF 62%
ELEVATION 2 (REAR):	71 FT	66 FT 93%	51 FT 72%	7 FT 9.9%	1,670 SF	830 SF 50%
ELEVATION 3 (SIDE):	74 FT	74 FT 100%	35 FT 47%	4.5 FT 6.1%	1,740 SF	960 SF 55%
ELEVATION 4 (SIDE):	74 FT	46 FT 62%	35 FT 47%	3.5 FT 4.7%	1,975 SF	1,100 SF 56%



20.110.014(I) Architectural Standards

6. Building Materials

1. Required External Materials. At least 50% of the total exterior wall area of each building elevation, excluding gables, windows, doors, and related trim, shall be heavy materials. The balance of exterior wall area shall be medium or light materials.

7. Building Modulation and Articulation

1. Standard: Facade Modulation. Any facade exceeding 30 feet in length shall include at least one change in wall plane, such as projections or recesses, having a depth of at least three (3) percent of the entire length of the facade; this projection or recess shall extend over at least 20% percent of the entire length of the facade.

2. Vertical Building Bays. All building facades shall consist of vertical building bays that are a maximum of 30 feet in width. The edges of each bay shall be defined by a vertical architectural feature that projects or recesses from the wall plane a minimum of eight (8) inches.

3. Building Base. A recognizable base shall include, but shall not be limited to:

- Thicker walls, ledges, or sills.
- Integrally textured, colored, or patterned materials such as stone or other masonry.
- Raised planters which are integral to the building face.

4. Building Top. A recognizable top shall include, but shall not be limited to:

- Cornice treatments, other than just colored "stripes" or "bands," with integrally textured materials such as stone or other masonry or differently colored materials
- Sloping roofs with the eaves and bracket

8. Building Scale

1. Standard: Building walls shall be subdivided and proportioned using features such as windows, entrances, storefronts, arcades, arbors, awnings, trellises, or other similarly scaled architectural details. These features shall cover at least 90% of the building front wall length and at least 60% of other building wall lengths. The full width of each vertical building bay that contains the previously listed details shall be counted towards the minimum length of the building that must contain these details.

9. Pitched Roof and Eaves

1. Roof Modulation. A pitched roof more than 90 feet in length shall include a change in parapet height or pitched roof height at least every 90 feet. This change in height shall align with the vertical building bays. Buildings larger than 50,000 square feet shall include both pitched and flat roofs with parapets.



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0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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LPAS
Architecture + Design

Quarterra
MULTIFAMILY

ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
FORM-BASED CODE COMPLIANCE
Buildings A & B

SHEET

A.14

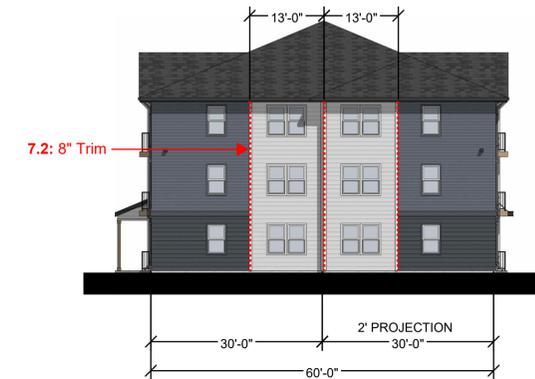
BUILDING A:	TOTAL LENGTH:	20.110.014 (I).8 ARCH. ELEMENTS (SF): (Min 90% Front / 60% Other Sides)	20.110.014 (I).7 OFFSET (AVERAGE):		TOTAL FAÇADE SF:	20.110.014 (I).6 HEAVY MATERIALS SF (50% Min):
			LENGTH (20% Min)	DEPTH (3% Min) Recess & Extension		
ELEVATION 1 (FRONT):	124 FT	114 FT 92%	29 FT 23%	7 FT 5.6%	2,440 SF	1,370 SF 56%
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ELEVATION 3 (SIDE):	60 FT	60 FT 100%	30 FT 50%	2 FT 3.3%	1,440 SF	805 SF 56%
ELEVATION 4 (SIDE):	60 FT	50 FT 83%	30 FT 50%	2 FT 3.3%	1,550 SF	850 SF 55%

BUILDING B:	TOTAL LENGTH:	ARCHITECTURAL ELEMENTS (SF):	OFFSET (AVERAGE):		TOTAL FAÇADE SF:	HEAVY MATERIALS SF (50% Min):
			LENGTH (20% Min)	DEPTH (3% Min)		
ELEVATION 1 (FRONT):	198 FT	113 FT 57%	44 FT 22%	7 FT 3.5%	4,100 SF	2,215 SF 54%
ELEVATION 2 (REAR):	202 FT	113 FT 56%	54 FT 27%	7 FT 3.5%	4,050 SF	2,200 SF 54%
ELEVATION 3 (SIDE):	60 FT	60 FT 100%	30 FT 50%	2 FT 3.3%	1,440 SF	805 SF 56%
ELEVATION 4 (SIDE):	60 FT	50 FT 83%	30 FT 50%	2 FT 3.3%	1,550 SF	850 SF 55%

BUILDING C:	TOTAL LENGTH:	ARCHITECTURAL ELEMENTS (SF):	OFFSET (AVERAGE):		TOTAL FAÇADE SF:	HEAVY MATERIALS SF (50% Min):
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BUILDING D:	TOTAL LENGTH:	ARCHITECTURAL ELEMENTS (SF):	OFFSET (AVERAGE):		TOTAL FAÇADE SF:	HEAVY MATERIALS SF (50% Min):
			LENGTH (20% Min)	DEPTH (3% Min)		
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BUILDING E:	TOTAL LENGTH:	ARCHITECTURAL ELEMENTS (SF):	OFFSET (AVERAGE):		TOTAL FAÇADE SF:	HEAVY MATERIALS SF (50% Min):
			LENGTH (20% Min)	DEPTH (3% Min)		
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ELEVATION 2 (REAR):	71 FT	66 FT 93%	51 FT 72%	7 FT 9.9%	1,670 SF	830 SF 50%
ELEVATION 3 (SIDE):	74 FT	74 FT 100%	35 FT 47%	4.5 FT 6.1%	1,740 SF	960 SF 55%
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20.110.014(I) Architectural Standards

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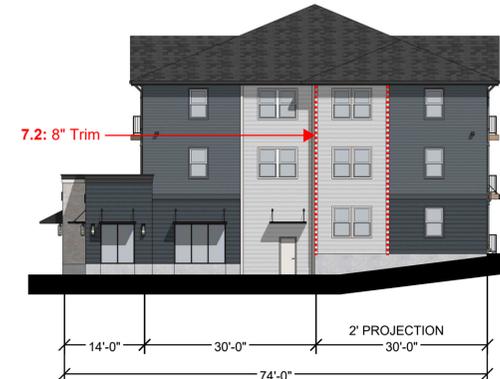
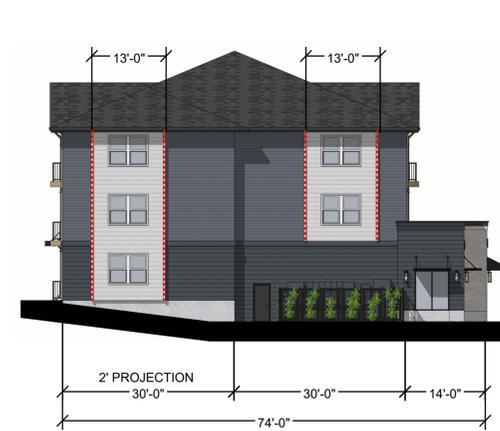
- Cornice treatments, other than just colored "stripes" or "bands," with integrally textured materials such as stone or other masonry or differently colored materials
- Sloping roofs with the eaves and bracket

8. Building Scale

1. Standard: Building walls shall be subdivided and proportioned using features such as windows, entrances, storefronts, arcades, arbors, awnings, trellises, or other similarly scaled architectural details. These features shall cover at least 90% of the building front wall length and at least 60% of other building wall lengths. The full width of each vertical building bay that contains the previously listed details shall be counted towards the minimum length of the building that must contain these details.

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1. Roof Modulation. A pitched roof more than 90 feet in length shall include a change in parapet height or pitched roof height at least every 90 feet. This change in height shall align with the vertical building bays. Buildings larger than 50,000 square feet shall include both pitched and flat roofs with parapets.



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

DRAWN BY	DESIGNED BY
CHECKED BY	APPROVED BY
DATE June 13, 2025	
JOB No.: 1501-0008	

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555
SCALE:

LPAS
Architecture + Design

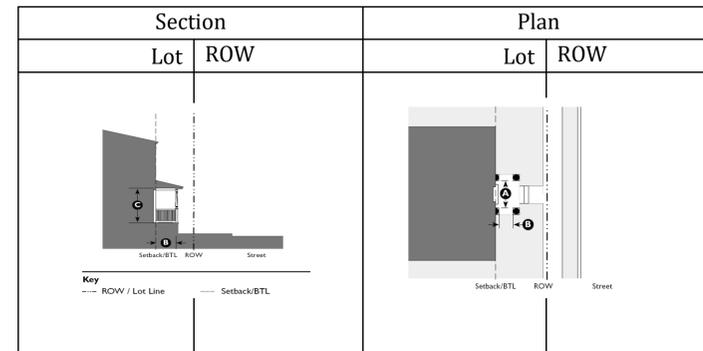
Quarterra
MULTIFAMILY

ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
FORM-BASED CODE COMPLIANCE
Buildings C, D & E

SHEET

A.15

REQUIRED



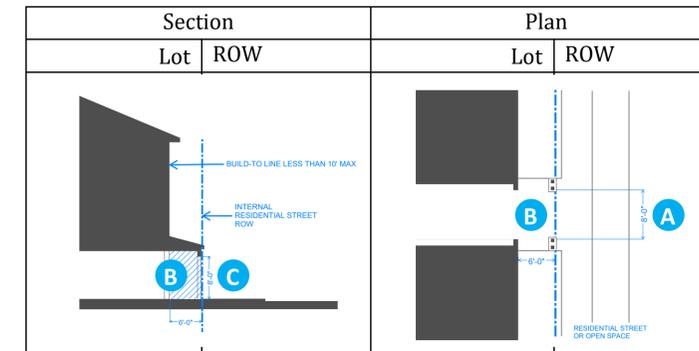
A. Description

The main façade of the building is near the frontage line and the elevated stoop engages the sidewalk. The Stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs from the stoop may lead directly to the sidewalk or may be side loaded. This type is appropriate for residential uses with small setbacks.

B. Size

Width, clear (A)	5' min. - 8' max.
Depth, clear (B)	5' min. - 8' max.
Height, clear (C)	8' min.
Height	1 story, max
Depth of recessed entries (D)	6' max.

PROPOSED



A. Description

The main façade of the building is near the frontage line and the elevated stoop engages the sidewalk. The Stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs from the stoop may lead directly to the sidewalk or may be side loaded. This type is appropriate for residential uses with small setbacks.

No stairs allowed per ADA access

B. Size

Width, clear (A)	8'
Depth, clear (B)	6'
Height, clear (C)	8'
Height	1 story, max
Depth of recessed entries (D)	6' max.

KEY PLAN



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

DRAWN BY	DESIGNED BY
CHECKED BY	APPROVED BY
DATE June 13, 2025	
JOB No.: 1501-0008	

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555
SCALE:

LPAS
Architecture + Design

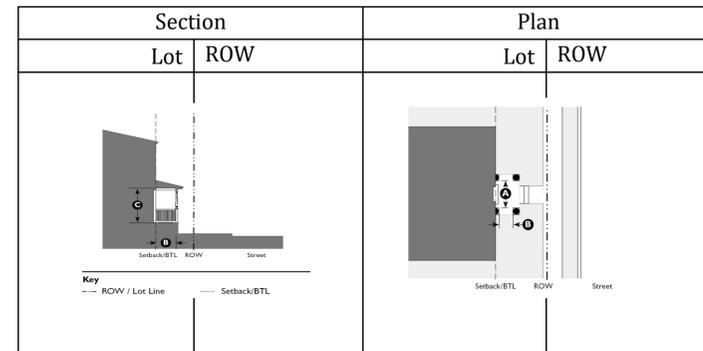
Quarterra
MULTIFAMILY

ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
STOOP - RESIDENTIAL STREET
20.110.014(d)

SHEET

A.16

REQUIRED



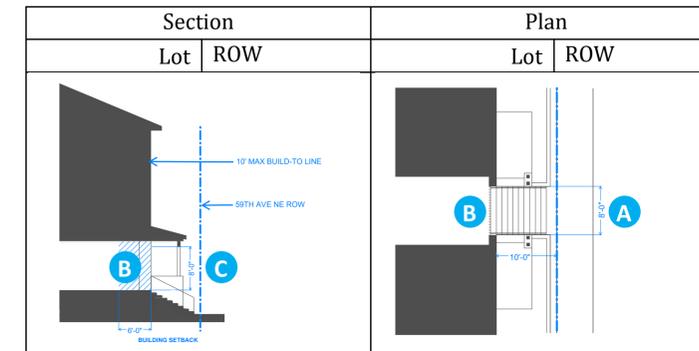
A. Description

The main façade of the building is near the frontage line and the elevated stoop engages the sidewalk. The Stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs from the stoop may lead directly to the sidewalk or may be side loaded. This type is appropriate for residential uses with small setbacks.

B. Size

Width, clear (A)	5' min. - 8' max.
Depth, clear (B)	5' min. - 8' max.
Height, clear (C)	8' min.
Height	1 story, max
Depth of recessed entries (D)	6' max.

PROPOSED



A. Description

The main façade of the building is near the frontage line and the elevated stoop engages the sidewalk. The Stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs from the stoop may lead directly to the sidewalk or may be side loaded. This type is appropriate for residential uses with small setbacks.

Stairs as required per grading

B. Size

Width, clear (A)	8'
Depth, clear (B)	6'
Height, clear (C)	8'
Height	1 story, max
Depth of recessed entries (D)	6' max.

KEY PLAN



2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL
NO.	DATE	BY	CHD.	APPR.	REVISION

DRAWN BY	DESIGNED BY
CHECKED BY	APPROVED BY
DATE June 13, 2025	
JOB No.: 1501-0008	

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1-800-424-5555
SCALE:

LPAS
Architecture + Design

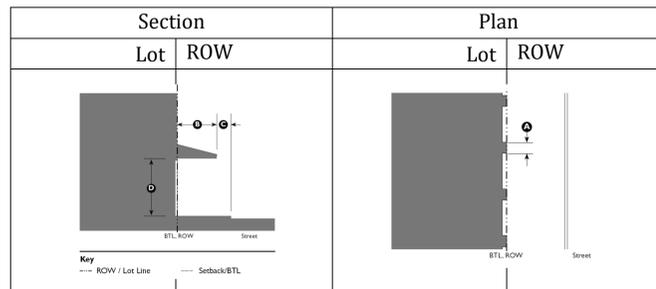
Quarterra
MULTIFAMILY

ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
STOOP - STAIRS
20.110.014(d)

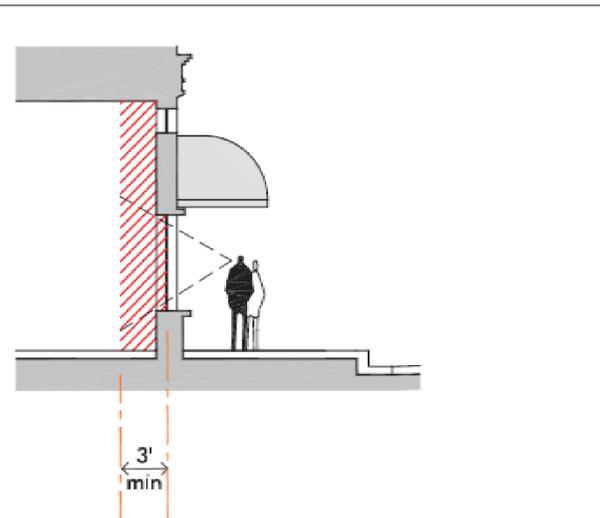
SHEET

A.17

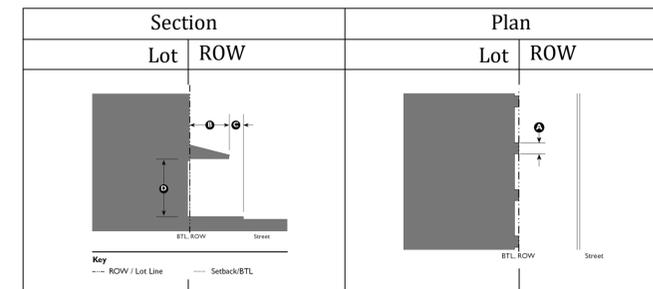
REQUIRED



A. Description	
The main façade of the building is at or near the frontage line with an at-grade entrance along the public way. This type is intended for retail use. It has substantial glazing at the sidewalk level and may include an awning that may overhang the sidewalk. It may be used in conjunction with other frontage types.	
B. Size (A)	
Distance between glazing	2' max.
Ground floor transparency (Section 20.11 Arch. Standards)	75% min.
Depth of recessed entries	5' max.
C. Awning	
Depth (B)	4' min.
Setback from curb (C)	2' min.
Height, clear (D)	8' min.
D. Miscellaneous	
Residential windows shall not be used.	
Doors may be recessed as long as main façade is at BTL.	
Open-ended awnings are encouraged.	
Rounded and hooped awnings are discouraged.	
Shopfronts with accordion-style doors/windows or other operable windows that allow the space to open to the street are encouraged.	

