

PROJECT DIRECTORY

**OWNER:**  
PEAK TO PEAK LLC  
23114 100TH AVE W  
EDMONDS, WA 98020  
PHN: 206-571-2834  
CONTACT:  
AL.OSTMAN-OFFICE@MIDCITYBUILDERS.COM  
MICHAEL.WEEKS-NWDEV@HOTMAIL.COM

**LANDSCAPE:**  
MAIN STREET DESIGN  
271 MADISON AVENUE, S. SUITE 201  
BAINBRIDGE ISLAND, WA 98011  
PHONE: (206) 842-7886  
CONTACT PERSON: KEN LONEY  
MAIN\_STREET@EARTHLINK.NET

**ARCHITECT:**  
CDA + PIRSCHER ARCHITECTS, INC.  
23114 100TH AVE W  
EDMONDS, WA 98020  
PHN: (206) 368-9668  
CONTACT: CARL.PIRSCHER-CARLP@CDAARCH.COM

**SOILS ENGINEER:**  
COMPANY: NORTHWEST LAND DEVELOPMENT LLC  
PO BOX 12867  
MILLCREEK, WA

**CIVIL:**  
INSIGHT ENGINEERING CO., INC.  
2804 GRAND AVE #308  
EVERETT, WA 98201  
BRIAN R. KALAB, PE  
(425) 303-9363  
BRIAN@INSIGHTENGINEERING.NET  
INSIGHTENGINEERING.NET

**TRAFFIC ENGINEER:**  
KIMLEY-HORN  
HEATH & ASSOCIATES, INC.  
PO BOX 397, PUYALLUP WA 98371  
(253) 770-1401  
CONTACT:  
AARON.VAN.AKEN | P.E., PTOE  
AVANAKEN@HEATHTRAFFIC.COM

**SURVEY:**  
PACIFIC COAST SURVEYS  
PO BOX 13619  
MILLCREEK, WA 98082  
PHN (425) 512-7099

CODE INFORMATION

2018 INTERNATIONAL RESIDENTIAL CODE      2018 WASHINGTON STATE ENERGY CODE  
WASHINGTON STATE AMENDMENTS      WASHINGTON STATE AMENDMENTS  
ICC A117.1-2009

SITE INFORMATION

**SITE ADDRESS:** 19402 SMOKEY POINT BLVD  
ARLINGTON, WA 98223

**TAX PARCEL ID #:** 310517-004-006-0

**COMPREHENSIVE PLAN DESIGNATION:** CC (COMMERCIAL CORRIDOR)

**AIRPORT PROTECTION DISTRICT SUBDISTRICT:** C (AN AVIATION EASEMENT IS REQ'D WITH THE ARLINGTON MUNICIPAL AIRPORT)

**USE CLASSIFICATION:** ZCS (PROPOSED TOWNHOMES)  
SC (PROPOSED COMMERCIAL BLDGS)

**PLACE TYPE:** MIXED-USE NEIGHBORHOOD CORRIDOR

**TRANSECT:** T4 FLEX (T4-F)

**SEWER & WATER PURVEYOR:** CITY OF ARLINGTON, WA

**CRITICAL AREA TYPES:** NONE

**SHORELINE CLASSIFICATION:** DOES NOT APPLY

**FEMA FLOOD ZONE DESIGNATION:** DOES NOT APPLY

**LEGAL DESCRIPTION:**  
THE NORTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER AND THE NORTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 31 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, LYING WESTERLY OF STATE HIGHWAY;

LESS THE FOLLOWING DESCRIBED TRACT:  
BEGINNING AT AN INTERSECTION WITH THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 31 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, AND THE EAST LINE OF PRIMARY STATE HIGHWAY NO. 1;  
THENCE EAST ALONG THE NORTH LINE OF SAID SUBDIVISION FOR 250 FEET MORE OR LESS TO THE WEST LINE OF STATE ROAD NO. 1, ALSO KNOWN AS OLD U.S. 99;  
THENCE SOUTHEASTERLY ALONG THE WEST LINE OF SAID STATE ROAD FOR 180 FEET;  
THENCE WEST PARALLEL TO THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 17 FOR 312 FEET, MORE OR LESS, TO THE EAST LINE OF PRIMARY STATE HIGHWAY NO. 1; THENCE NORTHWESTERLY ALONG THE EAST LINE OF PRIMARY STATE HIGHWAY NO. 1 FOR 162 FEET, MORE OR LESS, TO THE POINT OF BEGINNING; AND  
EXCEPT ANY PORTION LYING WITHIN THE RIGHT OF WAY OF STATE HIGHWAY NO. 1; AND  
EXCEPT THAT PORTION LYING WESTERLY OF PRIMARY STATE HIGHWAY NO. 1.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.  
**DENSITY & DIMENSIONAL CALCS**