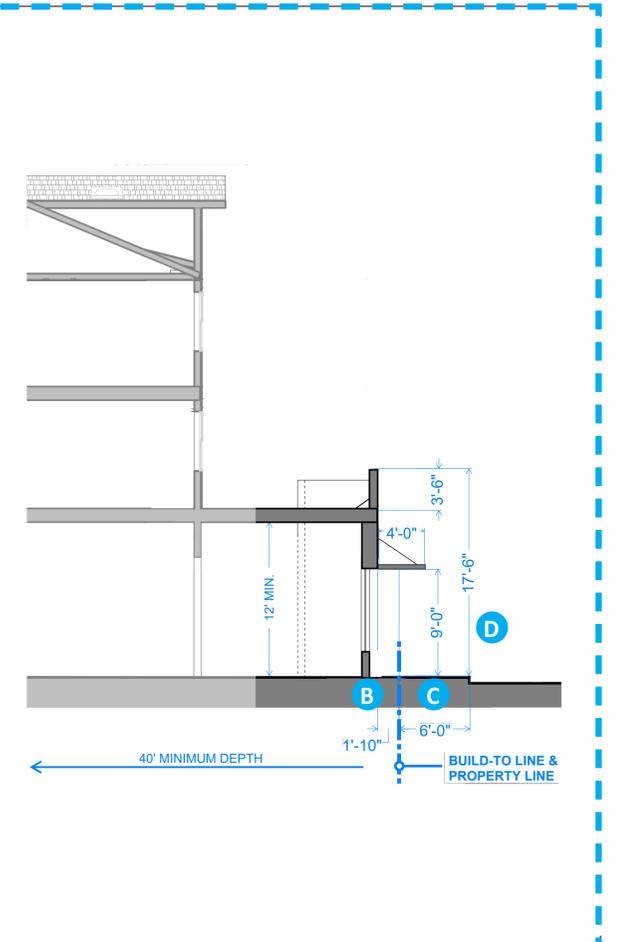


PROPOSED



A. Description	
The main façade of the building is at or near the frontage line with an at-grade entrance along the public way. This type is intended for retail use. It has substantial glazing at the sidewalk level and may include an awning that may overhang the sidewalk. It may be used in conjunction with other frontage types.	
B. Size (A)	
Distance between glazing	2' max.
Ground floor transparency (Section 20.11 Arch. Standards)	75% min.
Depth of recessed entries	5' max.
C. Awning	
Depth (B)	4'
Setback from curb (C)	6'
Height, clear (D)	9'
D. Miscellaneous	
Residential windows shall not be used.	
Doors may be recessed as long as main façade is at BTL.	
Open-ended awnings are encouraged.	
Rounded and hooped awnings are discouraged.	
Shopfronts with accordion-style doors/windows or other operable windows that allow the space to open to the street are encouraged.	

KEY PLAN



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

DRAWN BY	DESIGNED BY
CHECKED BY	APPROVED BY
DATE June 13, 2025	
JOB No.: 1501-0008	

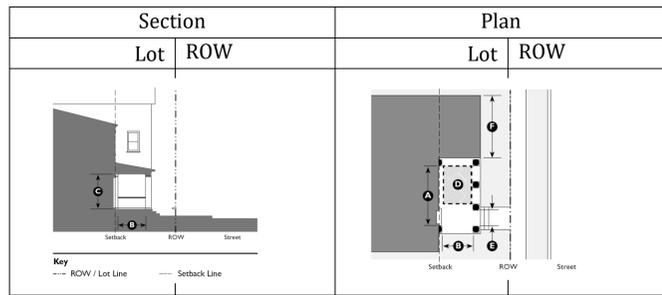
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SCALE:



ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
SHOPFRONT
20.110.014(d)

SHEET
A.18

REQUIRED



A. Description

The main façade of the building has a small to medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The engage porch has two adjacent sides of the porch that are engaged to the building while the other two are open.

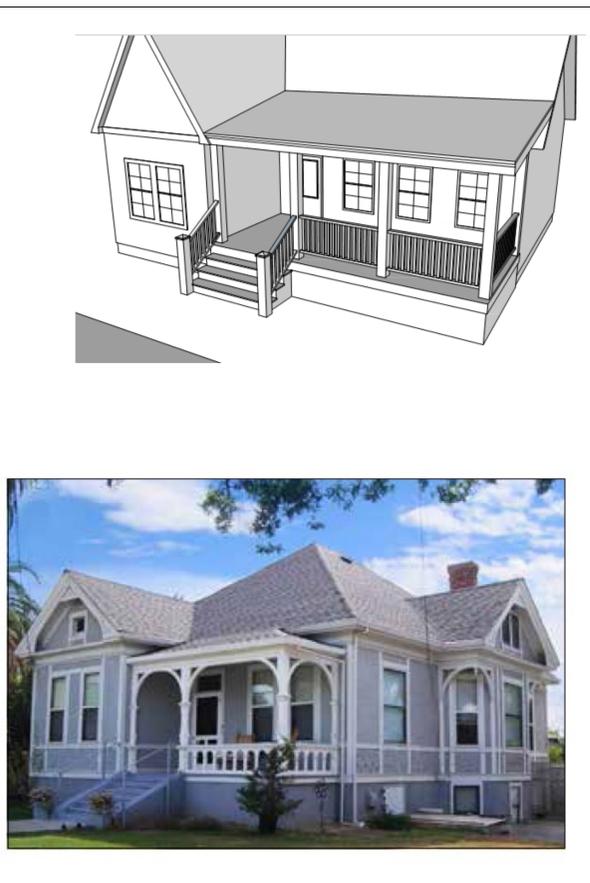
B. Size

Width, clear (A)	10' min.
Depth, clear (B)	8' min.
Height, clear (C)	8' min.
Height	2 stories, max
Furniture area, clear (D)	4' x 6' min.
Path of travel (E)	3' wide, min.

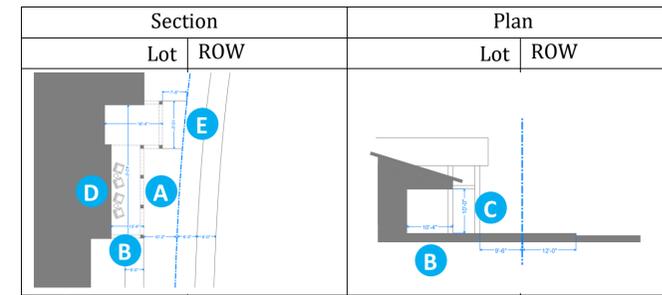
C. Miscellaneous

Up to 40% of the building façade may project beyond the setback line into the encroachment area for this frontage type.

Engaged porches must be open on two sides and have a roof.



PROPOSED



A. Description

The main façade of the building has a small to medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The engage porch has two adjacent sides of the porch that are engaged to the building while the other two are open.

B. Size

Width, clear (A)	42'
Depth, clear (B)	10'-4"
Height, clear (C)	10'
Height	2 stories, max
Furniture area, clear (D)	28' x 9'
Path of travel (E)	6'

C. Miscellaneous

Up to 40% of the building façade may project beyond the setback line into the encroachment area for this frontage type.

Engaged porches must be open on two sides and have a roof.

KEY PLAN



2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL
NO.	DATE	BY	CHD.	APPR.	REVISION

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DATE June 13, 2025	
JOB No.: 1501-0008	

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Architecture + Design

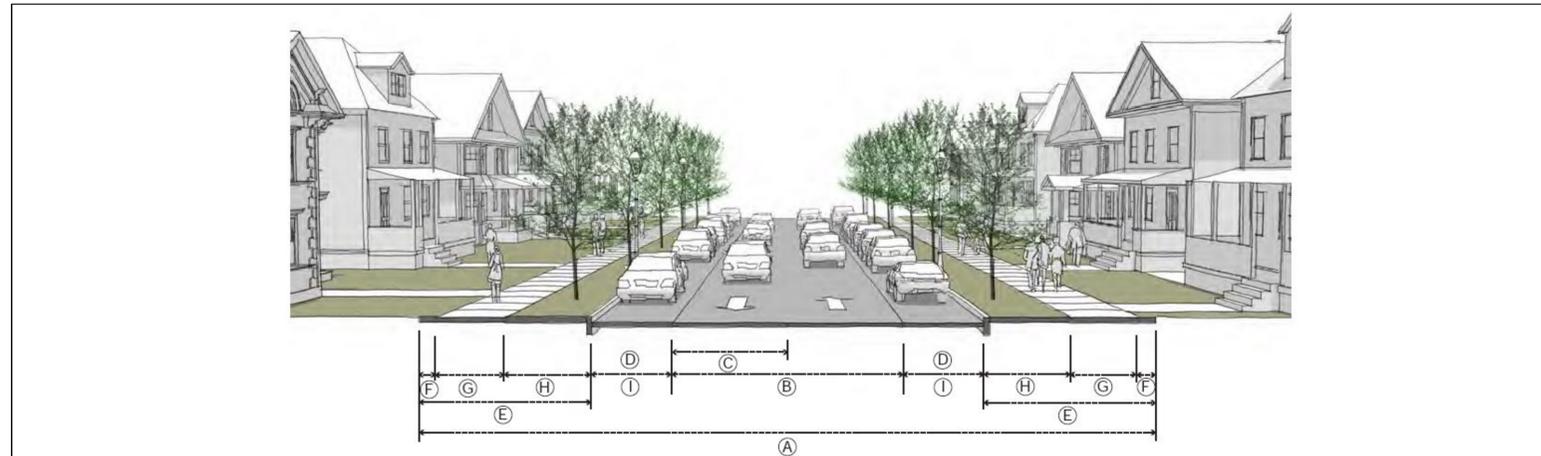
Quarterra
MULTIFAMILY

ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
ENGAGED PORCH
20.110.014(d)

SHEET

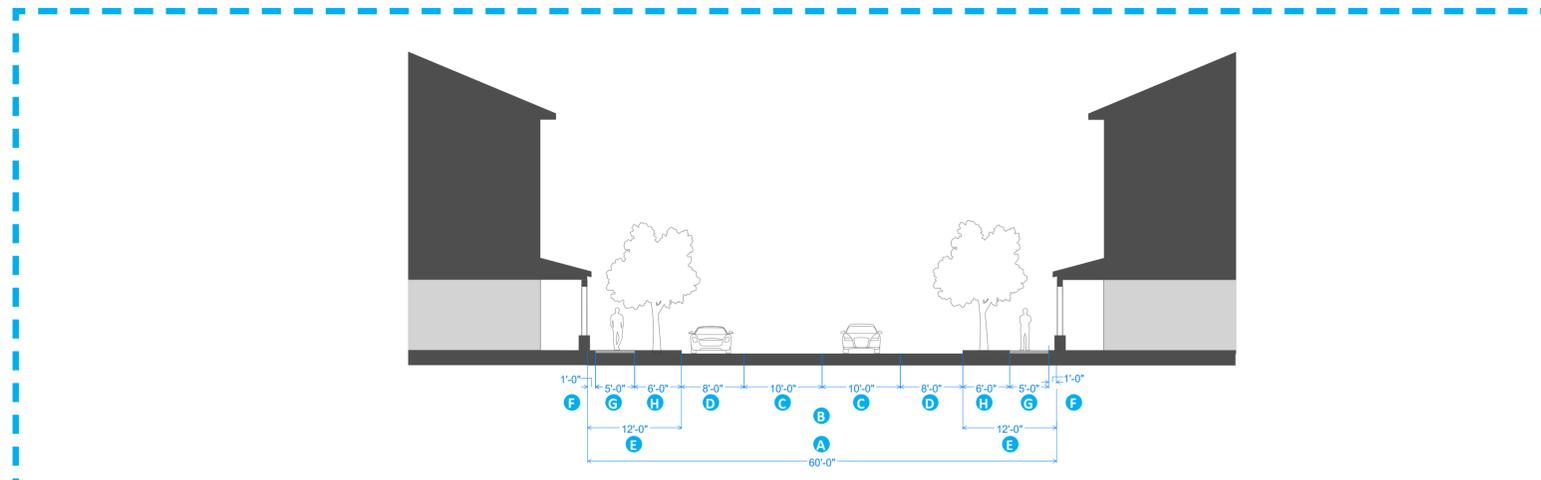
A.19

REQUIRED



Traffic Volume Range	500 – 5,000 VPD	Edge and furnishing zones (H)	3' / 7.5'
Target Speed	25 mph	Extension zone. If provided. (max) (I)	Width of parking lane
Right-of-Way Width (A):	(min./preferred)	Number of Travel Lanes (B)	2
Two travel lanes	52' / 64'	Travel Lane Width (C)	10' / 11'
Driveway Access	Permitted	Median	Optional
Pedestrian Facility Type	Sidewalk	Turning Lane	Not Permitted
Bicycle Facility Type (preferred) (B)	Shared	Curb parking	Optional
Freight Movement (generally)	Local Deliveries	Parallel curb parking width (D)	7' / 8'
Total pedestrian way width (E)	9' / 16'		
Frontage Zone (F)	1' / 1.5'		
Throughway zone (G)	5' / 6'		

PROPOSED



Traffic Volume Range	500 – 5,000 VPD	Edge and furnishing zones (H)	6'
Target Speed	25 mph	Extension zone. If provided. (max) (I)	Width of parking lane
Right-of-Way Width (A):	60'	Number of Travel Lanes (B)	2
Two travel lanes	52' / 64'	Travel Lane Width (C)	10'
Driveway Access	Permitted	Median	Optional
Pedestrian Facility Type	Sidewalk	Turning Lane	Not Permitted
Bicycle Facility Type (preferred) (B)	Shared	Curb parking	Optional
Freight Movement (generally)	Local Deliveries	Parallel curb parking width (D)	8'
Total pedestrian way width (E)	12'		
Frontage Zone (F)	1'		
Throughway zone (G)	5'		

2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL
NO.	DATE	BY	CHD.	APPR.	REVISION

DRAWN BY	DESIGNED BY
CHECKED BY	APPROVED BY
DATE June 13, 2025	
JOB No.: 1501-0008	

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SCALE:



ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
RESIDENTIAL STREET
20.110.014(f)

SHEET
A.20



KEY PLAN

NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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DATE June 13, 2025	
JOB No.: 1501-0008	

CALL TWO BUSINESS
DAYS BEFORE YOU DIG
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SCALE:

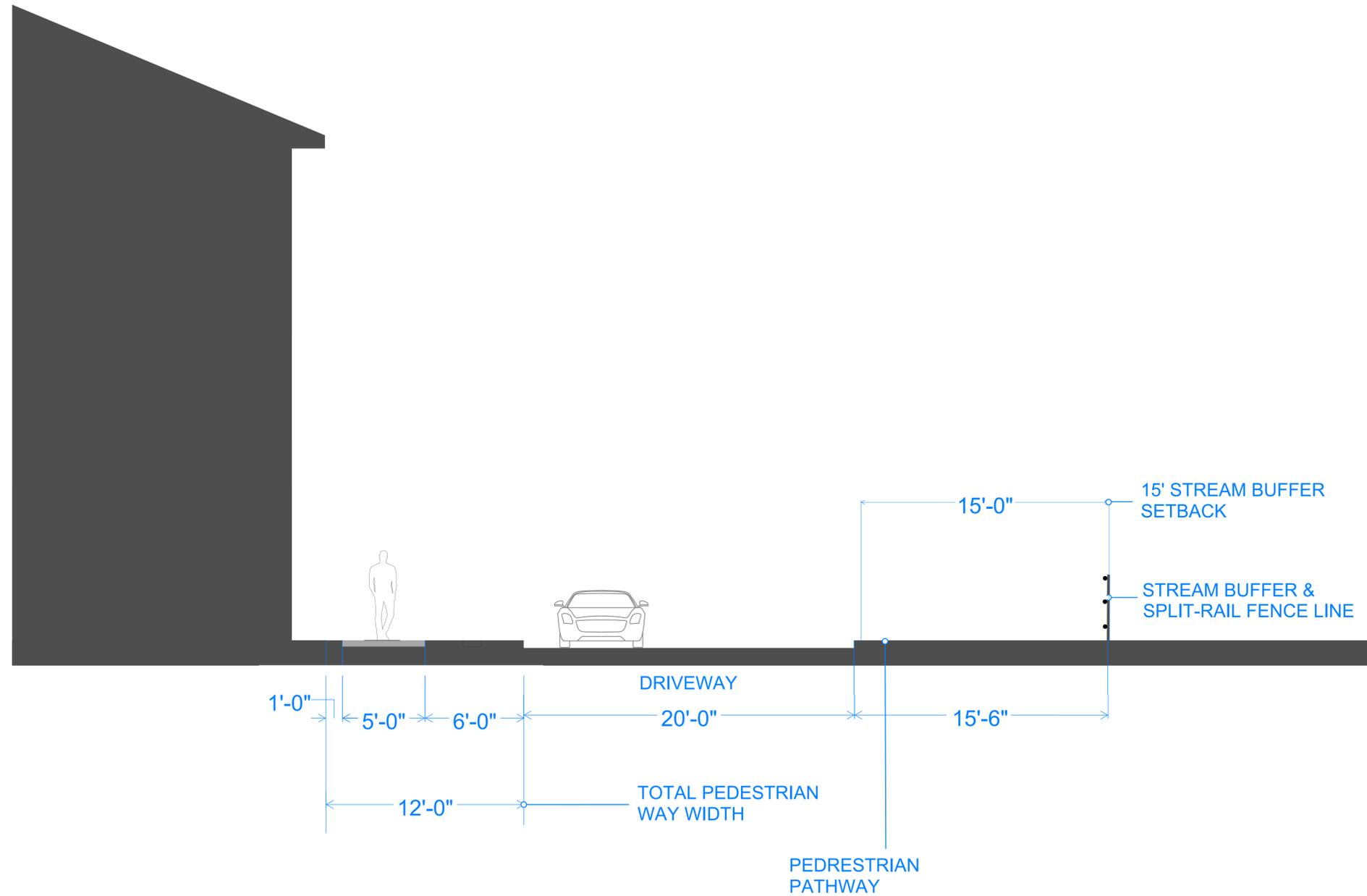
LPAS
Architecture + Design

Quarterra
MULTIFAMILY

ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
RESIDENTIAL STREET SECTION
20.110.014(f) - 1/4"=1'