**LOT SIZE / SITE AREA:** 340,954 SQ FT (7.84 ACRES)

**LOT DIMENSIONS:** SEE ATTACHED SURVEY & SITE PLAN

**LOT NUMBER LABELS:** NONE

**NUMBER OF LOTS:** 1

**PROPOSED RESIDENTIAL DENSITY:**  
62 UNITS / 7.84 AC = 7.9 RESIDENTIAL UNITS PER ACRE

**BUILDING SETBACKS:** SEE SITE PLAN

**BUILDING HEIGHTS:** SEE BLDG ELEVATIONS

**TOTAL LOT COVERAGE (IMPERVIOUS SURFACE):** 227,895 SF

# CITY OF ARLINGTON

## SMOKEY POINT RIDGE

### FILE NO: XXX

SECTION, TOWNSHIP, & RANGE:  
NW 1/4, SE 1/4, SEC.17, T.31N., R.5E., W.M.

BUILDING INFORMATION

**BUILDING AREAS:**

**BUILDING A1 - TOWNHOME**  
1ST FLOOR = 4,862 GSF  
2ND FLOOR = 4,858 GSF  
TOTAL = 9,720 GSF

**BUILDING B1 - LIVE WORK**  
1ST FLOOR = 2,224 GSF WORK SPACE  
5,552 GSF RESIDENTIAL  
TOTAL 1ST FLR=7,776 GSF  
2ND FLOOR = 7,560 GSF  
3RD FLOOR = 4,796 GSF  
TOTAL WORK SPACE 2,224 GSF  
TOTAL RESIDENTIAL 17,908 GSF  
TOTAL = 20,132 GSF

**B2 - LIVE WORK WORK SPACE**  
SAME AS B1  
FOR B1 AND B2 2x2,224= 4,448 GSF FOR  
2X 17,908=35,816 GSF FOR RESIDENTIAL  
TOTAL = 40,264 GSF

**BUILDINGS C - TOWNHOMES**  
1ST FLOOR = 7,274 GSF  
2ND FLOOR = 7,269 GSF  
TOTAL = 14,543 GSF  
TOTAL FOR 7 X 14,543 GSF = 101,801 GSF  
TOTAL RESIDENTIAL = 151,785 GSF

**COMMERCIAL:**

**COMM BLDG 1**  
MAIN FLOOR = 5,783 GSF  
LOFT FLOOR = 3,455 GSF  
TOTAL = 9,328 GSF

**COMM BLDG 2**  
TOTAL FLOOR = 4,797 GSF

**COMM BLDG 3**  
MAIN FLOOR = 7,675 GSF

**COMM BLDG 4**  
MAIN FLOOR = 3,848 GSF

**COMM BLDG 5**  
MAIN FLOOR = 4,992 GSF

**COMM BLDG 6**  
MAIN FLOOR = 4,992 GSF

**COMM BLDG 7**  
MAIN FLOOR = 1,935 GSF

**COMM BLDG 8**  
MAIN FLOOR = 3,851 GSF  
LOFT FLOOR = 1,600 GSF  
TOTAL = 5,451 GSF  
TOTAL COMMERCIAL = 42,929 GSF

**TOTAL RESIDENTIAL AND COMMERCIAL:**  
151,785 GSF + 42,929 GSF = 194,713 GSF

TITLE INDEX

**DESIGN**

D101 DESIGN COVERSHEET  
D102 OVERALL SITE PLAN  
D103 SITE PLAN DETAILS  
D104 SITE ADA DETAILS  
D105-B ENLARGED- SITE PLAN-B BUILDING  
D201-B FIRST FLOOR PLAN-B BUILDING  
D202-B SECOND FLOOR PLAN-B BUILDING  
D203-B THIRD FLOOR PLAN-B BUILDING  
D501-B ELEVATIONS- B BUILDING  
D502-B ELEVATIONS -B BUILDING  
D503-B ELEVATIONS -B BUILDING  
D105-C ENLARGED SITE PLAN C BUILDING  
D201-C FIRST FLOOR PLAN -C BUILDING  
D202-C SECOND FLOOR PLAN -C BUILDING  
D203-C THIRD FLOOR PLAN C BUILDING  
D501 -C ELEVATIONS-C BUILDING  
D502 -C ELEVATIONS-C BUILDING  
D503 -C ELEVATIONS-C BUILDING  
D105-COMM ENLARGED SITE PLAN -1 COMMERCIAL  
D201-COMM FIRST FLOOR PLAN-1 COMMERCIAL  
D202-COMM 2ND FLOOR PLAN -1 COMMERCIAL  
D501-COMM ELEVATIONS- 1 COMMERCIAL  
D502-COMM ELEVATIONS-1 COMMERCIAL  
D503-COMM ELEVATIONS-1 COMMERCIAL

**ELECTRICAL**

E1.01 SITE LIGHTING PLAN  
E1.02 SITE LIGHTING PLAN  
E2.01 CUT SHEET

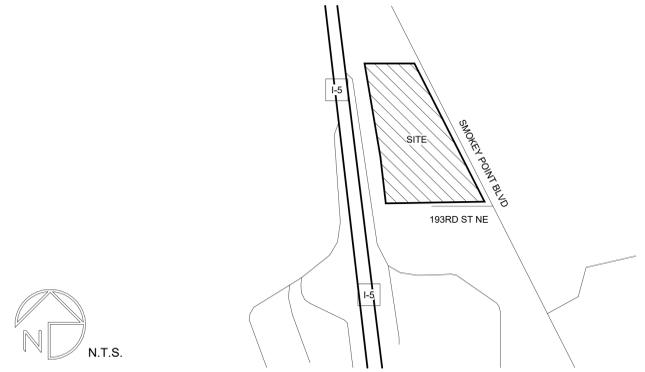
**SURVEY**

T TOPGRAPHICAL SURVEY (TREE SURVEY)

**LANDSCAPE**

L-1 LANDSCAPE PLAN  
L-2 LANDSCAPE PLAN

VICINITY MAP



**ARCHITECTS CERTIFICATION**  
I have reviewed the development guidelines AMC 20.110 for mixed-use development in the City of Arlington, WA. It is my professional belief that the Smokey Point Ridge Mixed Use project complies with development and design regulations established in AMC 20.110 and the Smokey Point Ridge project provides for the creation of quality places that will provide an interesting, walkable neighborhood, while preserving the city's small-town feel.

*Carl F. Pirscher*  
CARL F. PIRSCHER, AIA, LEED AP  
REGISTERED ARCHITECT



MARK	DATE	COMMENTS
	03-27-2024	LANDSCAPE/ENDING SITE PLAN

DRAWN: M  
CHECK: CARL F. PIRSCHER  
JOB # 22007

**SMOKEY POINT RIDGE MIXED USE**  
19402 SMOKEY POINT BLVD,  
ARLINGTON, WA 98223-8267  
DESIGN COVERSHEET  
CLIENT: PEAK TO PEAK LLC



SHEET:

D101

SITE LEGEND	
	LANDSCAPING
	EV CHARGER
	SITE LIGHTING POLE, SEE LIGHTING PLAN FOR MORE INFO

BICYCLE PARKING REQUIREMENTS	
COMMERCIAL =	84 OFF STREET AUTO PARKING x 20%
TOTAL REQ'D =	17 SPACES
PROVIDED =	20
RESIDENTIAL = (3 BED x 46 UNITS) / 4 = 35 SPACES (2 BED x 16 UNITS / 4 = 8 SPACES)	
TOTAL REQ'D =	43 SPACES
PROVIDED =	62 BIKE SPACES (1 IN EACH TOWNHOME GARAGE)

SITE KEYNOTES - OVERALL	
1	PROPOSED TRASH ENCLOSURE LOCATION, SEE DETAIL 1 & 2 / A103
2	5' WIDE PEDESTRIAN CROSSWALK, SEE DTL 4 ON A103
3	5' HIGH 4 RAIL CONCRETE FENCING ALONG REAR PROPERTY LINE, SEE DTL 8 ON A103
4	4' HIGH 3 RAIL CONCRETE FENCING ALONG SIDE PROPERTY LINES, SEE DTL 3 ON A103
5	LIFT STATION / ELECTRICAL STRUCTURE TO BE SUBMITTED SEPARATELY
6	SITE LIGHTING POLE AND BASE, TYP. SEE DTL 5 & 6 ON A103. SEE LIGHTING PLAN FOR ADDTL. INFO.
7	ACCESSIBLE PARKING, SEE DETAILS ON ADA SITE DETAIL SHEET
8	DUAL EV CHARGING STATION
9	EXISTING HOUSE TO BE DEMOLISHED
10	PROPOSED ACCESS DRIVEWAY
11	STANDARD STALL, TYP (9' x 19')
12	COMPACT STALL, TYP (8' x 15')
13	BIKE RACK W/ CONC PAD, TYP
14	PROVIDE BIKE HANGER RACK IN EACH TOWNHOME GARAGE, TYP
15	ARCHAEOLOGICAL FIND, REFER TO ARCHAEOLOGICAL REPORT FOR MORE INFO
16	LANDSCAPING, TYP. SEE LSCLAPE PLAN FOR MORE INFO

INTERSTATE 5



**DESIGN NOTES FOR OVERALL SITE PLAN:**  
**Zoning: Commercial Corridor**  
**Transect: T4- Flex**  
**Place Type: Mixed Use Neighborhood Corridor**