SHEET

A.21



KEY PLAN



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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DATE June 13, 2025	
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DAYS BEFORE YOU DIG
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SCALE:

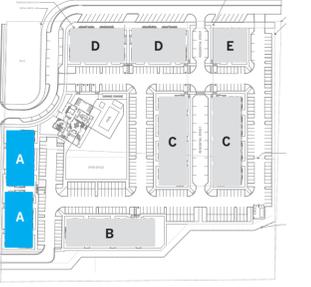
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Architecture + Design

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MULTIFAMILY

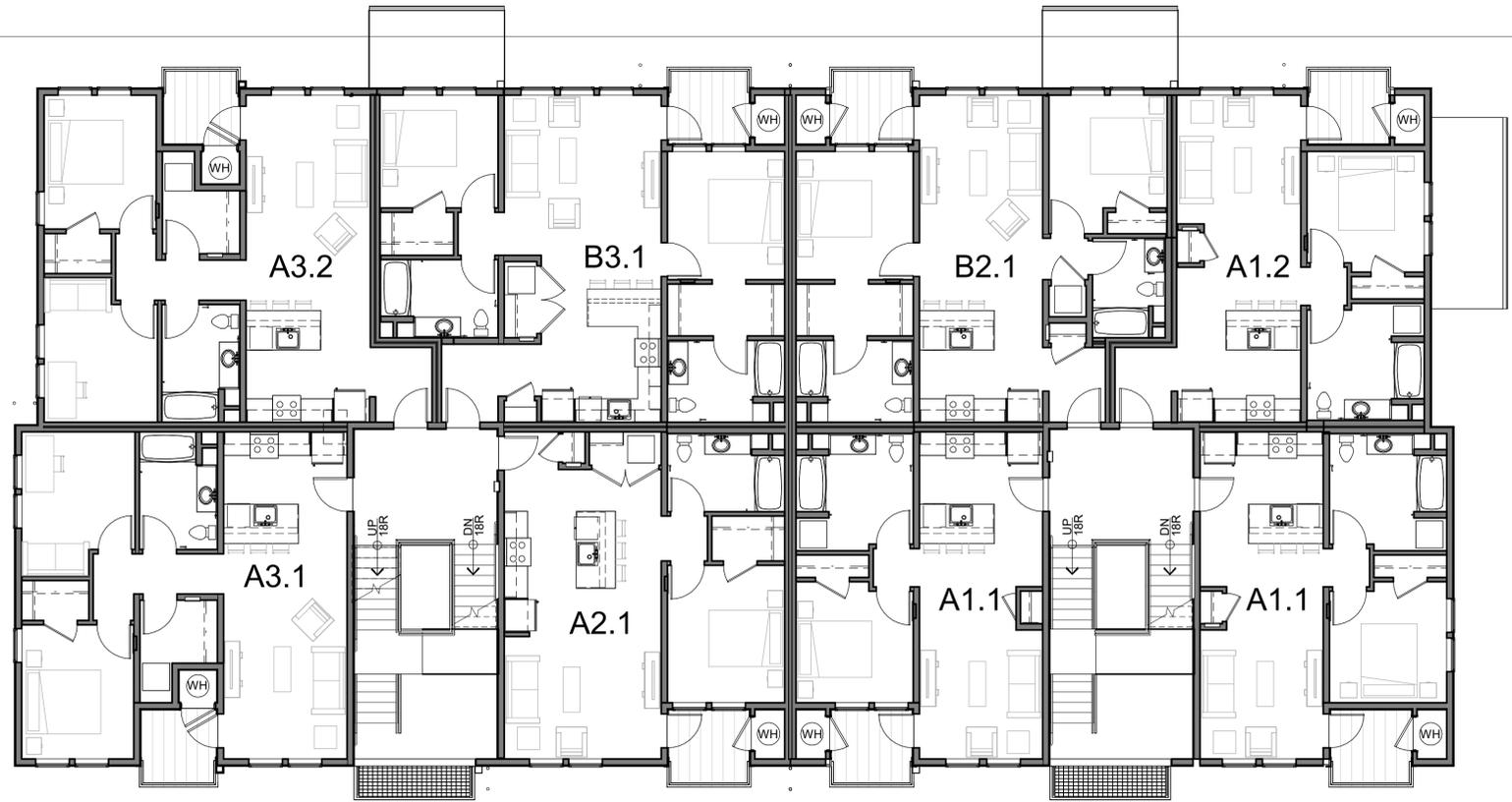
ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
DRIVEWAY SECTION
20.110.014(f) - 1/4"=1'

SHEET

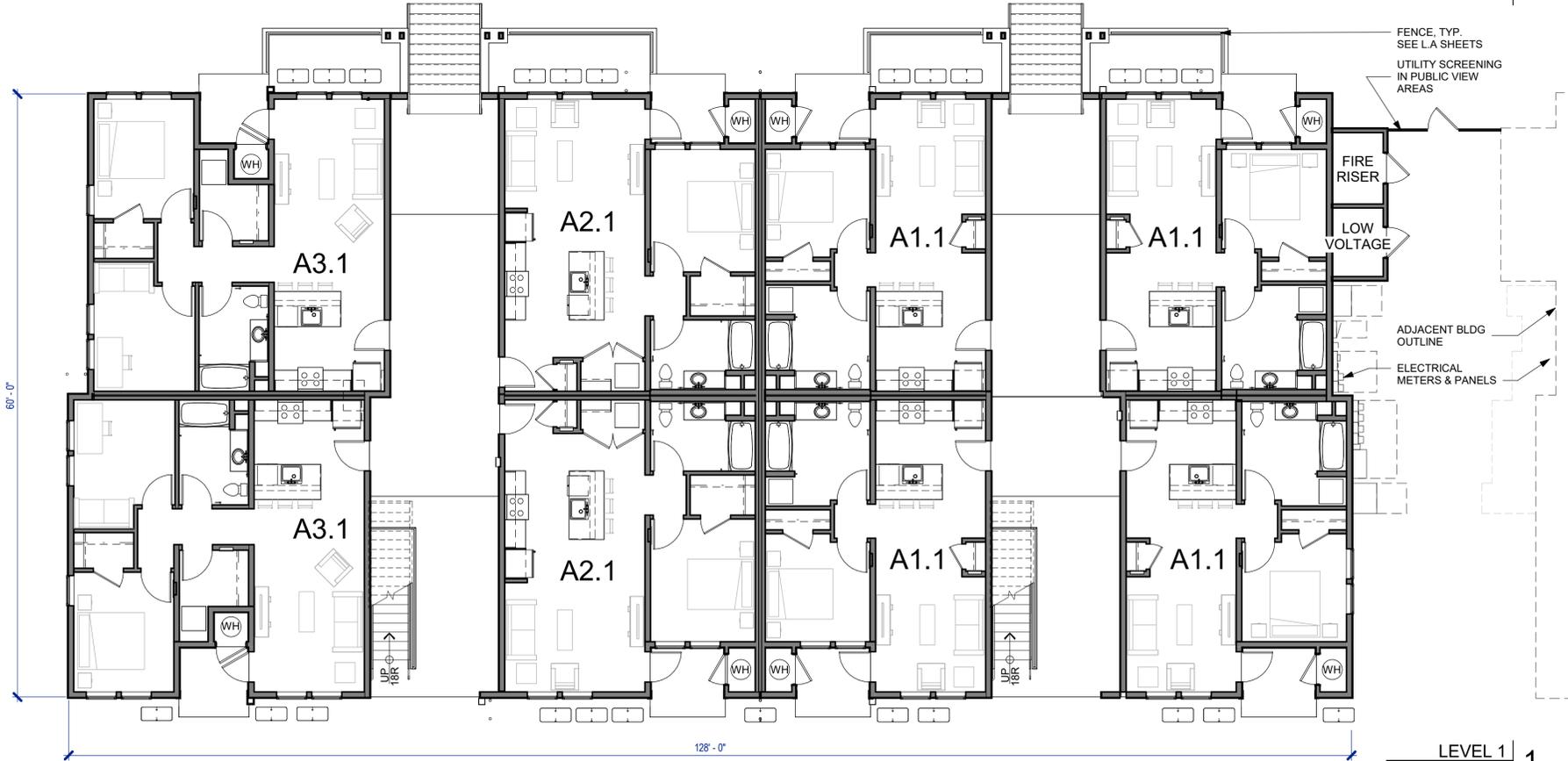
A.22



**KEY PLAN
BUILDING A**



LEVELS 2 & 3
1/8" = 1'-0" 2



LEVEL 1
1/8" = 1'-0" 1



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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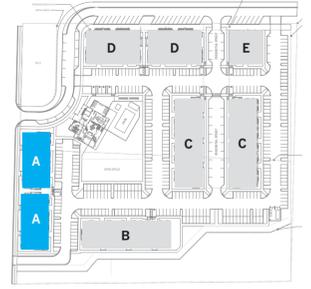
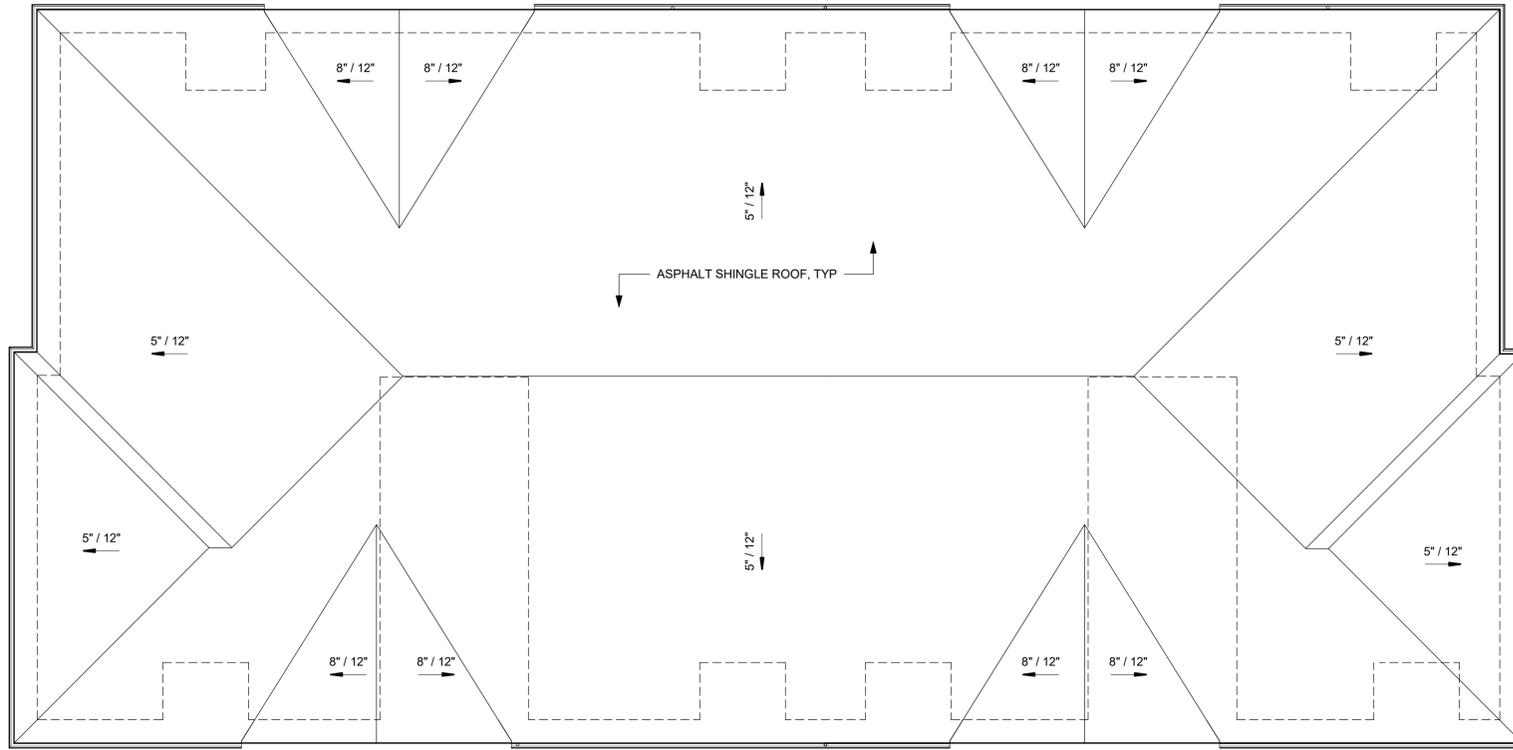
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DAYS BEFORE YOU DIG**
 1-800-424-5555
 SCALE:



ARLINGTON GARDEN APARTMENTS
 ARLINGTON, WASHINGTON
FLOOR PLANS
 Building A

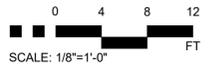
SHEET

A.23



KEY PLAN
BUILDING A

ROOF PLAN | 1
1/8" = 1'-0"



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

DRAWN BY	DESIGNED BY
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DATE June 13, 2025	
JOB No.: 1501-0008	

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DAYS BEFORE YOU DIG**
1-800-424-5555
SCALE:

LPAS
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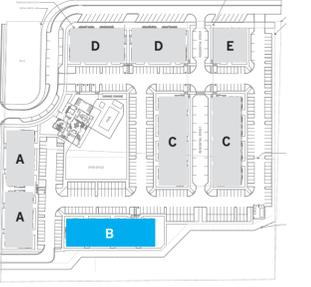


ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON

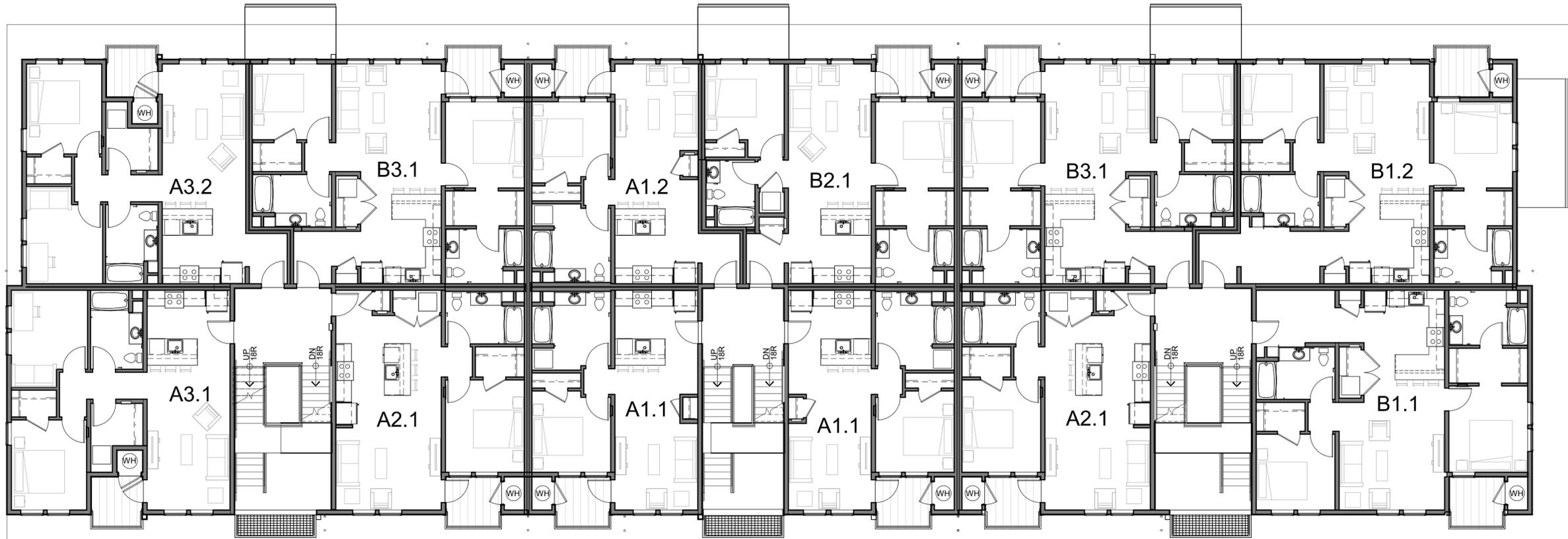
ROOF PLAN
Building A

SHEET

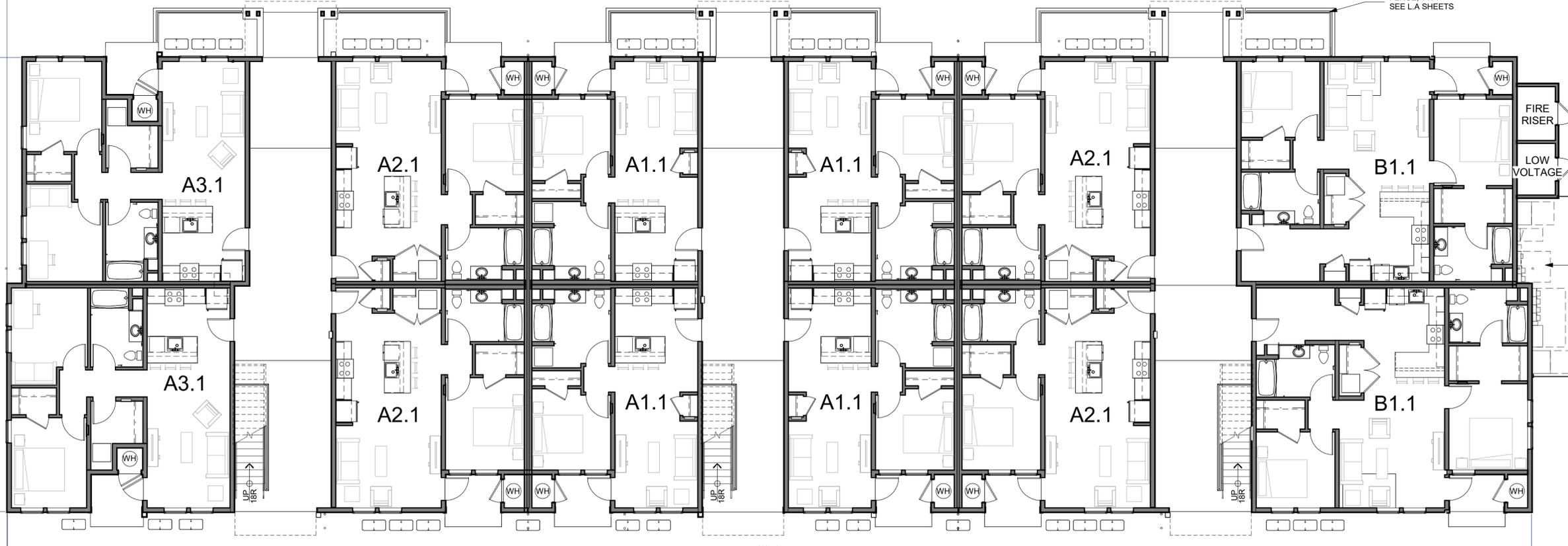
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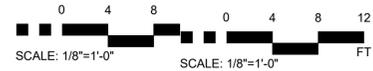
**KEY PLAN
BUILDING B**



LEVELS 2 & 3
1/8" = 1'-0" 2



LEVEL 1
1/8" = 1'-0" 1



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

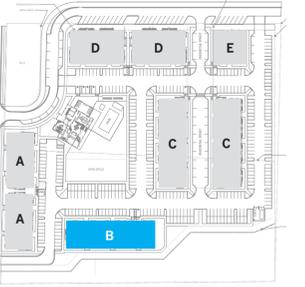
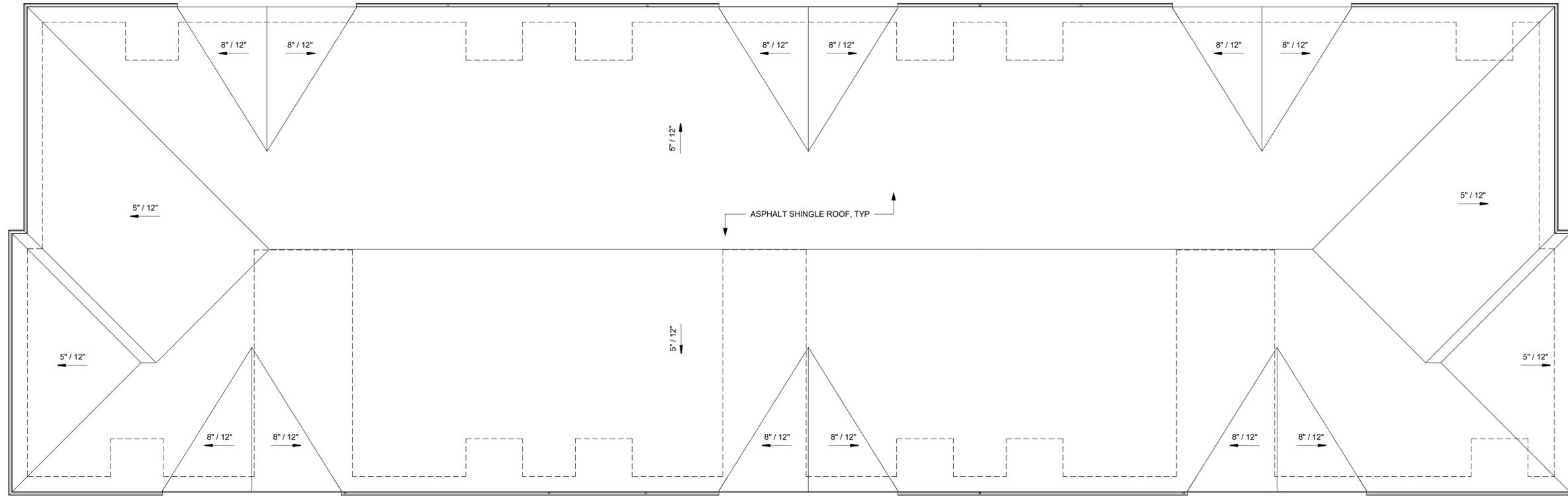
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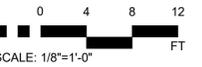
ARLINGTON GARDEN APARTMENTS
 ARLINGTON, WASHINGTON
FLOOR PLANS
 Building B

SHEET
A.25



**KEY PLAN
BUILDING B**

ROOF PLAN
1/8" = 1'-0" **1**



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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**CALL TWO BUSINESS
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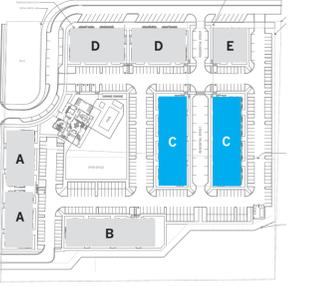


ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON

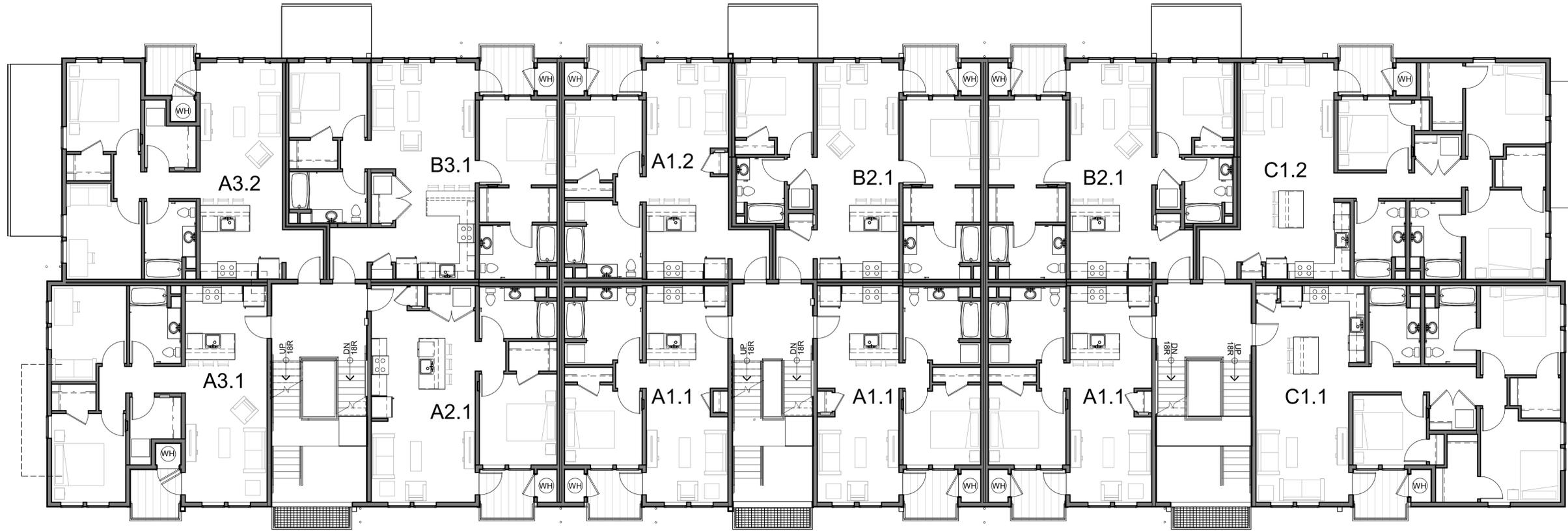
ROOF PLAN
Building B

SHEET

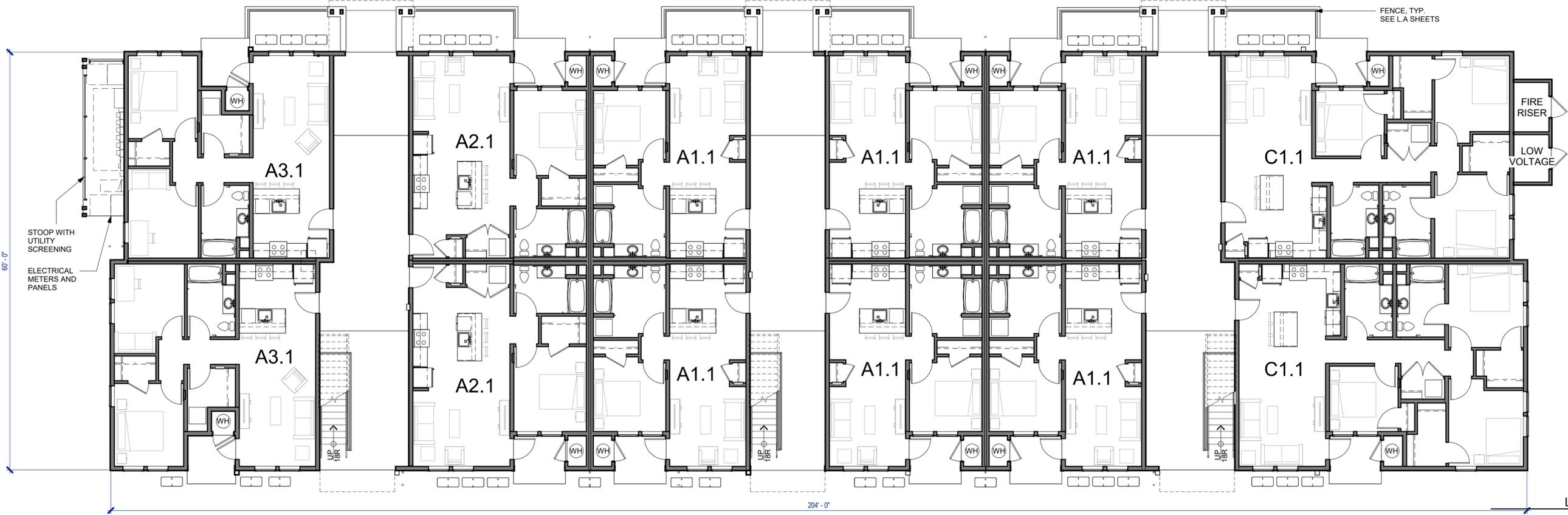
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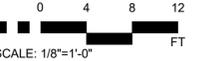
KEY PLAN
BUILDING C



LEVELS 2 & 3
1/8" = 1'-0" 2



LEVEL 1
1/8" = 1'-0" 1



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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DESIGNED BY
CHECKED BY
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June 13, 2025
JOB No.: 1501-0008

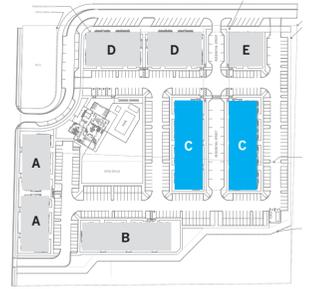
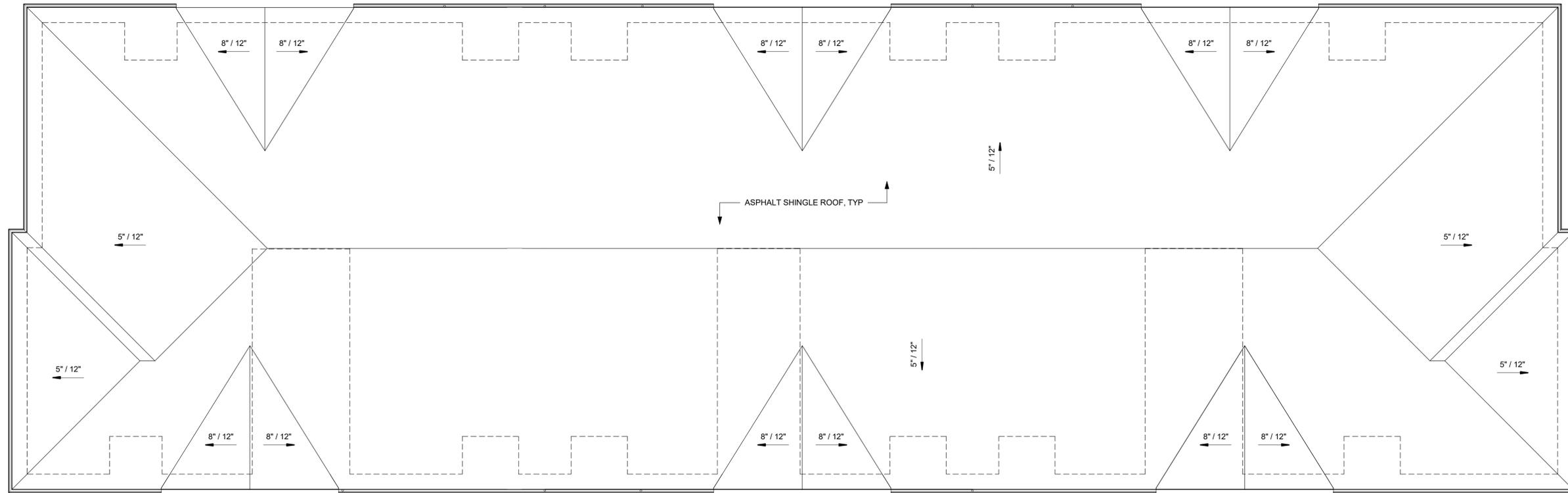
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ARLINGTON, WASHINGTON
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Building C

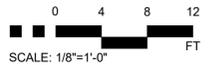
SHEET

A.27



KEY PLAN
BUILDING C

ROOF PLAN
1/8" = 1'-0" **1**



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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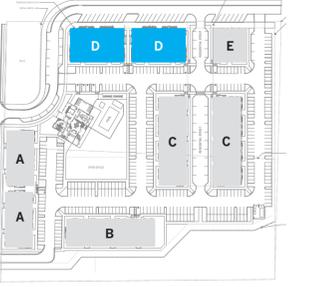


ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON

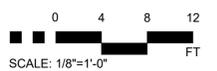
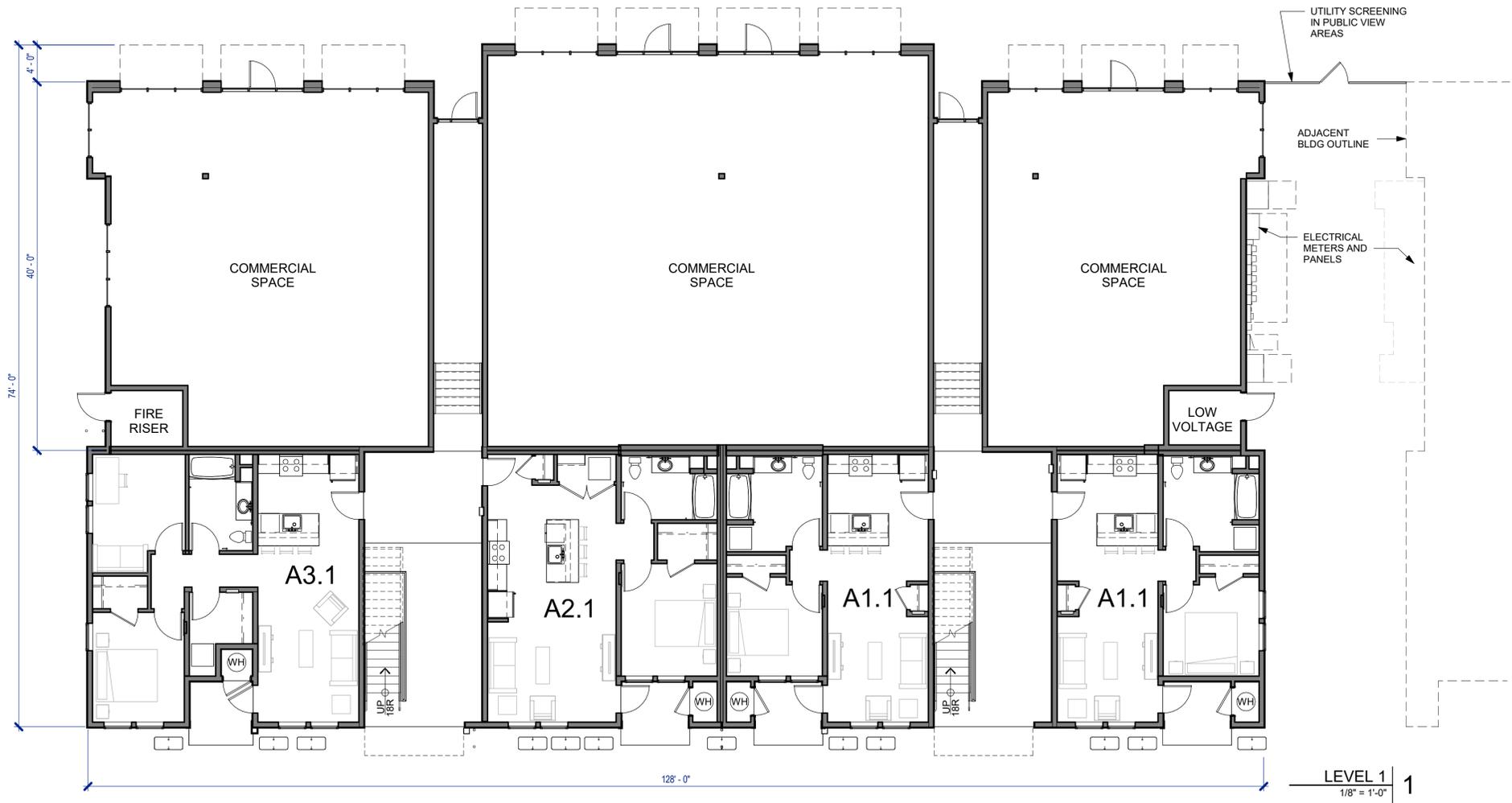
ROOF PLAN
Building C

SHEET

A.28



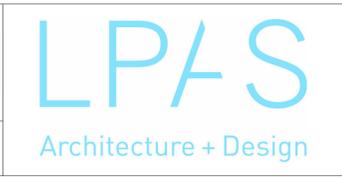
**KEY PLAN
BUILDING D**



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

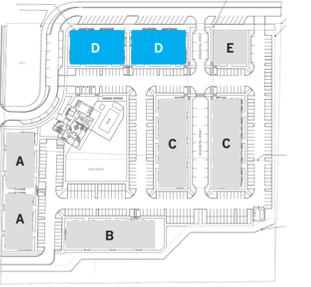
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ARLINGTON GARDEN APARTMENTS
 ARLINGTON, WASHINGTON
FLOOR PLAN
 Building D

SHEET
A.29



**KEY PLAN
BUILDING D**



LEVELS 2 & 3
1/8" = 1'-0" 1



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

DRAWN BY _____ DESIGNED BY _____
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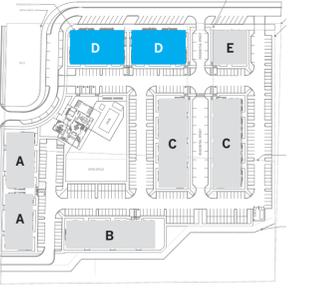


ARLINGTON GARDEN APARTMENTS
 ARLINGTON, WASHINGTON

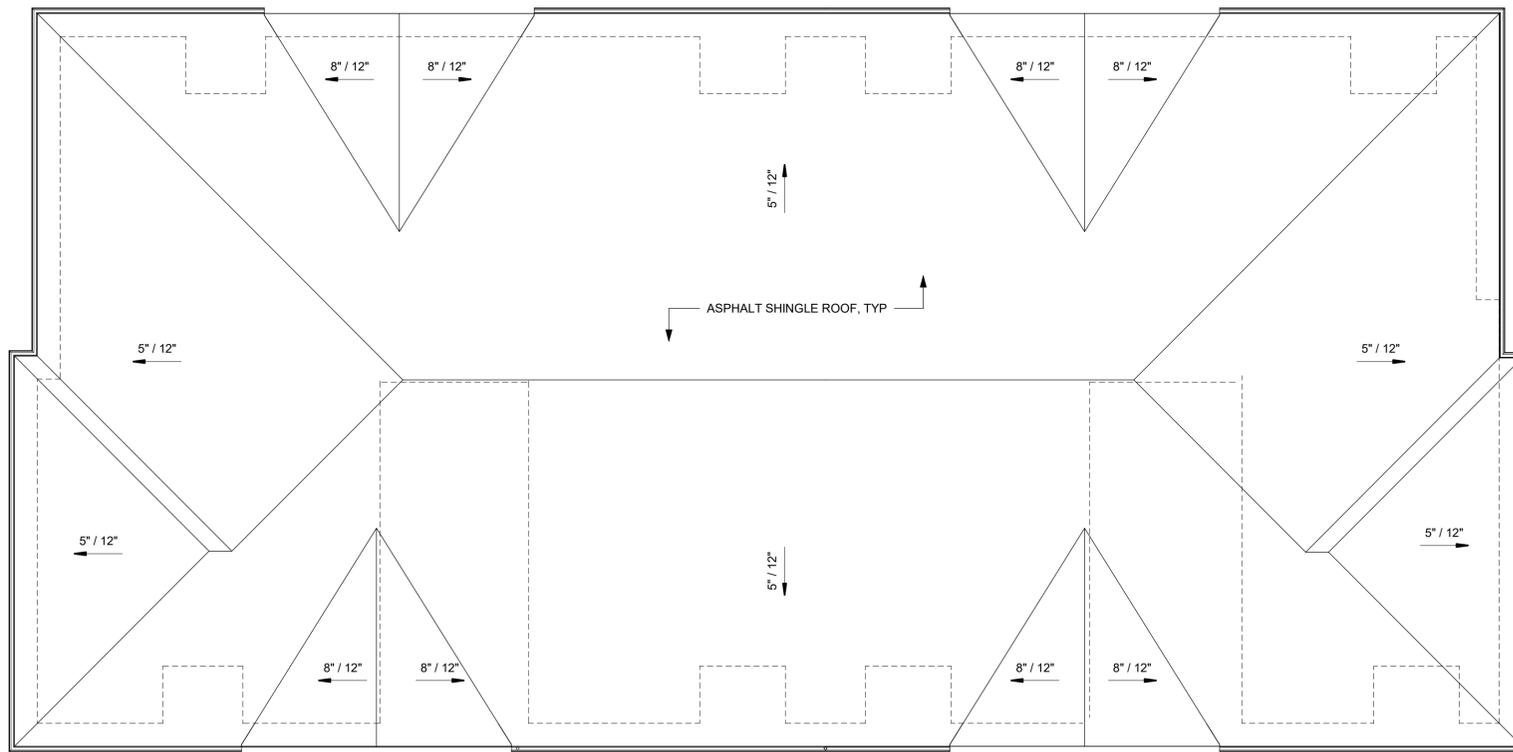
FLOOR PLAN
 Building D

SHEET

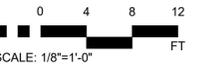
A.30



KEY PLAN
BUILDING D



ROOF PLAN
1/8" = 1'-0" | 1



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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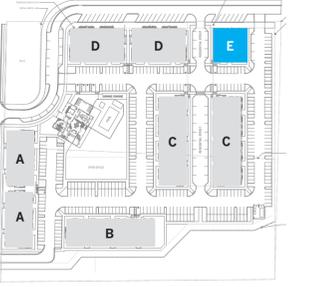


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ARLINGTON, WASHINGTON

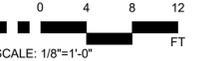
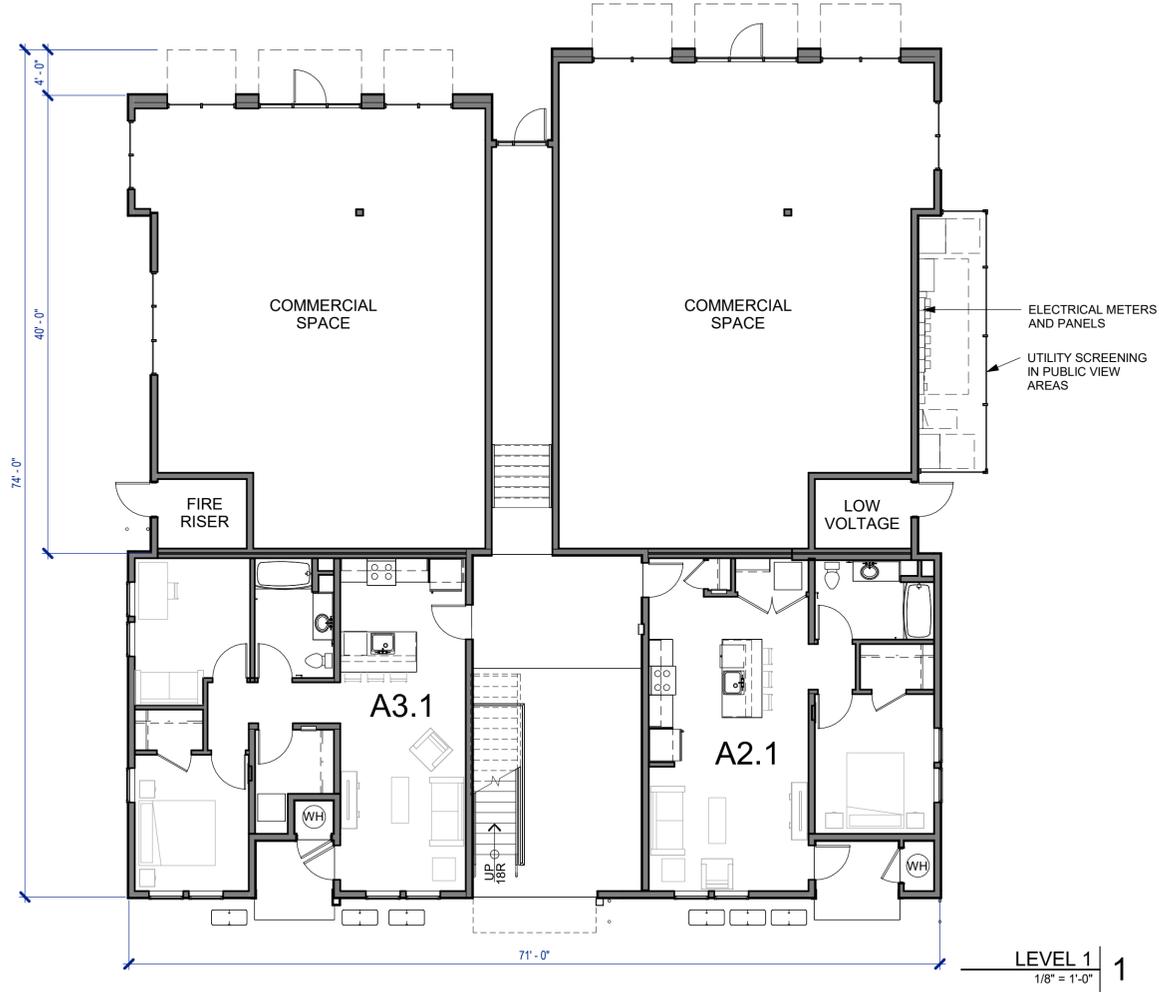
ROOF PLAN
Building D

SHEET

A.31



**KEY PLAN
BUILDING E**



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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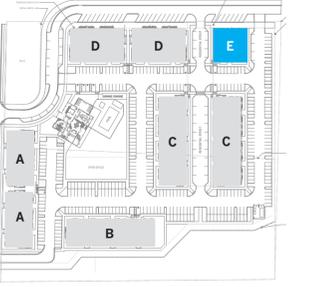
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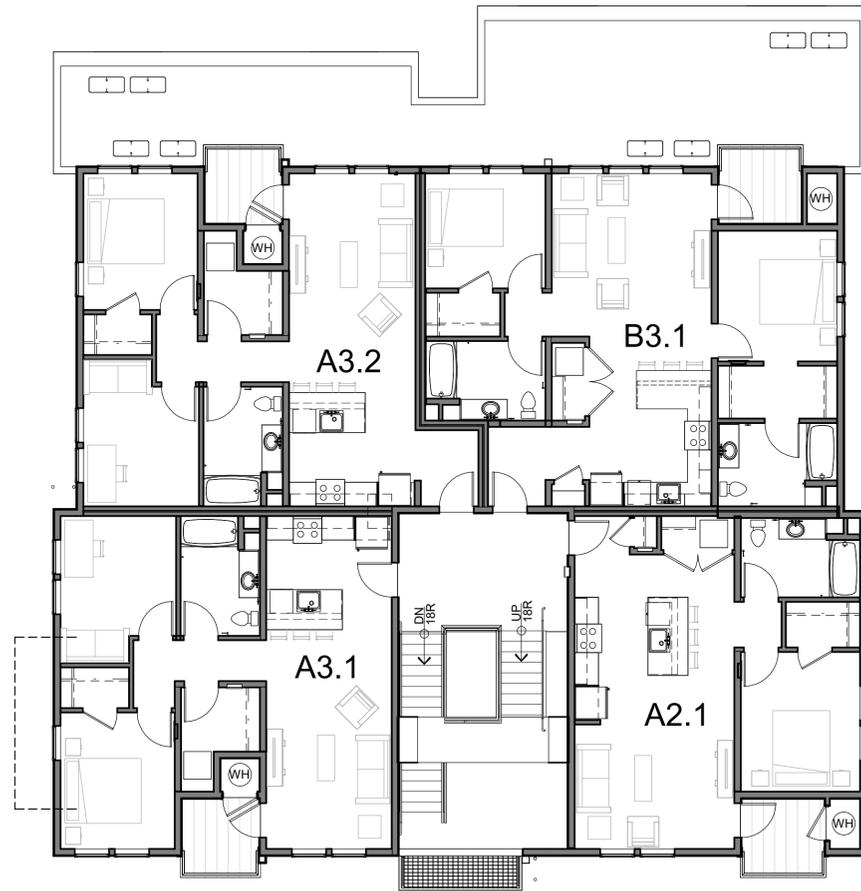
ARLINGTON GARDEN APARTMENTS
 ARLINGTON, WASHINGTON
FLOOR PLAN
 Building E

SHEET

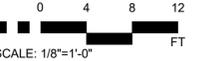
A.32



KEY PLAN
BUILDING E



LEVELS 2 & 3
1/8" = 1'-0" 1



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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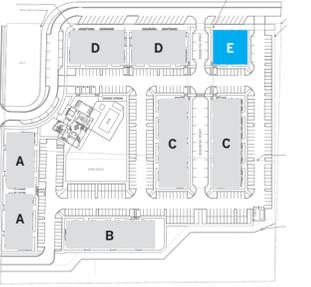