- The building forms shown on this site plan include a range of footprints with an emphasis on creating a commercial mixed-use frontage of varying sizes along the Smokey Point Boulevard arterial. Setbacks are minimized with all first floors flush with the public sidewalk. The structures are two (2) and three (3) stories in height and are designed to offer opportunities for a mix of uses including general Use Vertical and horizontal mixed use: retail, commercial, and residential uses on any floor including some light industrial to reinforce walkable neighborhoods and to provide a mix of uses on the ground floor, including residential.
- The "main street" mix of medium density building types and forms decrease in size and intensity of use toward the outer western boundary of the site. Predominate Land Uses: A mix of uses to A mix of uses to transition from the higher intensity commercial and high density residential along the center's main street core to more moderate density and moderate volume residential uses with walkable trails, recreational activities, accessible sidewalks, residential streets, and service alleys.
- The proposed project provides a variety of potential housing choices within the Neighborhood Corridor, that integrates appropriate small to medium building volumes, medium density building types, such as duplexes and small multiplex commercial buildings. The potential choices include three-story live/work style townhomes, two story potential live/work style townhomes and two-story loft style commercial structures of varying footprints that can support apartment loft spaces.

**1 SITE PLAN**  
**1" = 40'-0"**

**GENERAL NOTES:**  
 NO EXISTING OR PROPOSED ENVIRONMENTAL CONDITIONS TO NOTE.  
 NO DOCUMENTED HISTORIC SITE TO NOTE, OTHER THAN THE ARCHAEOLOGICAL FIND NOTED ABOVE.  
 REFER TO CIVIL PLANS FOR EXISTING AND PROPOSED UNDERGROUND UTILITIES.

ELECTRIC VEHICLE CHARGING INFRASTRUCTURE PER WAC-51-50-4029		
REQUIRED	EV CHARGING STATIONS = 10% OF TOTAL STALLS (EXCLUDING TOWNHOMES) = 178 x 10% = 18 FUTURE EV CHARGING STATIONS = 10% OF TOTAL STALLS (EXCLUDING TOWNHOMES) = 178 x 10% = 18	
PROVIDED	EV CHARGING STATIONS	FUTURE EV CHARGING STATIONS
SURFACE PARKING LOTS (R-3 TOWNHOMES EXCLUDED)	(9) DUAL CHARGERS = 18 STATIONS	(9) DUAL CHARGERS = 18 STATIONS
TOTAL	18 EV STATIONS PROVIDED	18 FUTURE EV STATIONS PROVIDED



MARK	DATE	COMMENTS
	3-07-2024	PERMIT SUBMITTAL

DRAWN: CARL PIRSCHER  
 CHECK: CARL F. PIRSCHER  
 JOB #: 22007

**SMOKEY POINT-OVERALL SITE PLAN**  
 19402 Smokey Point Blvd  
 Arlington, WA 98223-8267  
**SITE PLAN-DESIGN**  
 CLIENT: PEAK TO PEAK LLC



SHEET:  
**D102**



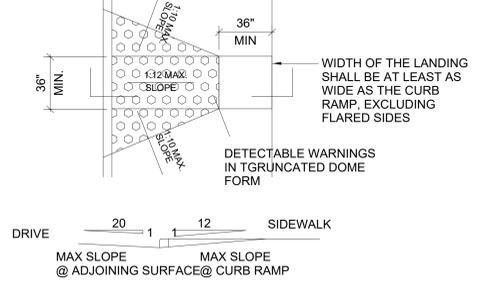
**NOTES:**

- CROSS SLOPE OF RAMP RUNS SHALL NOT BE STEEPER THAN 1:48
- LANDINGS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER.
- FLOOR SURFACES SHALL BE STABLE, FIRM & SLIP RESISTANT
- CURB RAMPS & THE FLARED SIDES OF CURB RAMPS SHALL NOT PROJECT INTO VEHICULAR INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES.
- CURB RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
- CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES
- IN ALTERATIONS, WHERE THERE IS NO LANDING AT THE TOP OF THE RAMP, CURB FLARES SHALL BE PROVIDED AT 1:12 MIN.
- HANDRAILS ARE NOT REQUIRED AT CURB RAMPS
- DIAGONAL OR CORNER-TYPE RAMPS WITH RETURNED CURBS OR OTHER WELL DEFINED EDGES SHALL HAVE THE EDGES PARALLEL TO THE DIRECTION OF PEDESTRIAN FLOW. THE BOTTOMS OF DIAGONAL RAMPS SHALL HAVE 48" MIN CLEAR SPACE OUTSIDE OF ACTIVE TRAFFIC LANES OF THE ROADWAY.
- MARKED CROSSINGS THAT ARE RAISED TO THE SAME LEVEL AS THE ADJOINING SIDEWALK SHALL BE PRECEDED BY A 24" DEEP DETECTABLE WARNING EXTENDING THE FULL WIDTH OF THE MARKED CROSSING.

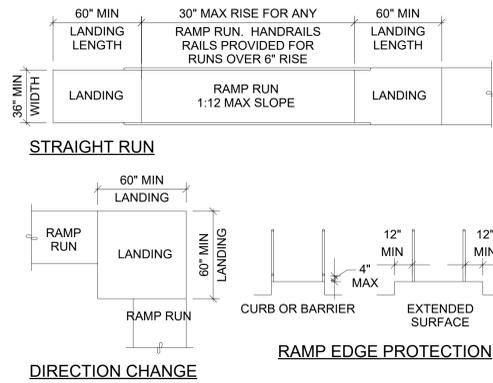
**7 CURB RAMP NOTES**  
12" = 1'-0"

**NOTE:**

- DETECTABLE WARNINGS (TRUNCATED DOME) SHALL BE PROVIDED WHERE THE ROUTE OF TRAVEL LEADS INTO A VEHICULAR AREA. THEY SHALL BE 24" MIN IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE.
- TRUNCATED DOME ARE REQUIRED FOR ALL TRANSITIONAL SLOPES FOR SIDEWALKS TO DRIVING AREAS IN THE PARKING LOT AND THROUGHOUT THE ACCESSIBLE ROUTE(S) OF TRAVEL
- THE DETECTABLE WARNING (TRUNCATED DOME) SHALL BE LOCATED SO THE EDGE NEAREST THE CURB LINE IS 6" TO 8" FROM THE CURB LINE



**8 CURB RAMPS**  
12" = 1'-0"

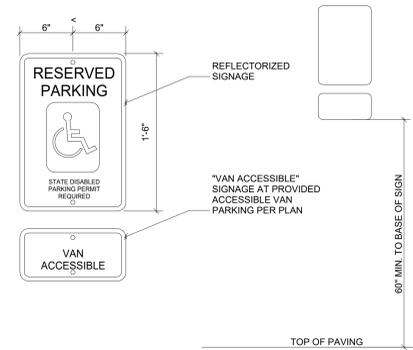


**9 RAMPS**  
12" = 1'-0"

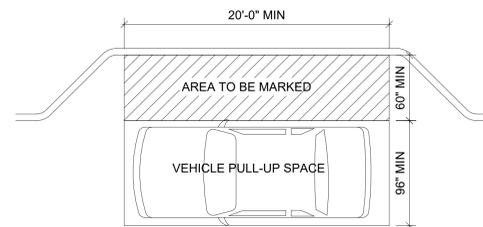
**PARKING NOTES:**

- ACCESS AISLES SHALL ADJOIN AN ACCESSIBLE ROUTE.
- ACCESS AISLES SHALL NOT OVERLAP WITH THE VEHICULAR WAY
- ACCESS AISLES SHALL BE MARKED TO DISCOURAGE PARKING
- WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR AISLE.
- PARKING SPACES & ACCESS AISLES SHALL COMPLY WITH TYPICAL ACCESSIBLE FLOOR SURFACE REQUIREMENTS (SEE GENERAL ACCESSIBLE NOTES & DETAILS) & HAVE SURFACE SLOPES NOT STEEPER THAN 1:48.
- ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.
- PARKING SPACES FOR VANS, ACCESS AISLES SERVING THEM, & VEHICULAR ROUTES FROM AN ENTRANCE TO THE VAN PARKING SPACES, & FROM THE VAN PARKING SPACES TO A VEHICULAR EXIST SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF 98" MINIMUM. (114" MIN AT PASSENGER LOADING ZONES.)
- PARKING SPACES & ACCESS AISLES SHALL BE DESIGNED SO THAT CARS AND VANS, WHEN PARKED, CANNOT OBSTRUCT THE REQUIRED CLEAR WIDTH OF ADJACENT ACCESSIBLE ROUTES.
- WHERE ACCESSIBLE PARKING SPACES ARE REQUIRED TO BE IDENTIFIED BY SIGNS, THE SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN THE DESIGNATION "VAN ACCESSIBLE." SUCH SIGNS SHALL BE MOUNTED 60" MIN ABOVE THE PARKING SPACE TO THE BASE OF THE SIGN. SEE DETAIL 11 ON SHEET A9.02.

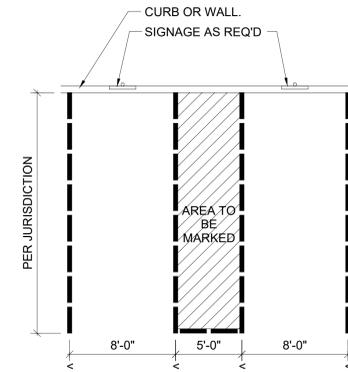
**4 ACCESSIBLE PARKING NOTES**  
12" = 1'-0"



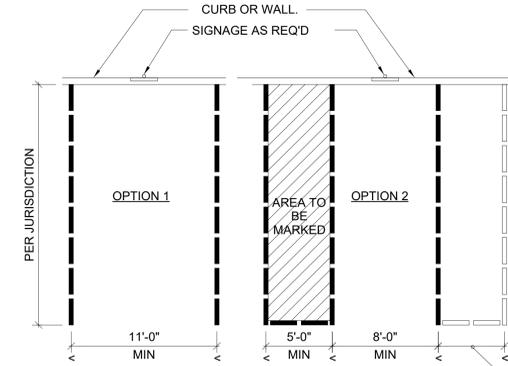
**5 ACCESSIBLE PARKING SIGNS**  
12" = 1'-0"