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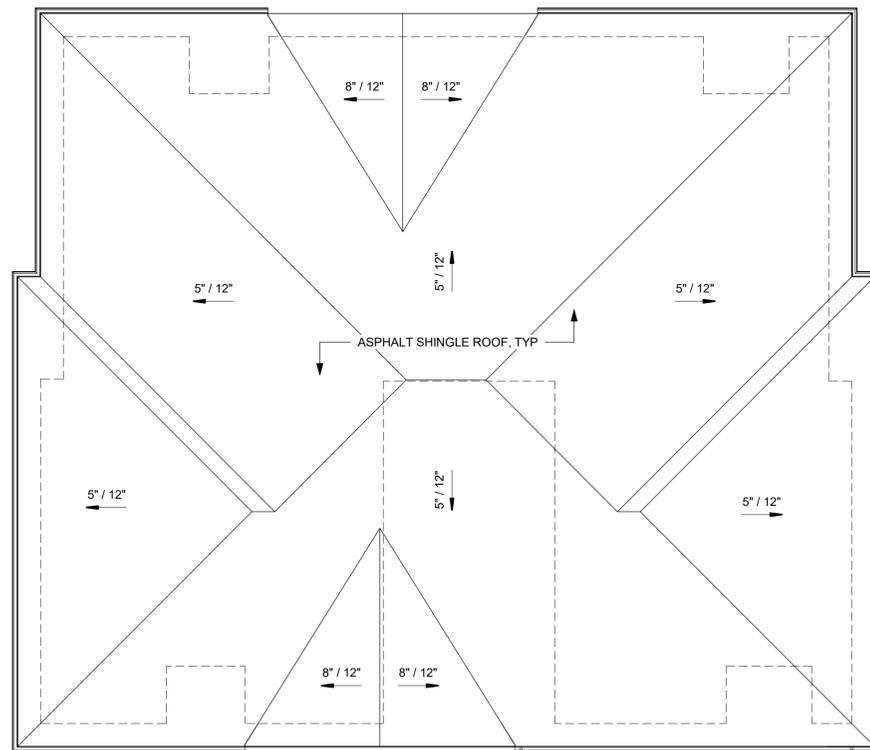
FLOOR PLAN
Building E

SHEET

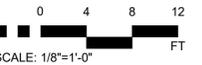
A.33



KEY PLAN
BUILDING E



ROOF PLAN
1/8" = 1'-0" **1**



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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ARLINGTON GARDEN APARTMENTS
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ROOF PLAN
Building E

SHEET

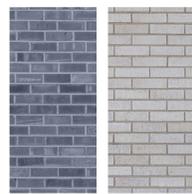
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1. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 8" SLATE BLUE LIGHT BLUE



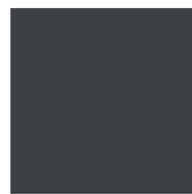
2. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 12" NAVAL BLUE SNOW WHITE



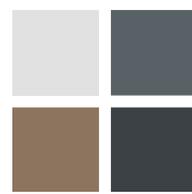
3. THIN BRICK



4. COMPOSITION ROOF SHINGLE DARK GRAY



5. 10" TRIM - CEDAR TEXTURE NAVAL BLUE



6. WINDOW TRIM - CEDAR TEXTURE - 2.5" MATCH WALL COLOR



7. PANEL SIDING - CEDAR TEXTURE - 10" - OAK BROWN



8. DECK TRIM - CEDAR TEXTURE - 5.5" OAK BROWN (TO MATCH SIDING)



9. 3'0"x5'0" SINGLE HUNG WINDOW, TYP. WHITE VINYL



10. TOP MOUNTED METAL RAILING PAINTED BLACK



4. SIDE ELEVATION



3. FRONT ELEVATION



2. SIDE ELEVATION



1. REAR ELEVATION

0 4 8 12
SCALE: 1/8"=1'-0" FT

NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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MULTIFAMILY

ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
EXTERIOR ELEVATIONS
Building A

SHEET

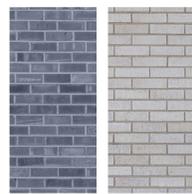
A.35



1. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 8" SLATE BLUE LIGHT BLUE



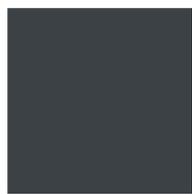
2. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 12" NAVAL BLUE SNOW WHITE



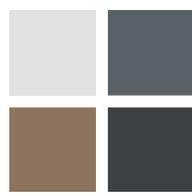
3. THIN BRICK



4. COMPOSITION ROOF SHINGLE DARK GRAY



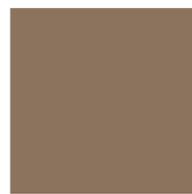
5. 10" TRIM - CEDAR TEXTURE NAVAL BLUE



6. WINDOW TRIM - CEDAR TEXTURE - 2.5" MATCH WALL COLOR



7. PANEL SIDING - CEDAR TEXTURE - 10" - OAK BROWN



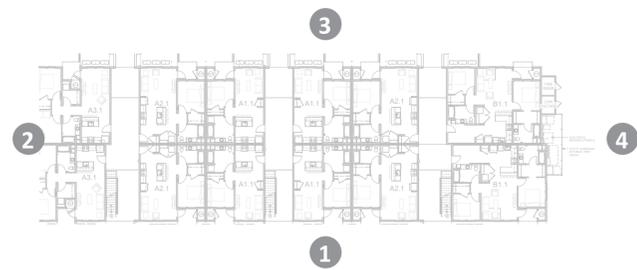
8. DECK TRIM - CEDAR TEXTURE - 5.5" OAK BROWN (TO MATCH SIDING)



9. 3'0"x5'0" SINGLE HUNG WINDOW, TYP. WHITE VINYL



10. TOP MOUNTED METAL RAILING PAINTED BLACK



3. FRONT ELEVATION



1. REAR ELEVATION



SCALE: 1/8"=1'-0"

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2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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Architecture + Design



ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
EXTERIOR ELEVATIONS
Building B

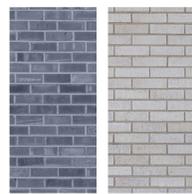
SHEET
A.36



1. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 8" SLATE BLUE LIGHT BLUE



2. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 12" NAVAL BLUE SNOW WHITE



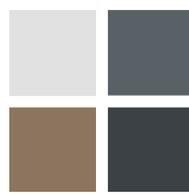
3. THIN BRICK



4. COMPOSITION ROOF SHINGLE DARK GRAY



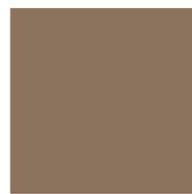
5. 10" TRIM - CEDAR TEXTURE NAVAL BLUE



6. WINDOW TRIM - CEDAR TEXTURE - 2.5" MATCH WALL COLOR



7. PANEL SIDING - CEDAR TEXTURE - 10" - OAK BROWN



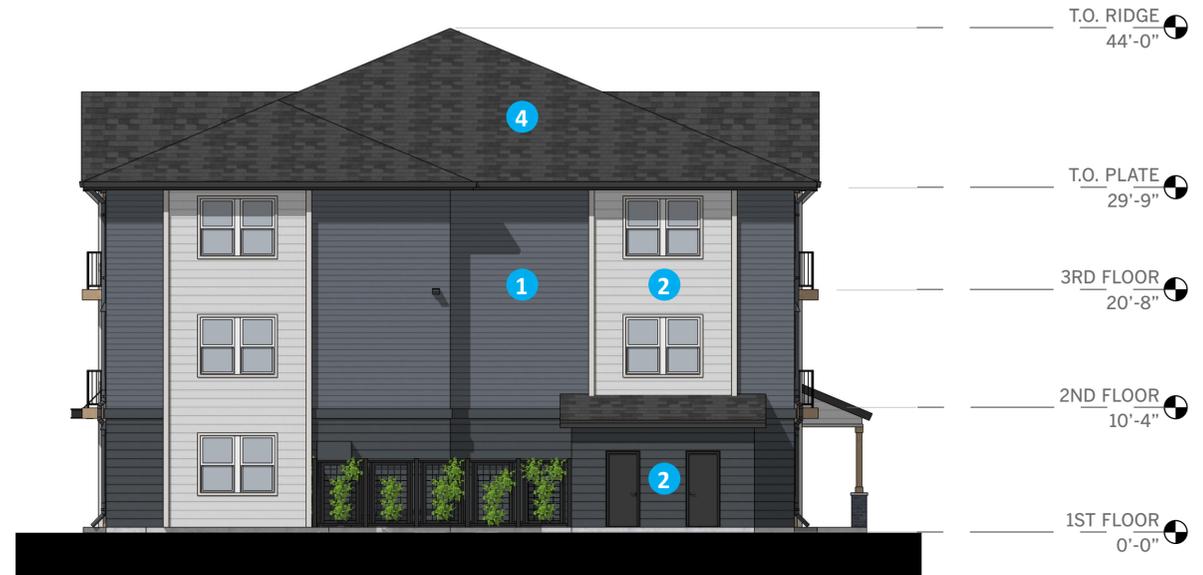
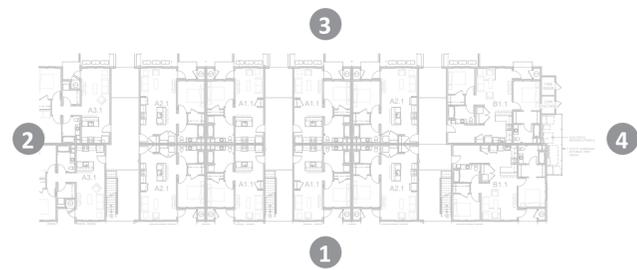
8. DECK TRIM - CEDAR TEXTURE - 5.5" OAK BROWN (TO MATCH SIDING)



9. 3'0"x5'0" SINGLE HUNG WINDOW, TYP. WHITE VINYL



10. TOP MOUNTED METAL RAILING PAINTED BLACK



4. SIDE ELEVATION



2. SIDE ELEVATION



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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ARLINGTON, WASHINGTON
EXTERIOR ELEVATIONS
Building B

SHEET

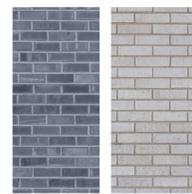
A.37



1. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 8" SLATE BLUE LIGHT BLUE



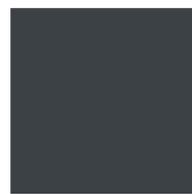
2. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 12" NAVAL BLUE SNOW WHITE



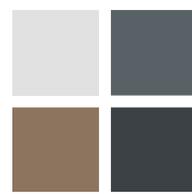
3. THIN BRICK



4. COMPOSITION ROOF SHINGLE DARK GRAY



5. 10" TRIM - CEDAR TEXTURE NAVAL BLUE



6. WINDOW TRIM - CEDAR TEXTURE - 2.5" MATCH WALL COLOR



7. PANEL SIDING - CEDAR TEXTURE - 10" - OAK BROWN



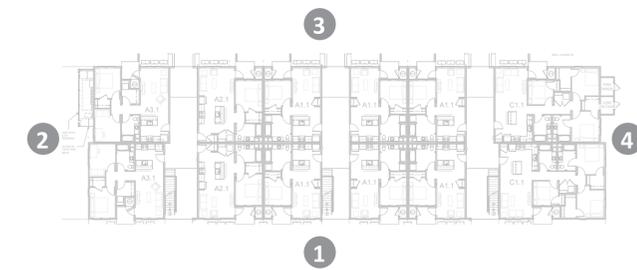
8. DECK TRIM - CEDAR TEXTURE - 5.5" OAK BROWN (TO MATCH SIDING)



9. 3'0"x5'0" SINGLE HUNG WINDOW, TYP. WHITE VINYL



10. TOP MOUNTED METAL RAILING PAINTED BLACK



3. FRONT ELEVATION



1. REAR ELEVATION



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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ARLINGTON, WASHINGTON
EXTERIOR ELEVATIONS
Building C

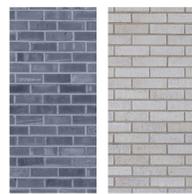
SHEET
A.38



1. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 8" SLATE BLUE LIGHT BLUE



2. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 12" NAVAL BLUE SNOW WHITE



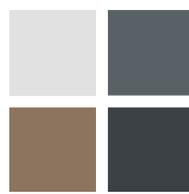
3. THIN BRICK



4. COMPOSITION ROOF SHINGLE DARK GRAY



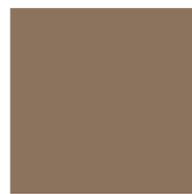
5. 10" TRIM - CEDAR TEXTURE NAVAL BLUE



6. WINDOW TRIM - CEDAR TEXTURE - 2.5" MATCH WALL COLOR



7. PANEL SIDING - CEDAR TEXTURE - 10" - OAK BROWN



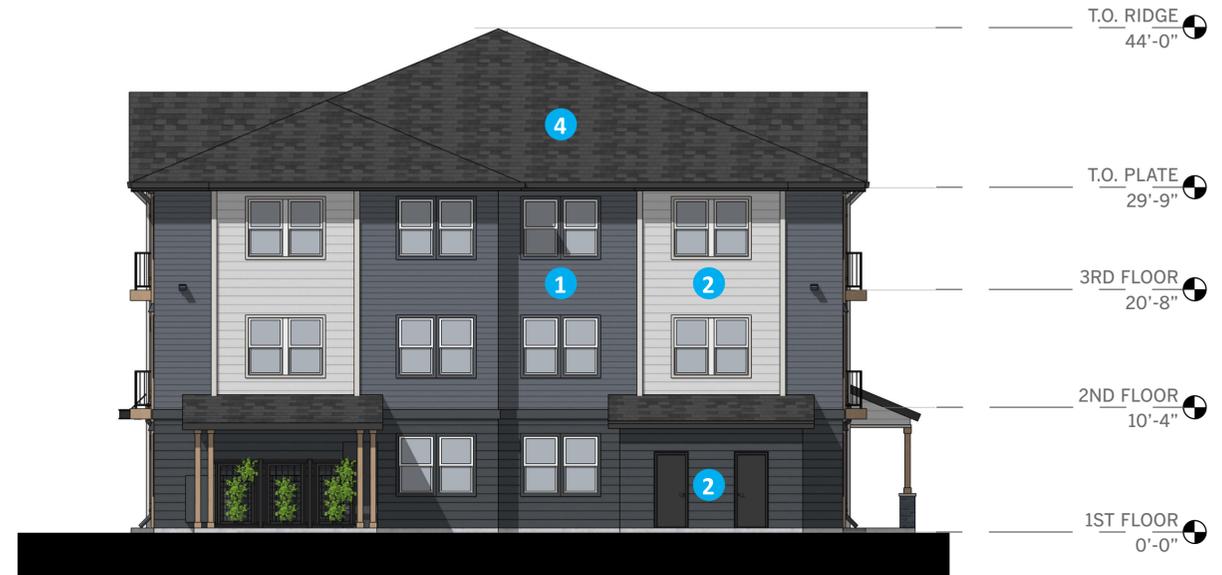
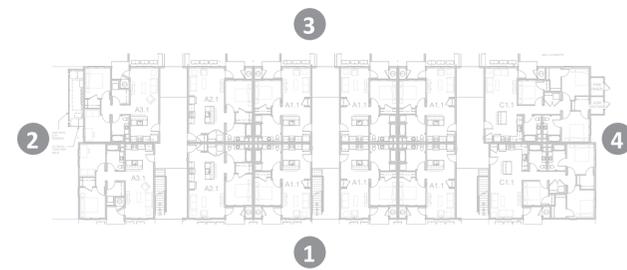
8. DECK TRIM - CEDAR TEXTURE - 5.5" OAK BROWN (TO MATCH SIDING)



9. 3'0"x5'0" SINGLE HUNG WINDOW, TYP. WHITE VINYL



10. TOP MOUNTED METAL RAILING PAINTED BLACK



4. SIDE ELEVATION



2. SIDE ELEVATION



NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
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ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
EXTERIOR ELEVATIONS
Building C

SHEET

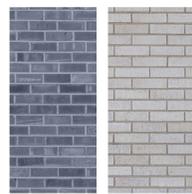
A.39



1. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 8" SLATE BLUE LIGHT BLUE



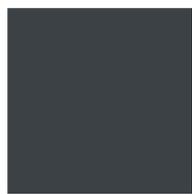
2. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 12" NAVAL BLUE SNOW WHITE



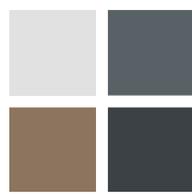
3. THIN BRICK



4. COMPOSITION ROOF SHINGLE DARK GRAY



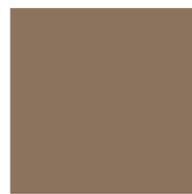
5. 10" TRIM - CEDAR TEXTURE NAVAL BLUE



6. WINDOW TRIM - CEDAR TEXTURE - 2.5" MATCH WALL COLOR



7. PANEL SIDING - CEDAR TEXTURE - 10" - OAK BROWN



8. DECK TRIM - CEDAR TEXTURE - 5.5" OAK BROWN (TO MATCH SIDING)



9. 3'0"x5'0" SINGLE HUNG WINDOW, TYP. WHITE VINYL



10. TOP MOUNTED METAL RAILING PAINTED BLACK



11. PRECAST CONCRETE BASE



4. SIDE ELEVATION



3. FRONT ELEVATION



2. SIDE ELEVATION



1. REAR ELEVATION



SCALE: 1/8"=1'-0"

NO.	DATE	BY	CHD.	APPR.	REVISION
2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

DRAWN BY	DESIGNED BY
CHECKED BY	APPROVED BY
DATE June 13, 2025	
JOB No.: 1501-0008	

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ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
EXTERIOR ELEVATIONS
Building D