**6 ACCSSESIBLE PARKING 4**  
12" = 1'-0"

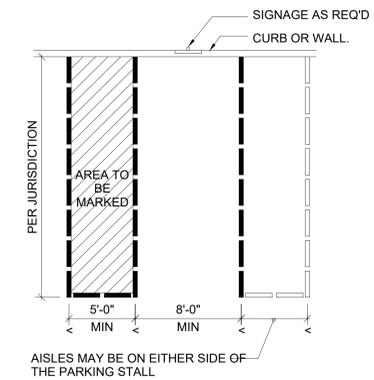


**1 ACCESSIBLE PARKING**  
12" = 1'-0"



AISLES MAY BE ON EITHER SIDE OF THE PARKING STALL. VAN PARKING SPACES THAT ARE ANGLED SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE SPACE.

**2 ACCESSIBLE PARKING 2**  
12" = 1'-0"



AISLES MAY BE ON EITHER SIDE OF THE PARKING STALL

**3 ACCESSIBLE PARKING 3**  
12" = 1'-0"



COMMENTS	PERMIT SUBMITTAL
DATE	3-01-2024
MARK	
DRAWN:	Author
CHECK:	CARL F. PIRSCHER
JOB #	22007

**SMOKEY POINT-OVERALL SITE PLAN**

19402 Smokey Point Blvd  
Arlington, WA 98223-8267  
SITE ADA DETAILS  
CLIENT: PEAK TO PEAK LLC



SHEET:

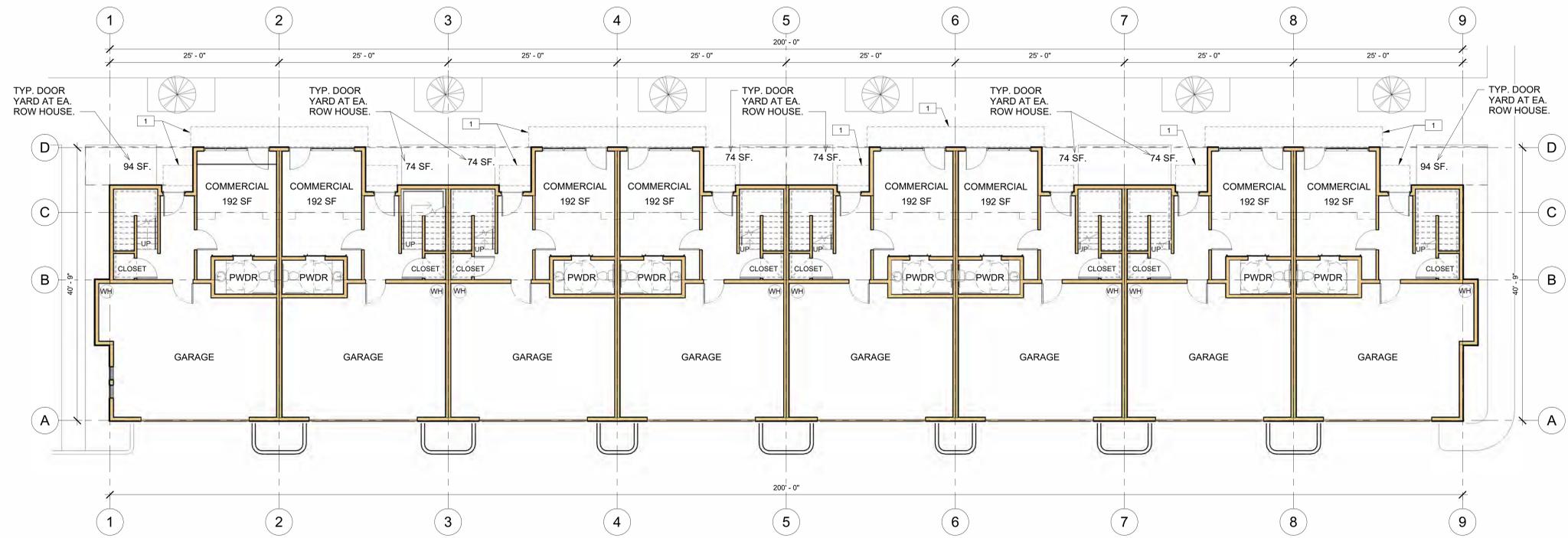
D104





MARK	DATE	COMMENTS
XX-XX-XXXX		PERMIT SUBMITTAL

DRAWN: Author  
 CHECK: CARL F. PIRSCHER  
 JOB #: 22007



**1 DESIGN 1ST FLOOR - LIVE/ WORK ROW HOUSES**  
 1/8" = 1'-0"

7,555 GSF

- DESIGN NOTES FOR ROW HOUSE - BUILDING B:**  
 Zoning: Commercial Corridor  
 Transect: T4- Flex  
 Place Type: Mixed Use Neighborhood Corridor
- The Row House/Townhouse building type this project proposes is a medium sized attached structure that consists of 8 Row Houses placed side by side. There are two duplicate 8-unit three-story structures proposed. This type of structure serves as a functional and visual transition from a primarily single-family townhome neighborhood into a neighborhood main street alignment.
  - The proposed row houses that front Smokey Point Boulevard offer a unique "porch style" of both public and private entry. The entry to the front extension of work/commercial space has a covered entry accessed directly from the public sidewalk. The smaller covered entry to the more residential spaces is setback from the sidewalk and is set off by a private sidewalk and flanking landscaping.
  - The live/work row house townhomes have a scale and form that mimics the predominant architectural forms in the immediate neighborhood. Most of the building forms near the subject site are low scale, single family residences of muted colors with gable and hip roof designs. The row house structures proposed display a classic and high-quality exterior material palette of brick, vertical and horizontal wood siding, board and batten siding, wood trimmed windows and gable roof forms. The architectural style is a northwest contemporary style with a muted but polychromatic color palette. The doors and windows are of residential character and size and trimmed in wood. The row house commercial extension explores the utilization of a commercial storefront entry system to emphasize the street frontage business connection.
  - The row house design shows a high degree of façade modulation on all 4 sides off the structure. Exterior materials, and building colors, building details and proportions on all sides of the structure ensure a "four-sided" quality to building. The building is also "stepped" in floor plan further enhancing the roof and building form modulation and massing. This is also true for many of the other structures associated with this project. Architectural details and colors shall be consistent on all building walls.
  - All mechanical Equipment will be screened from public view. And will be located on the flat roof over the commercial/workspace and behind the building parapet.

FLR 1:	7,555 GSF
FLR 2:	5,662 GSF
FLR 3:	5,688 GSF
<b>BLDG TOTAL:</b>	<b>18,905 GSF</b>

KEYNOTES- FIRST FLOOR	
1	OUTLINE OF METAL CANOPIES ABOVE.

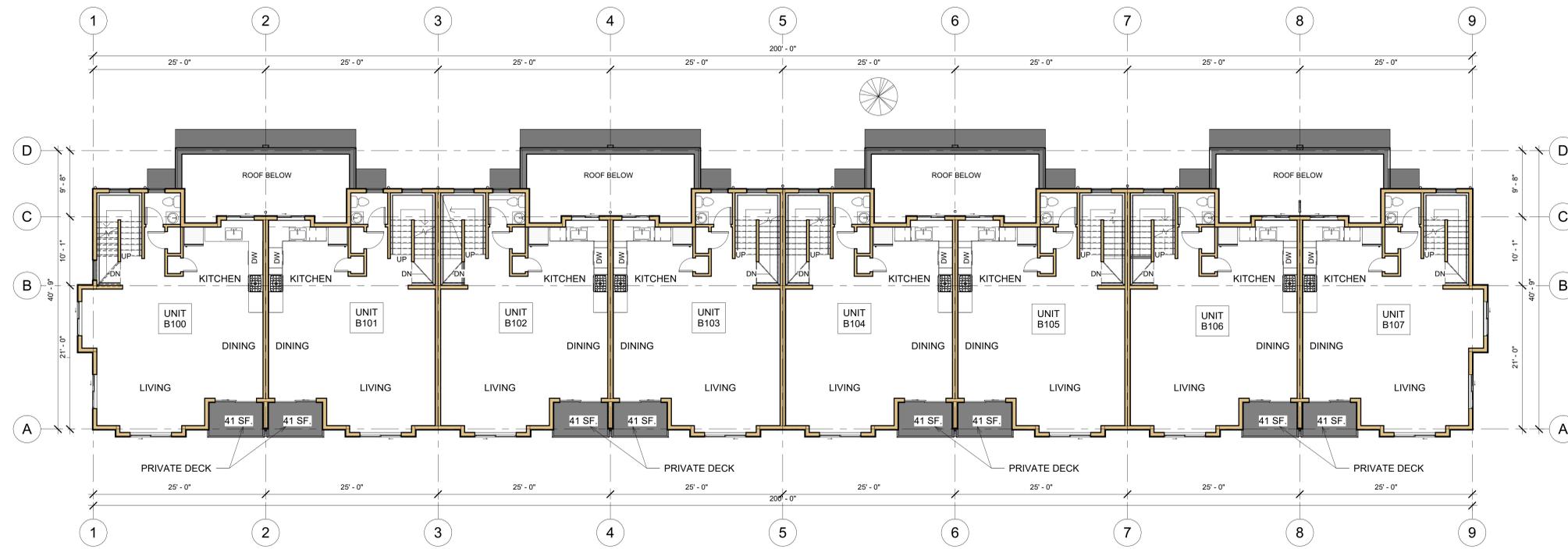
**SMOKEY POINT RIDGE MIXED USE**  
 19402 SMOKEY POINT BLVD,  
 ARLINGTON, WA 98223-8267  
 FIRST FLOOR PLAN-B BUILDING  
 CLIENT: PEAK TO PEAK LLC