SHEET

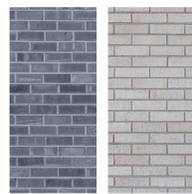
A.40



1. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 8" SLATE BLUE LIGHT BLUE



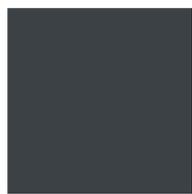
2. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 12" NAVAL BLUE SNOW WHITE



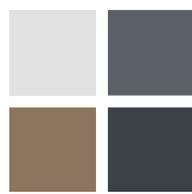
3. THIN BRICK



4. COMPOSITION ROOF SHINGLE DARK GRAY



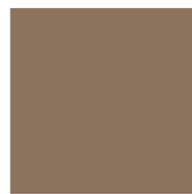
5. 10" TRIM - CEDAR TEXTURE NAVAL BLUE



6. WINDOW TRIM - CEDAR TEXTURE - 2.5" MATCH WALL COLOR



7. PANEL SIDING - CEDAR TEXTURE - 10" - OAK BROWN



8. DECK TRIM - CEDAR TEXTURE - 5.5" OAK BROWN (TO MATCH SIDING)



9. 3'0"x5'0" SINGLE HUNG WINDOW, TYP. WHITE VINYL



10. TOP MOUNTED METAL RAILING PAINTED BLACK



11. PRECAST CONCRETE BASE



4. SIDE ELEVATION



3. FRONT ELEVATION



2. SIDE ELEVATION



1. REAR ELEVATION



SCALE: 1/8"=1'-0"

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2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
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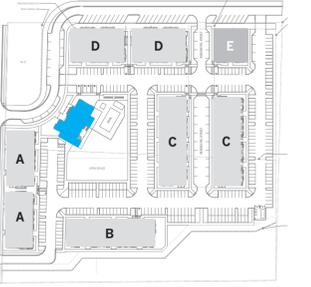
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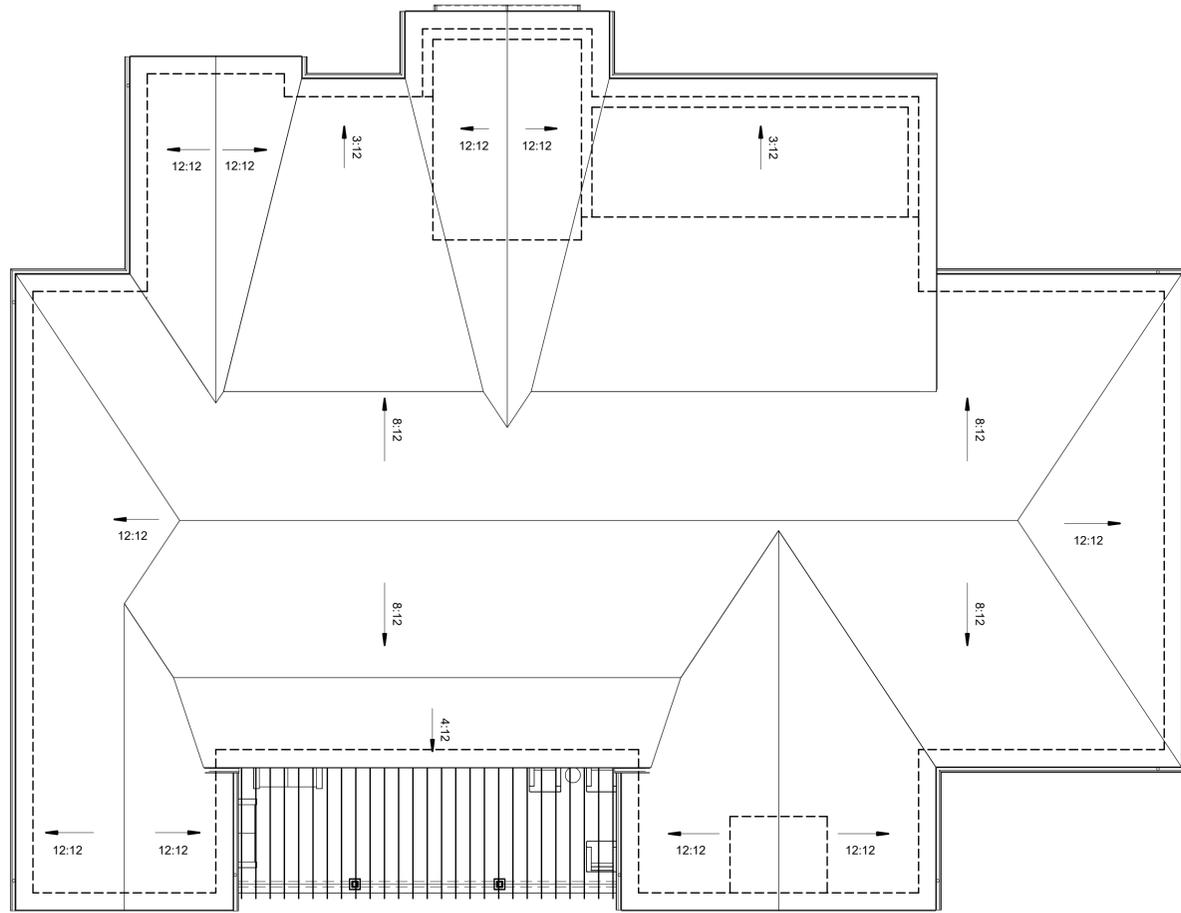


ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
EXTERIOR ELEVATIONS
Building E

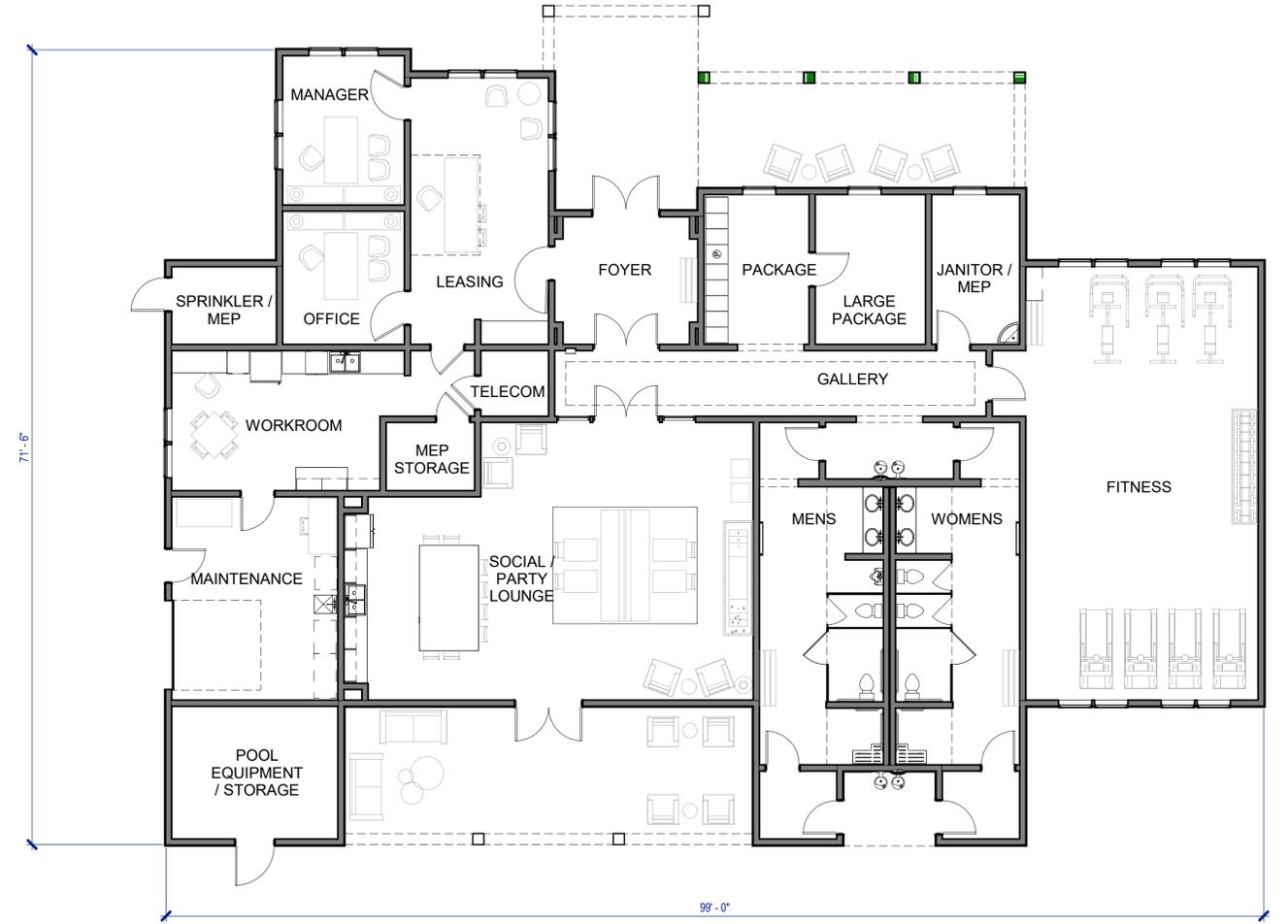
SHEET
A.41



KEY PLAN
CLUBHOUSE



ROOF PLAN - CLUBHOUSE | 1
1/8" = 1'-0"



FLOOR PLAN - CLUBHOUSE | 2
1/8" = 1'-0"



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0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
CLUBHOUSE PLANS

SHEET

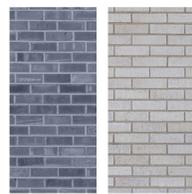
A.42



1. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 8" SLATE BLUE LIGHT BLUE



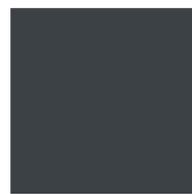
2. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 12" NAVAL BLUE SNOW WHITE



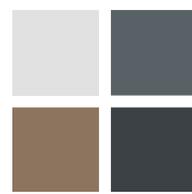
3. THIN BRICK



4. COMPOSITION ROOF SHINGLE DARK GRAY



5. 10" TRIM - CEDAR TEXTURE NAVAL BLUE



6. WINDOW TRIM - CEDAR TEXTURE - 2.5" MATCH WALL COLOR



7. PANEL SIDING - CEDAR TEXTURE - 10" - OAK BROWN



8. DECK TRIM - CEDAR TEXTURE - 5.5" OAK BROWN (TO MATCH SIDING)



9. 3'0"x5'0" SINGLE HUNG WINDOW, TYP. WHITE VINYL



10. TOP MOUNTED METAL RAILING PAINTED BLACK



4. SIDE ELEVATION



3. FRONT ELEVATION

T.O. RIDGE 26'-10"

FIRST FLOOR 0'-0"



2. SIDE ELEVATION



1. REAR ELEVATION

T.O. RIDGE 26'-10"

FIRST FLOOR 0'-0"



SCALE: 1/8"=1'-0"

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2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
EXTERIOR ELEVATIONS
Clubhouse

SHEET

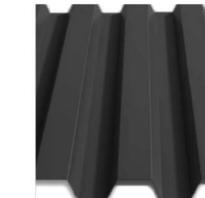
A.43



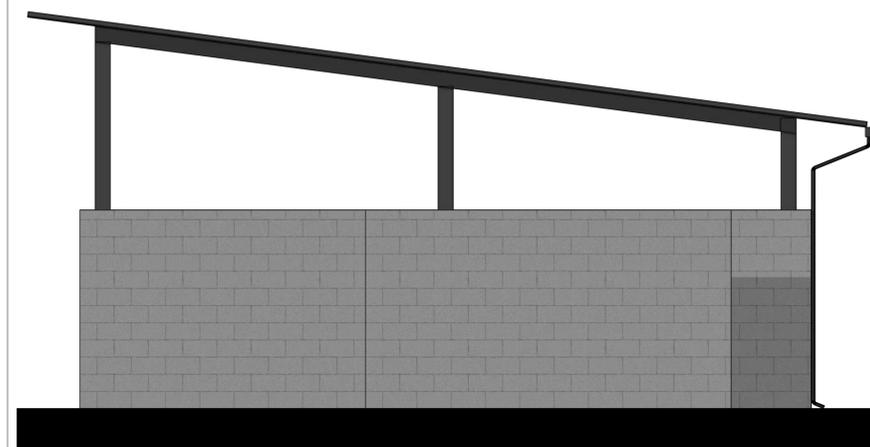
1. SPLIT FACE BLOCK
GREY



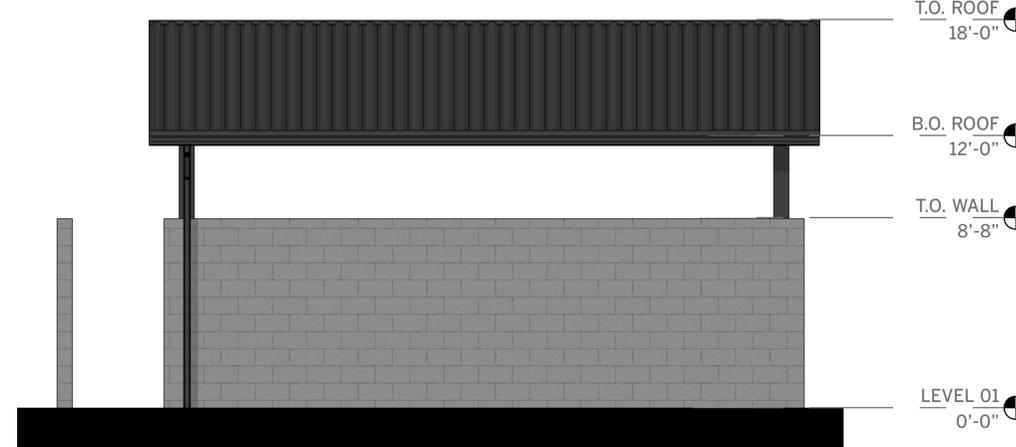
2. PAINTED METAL
STRUCTURE
DARK GREY



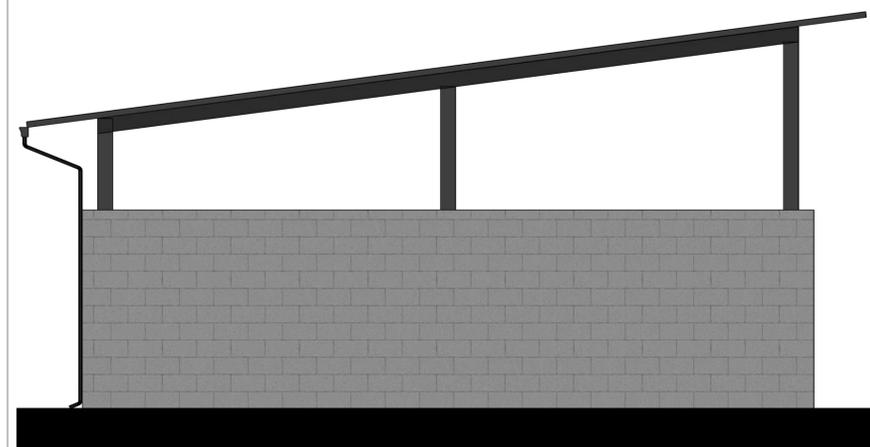
3. BOX RIB
METAL SIDING
DARK GREY



4. RIGHT ELEVATION



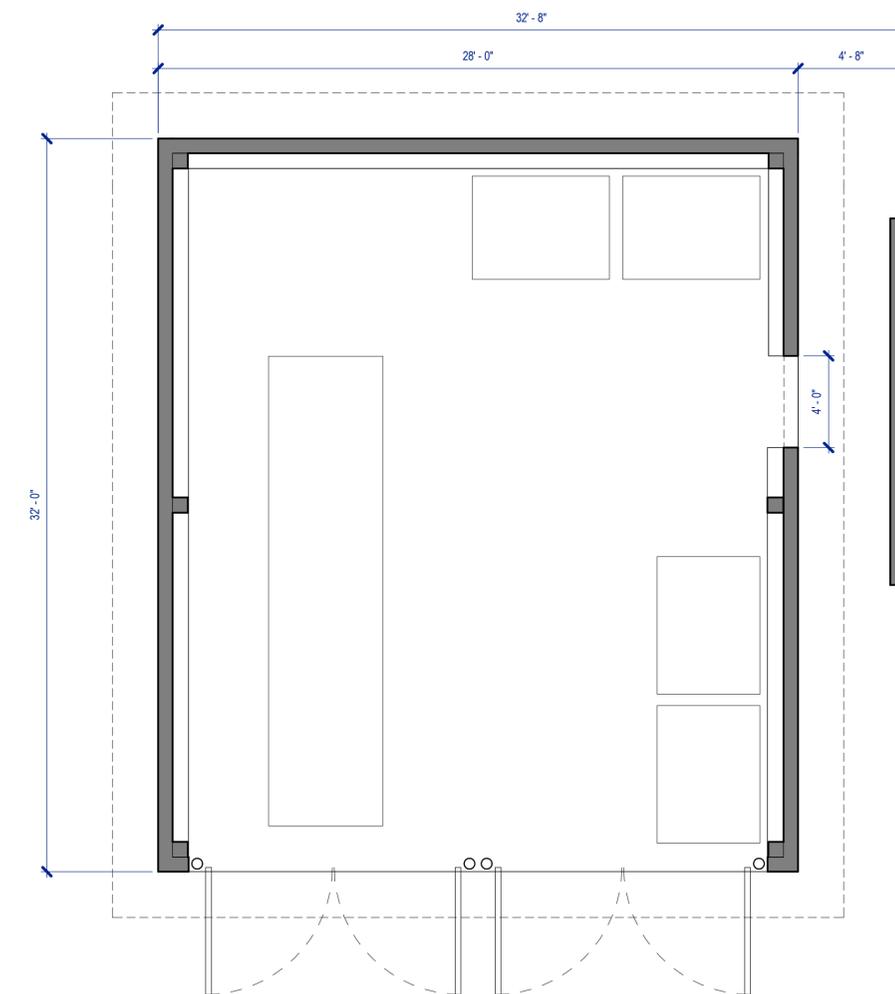
3. REAR ELEVATION



2. LEFT ELEVATION



1. FRONT ELEVATION



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0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

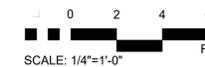
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TRASH ENCLOSURE
1/4" = 1'



SHEET

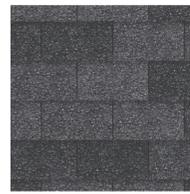
A.44



1. HORIZONTAL LAP SIDING - CEDAR TEXTURE - 8" SLATE BLUE



2. DECORATIVE TRIM - CEDAR TEXTURE - NAVAL BLUE



3. COMPOSITION ROOF SHINGLE - DARK GREY



4. TYP. RIGHT ELEVATION

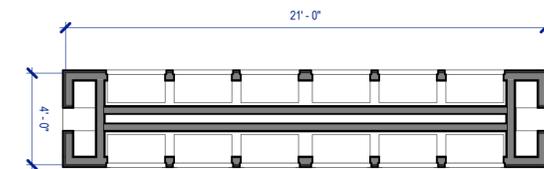


3. TYP. REAR ELEVATION

T.O. RIDGE 11'-0"

B.O. ROOF 8'-0"

LEVEL 01 0'-0"



NORTH KIOSK PLAN - 12 UNITS (10 COUNT)



2. TYP. LEFT ELEVATION

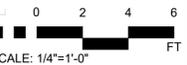


1. TYP. FRONT ELEVATION

T.O. RIDGE 11'-0"

B.O. ROOF 8'-0"

LEVEL 01 0'-0"



SCALE: 1/4" = 1'-0"

NO.	DATE	BY	CHD.	APPR.	REVISION
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1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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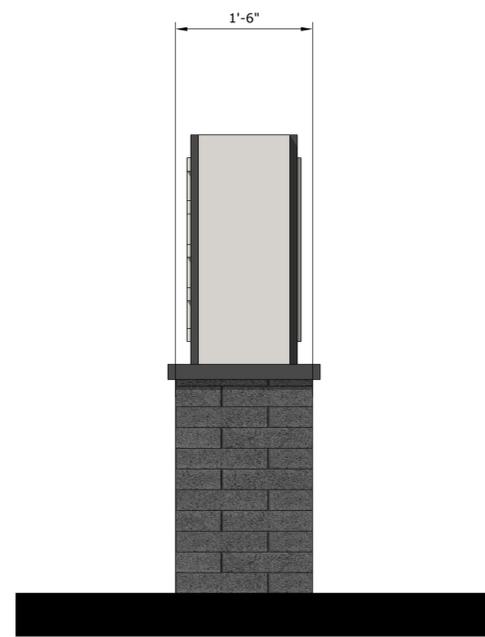


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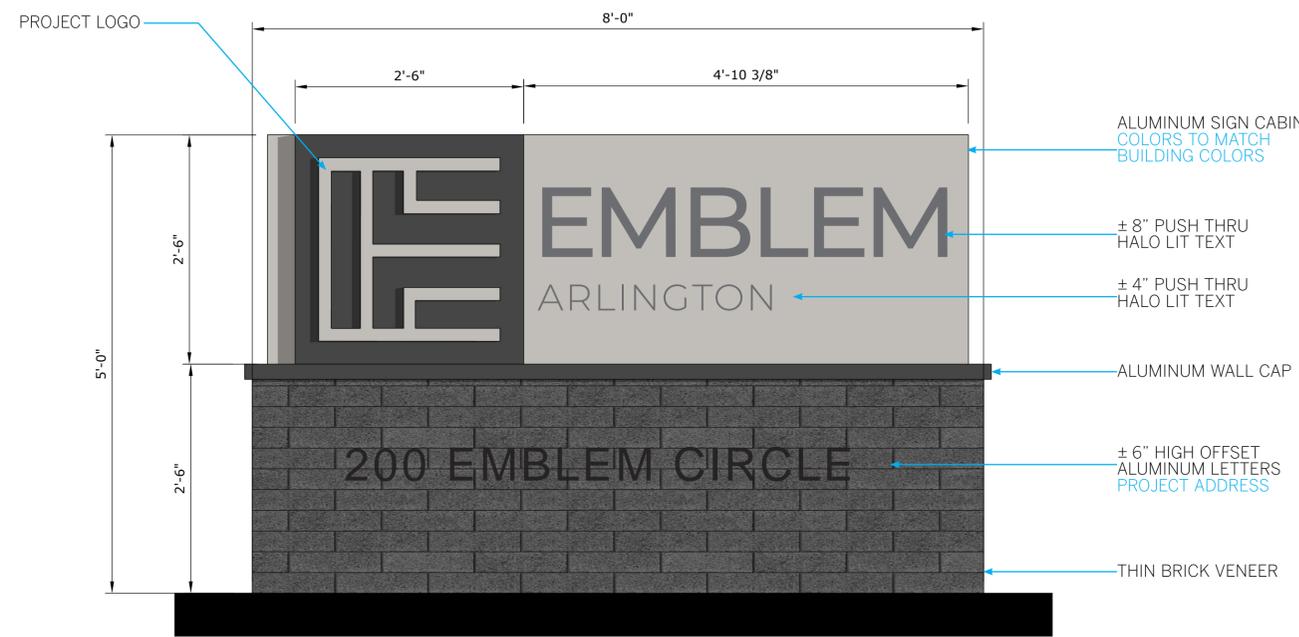
MAIL KIOSK
1/4" = 1'

SHEET

A.45



2. SIDE ELEVATION



1. FRONT ELEVATION (2-SIDED)

Scale: 1" = 1'-0" 00 1 2

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2	6/13/2025	MMM	MNF	JSF	CUP / BSP CYCLE 2 RESUBMITTAL
1	1/31/2025	MMM	MNF	JSF	CUP / BSP CYCLE 1 RESUBMITTAL
0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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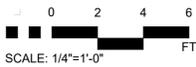
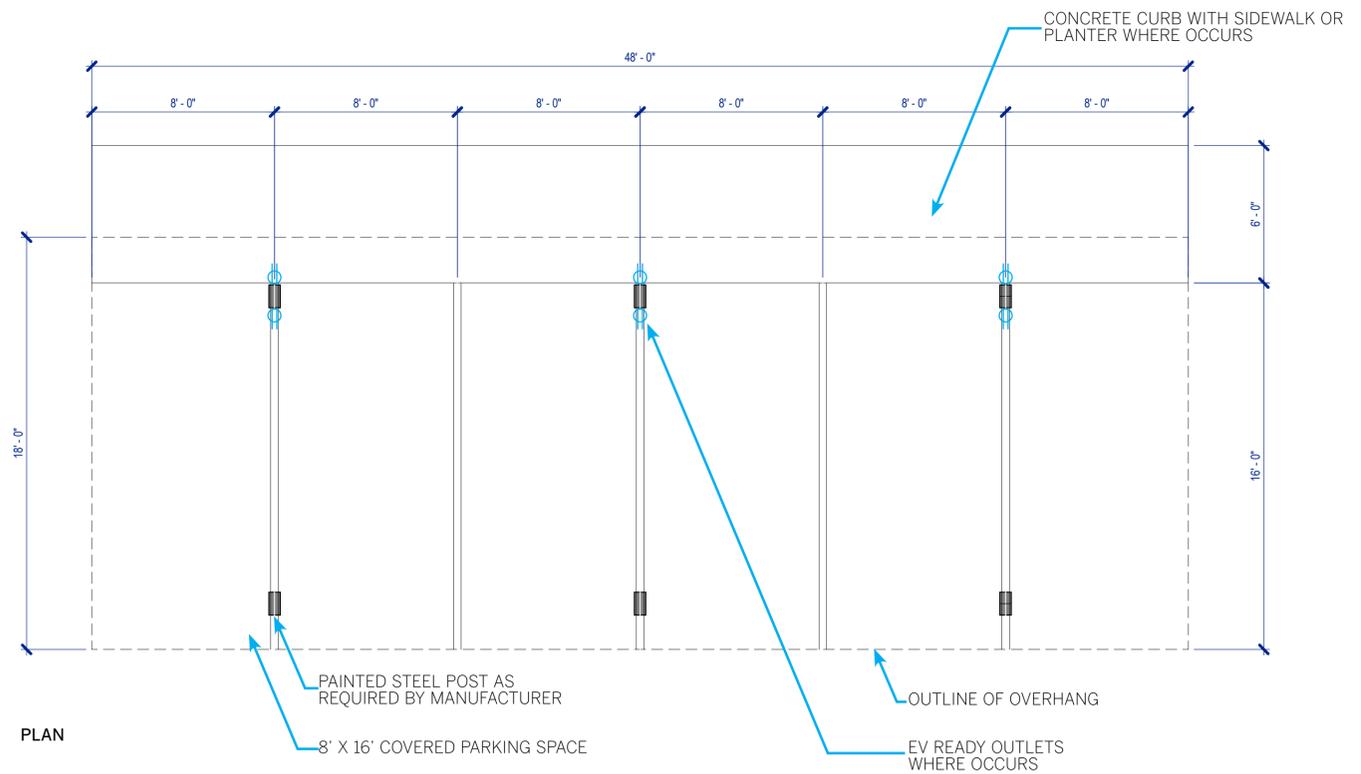
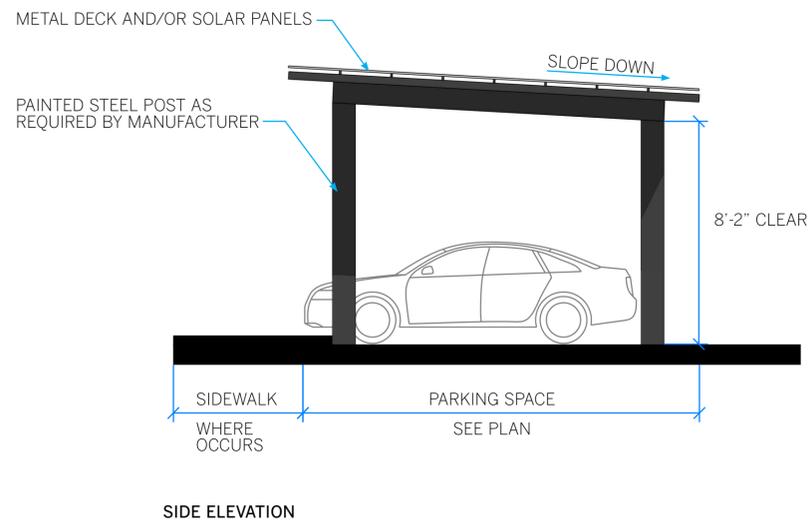
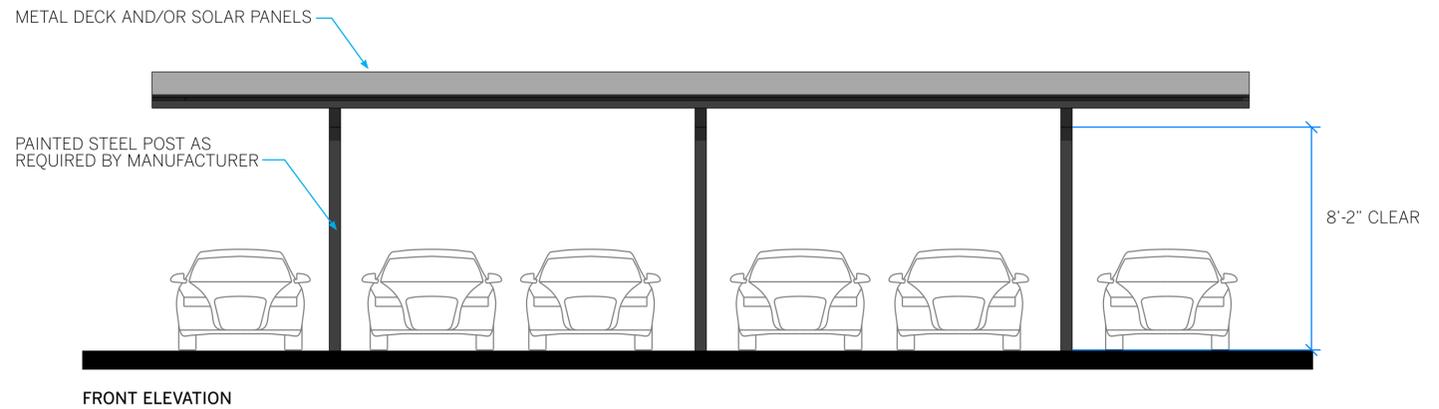
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Quarterra
MULTIFAMILY

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ARLINGTON, WASHINGTON
MONUMENT SIGN ELEVATIONS
1" = 1'

SHEET
A.46



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0	10/11/2024	MMM	MNF	JSF	CUP / BSP SUBMITTAL

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Quarterra
MULTIFAMILY

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ARLINGTON, WASHINGTON
CARPORT
1/4" = 1'

SHEET
A.47

CTLW 1 SERIES

Cutlass LED - Wall Pack



SERIES	LENGTH HEIGHT & WIDTH
CTLW 1	11.54" x 6.12" x 7.46"

FEATURES & SPECIFICATIONS

APPLICATION — The high performance luminaire is designed for full cutoff applications where long life, low maintenance, and consistent color rendering are required. Areas with limited accessibility due to fixture location or where heavy pedestrian traffic makes maintenance difficult are ideal applications such as building facade lighting or wall mounted security lighting. The contemporary design style of the luminaire allows it to be seamlessly integrated into existing systems when necessary.

CONSTRUCTION — The heavy duty housing is constructed of die cast aluminum. The optical assemblies are sealed in place using a silicone gasket for weather tight protection. IP66 rating available upon request.

FINISH — A Super Durable Polyester E-coat powder coat finish is electrostatically applied in our state of the art paint facility. Standard colors available: Black, Bronze, US Green, White. Custom colors available upon request.

OPTICAL SYSTEM — Made with a state of the art UV stabilized acrylic high performance refractive optical assemblies that use high transmittance materials to achieve precise photometric distributions. Available in Type II, III, and IV beam configurations. Star Light Friendly (meets or exceeds Dark Sky requirements) in the horizontal position.

ELECTRICAL SYSTEM — Available in a high output LED system in 5000K Cool White (+/- 500K), 4000K Neutral White or 3000K Warm White color. Available with 90-300V 50/60 Hz Class II power supply. LED's rated for over 100,000 hours at 55°C ambient temperature. Available with 120-277V 50/60 Hz power supply. 480V and 347V input option. Built-in surge protection up to 6 kV. Built-in Active PFC Function LED driver conforms to UL8750 standards.

MOUNTING — Quick mount bracket connects to a standard J-Box. The bracket has a unique hanging feature to allow easy wire connections. After connections are made, the fixture swings down and is secured with two retaining screws at the bottom of the fixture.

LISTINGS — LED Driver listed for wet locations. LED bricks ETL listed for wet locations. Meets US and Canadian safety standards. -40°C to 50°C ambient operation.

RATIO Series

AREA/SITE LIGHTER

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Rectilinear form mimics the traditional shoebox form factor keeping a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 80, 160, 320 or 480 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Standard square arm mount, compatible with B3 drill pattern
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
- Knuckle arm fitter option available for 2-3/8" OD tenon. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options)

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz

ELECTRICAL (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised

CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0-10 V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- SiteSync™ wireless control system is available via 7-pin See ordering information and details at: www.hubbellighting.com/sitesync
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor
- wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin



RELATED PRODUCTS

- Airo
- Camaron LED
- Ratio Family

CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- Fixture is IP66 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See Buy American Solutions

WARRANTY

- 5 year limited warranty
- See HLL Standard Warranty for additional information

KEY DATA	
Lumen Range	3,000-48,000
Wattage Range	25-340
Efficacy Range (LPW)	118-155
Fixture Projected Life (Hours)	L70>60K
Weights lbs. (kg)	13.5-24 (6.1-10.9)

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ARLINGTON GARDEN APARTMENTS
ARLINGTON, WASHINGTON
LIGHTING CUT SHEETS

SHEET

A.48