**PIRSCHER ARCHITECTS**  
 CDA + Pirscher Architects  
 23114 100th Ave W  
 Edmonds, WA 98020  
 (206) 368-9668  
 CONTACT: CARL F. PIRSCHER AIA  
 206-853-1904

SHEET:  
**D201-B**



COMMENTS	
DATE	PERMIT SUBMITTAL
MARK	
DRAWN:	Author
CHECK:	CARL F. PIRSCHER
JOB #	22007



**1** DESIGN 2ND FLOOR - LIVE/ WORK ROW HOUSES  
 1/8" = 1'-0"  
 5,662 GSF

- DESIGN NOTES FOR ROW HOUSE – BUILDING B:**  
**Zoning:** Commercial Corridor  
**Transsect:** T4- Flex  
**Place Type:** Mixed Use Neighborhood Corridor
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  - All mechanical Equipment will be screened from public view. And will be located on the flat roof over the commercial/workspace and behind the building parapet.

FLR 1:	7,555 GSF
FLR 2:	5,662 GSF
<b>FLR 3:</b>	<b>5,688 GSF</b>
<b>BLDG TOTAL:</b>	<b>18,905 GSF</b>

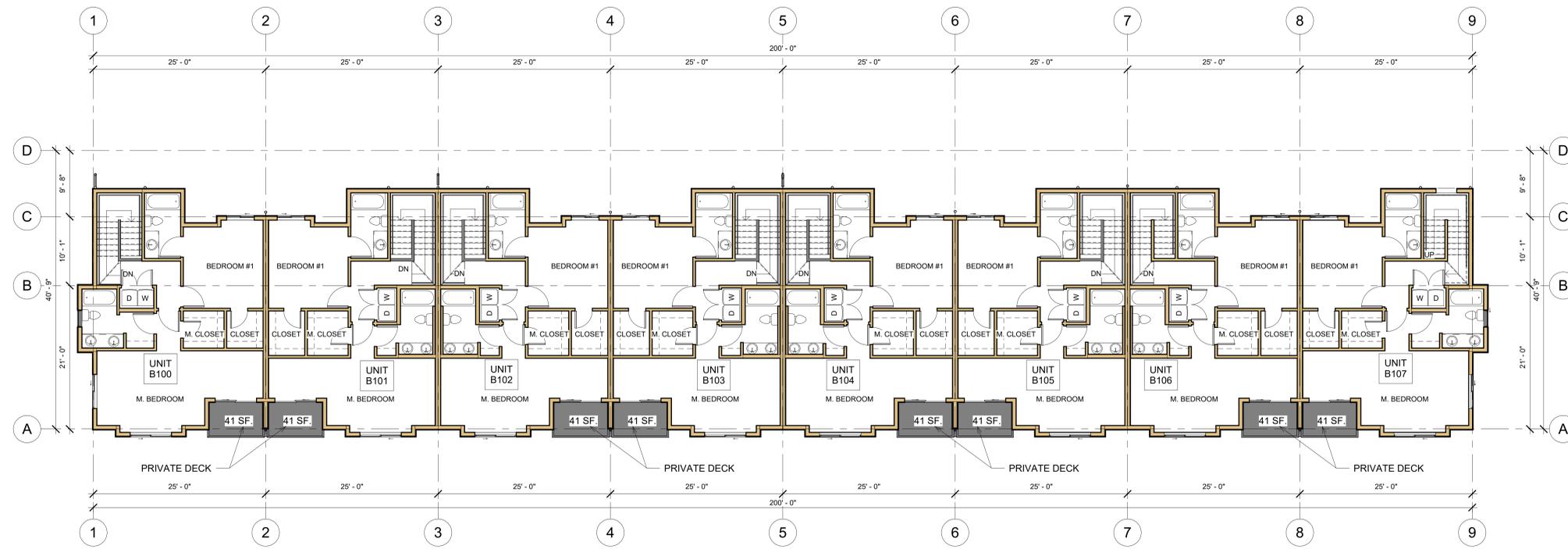
**SMOKEY POINT RIDGE MIXED USE**  
 19402 SMOKEY POINT BLVD,  
 ARLINGTON, WA 98223-8267  
 SECOND FLOOR PLAN-B BUILDING  
 CLIENT: PEAK TO PEAK LLC





MARK	DATE	COMMENTS
XX-XX-XXXX		PERMIT SUBMITTAL

DRAWN: Author  
 CHECK: CARL F. PIRSCHER  
 JOB #: 22007



5,688 GSF

**DESIGN 3RD FLOOR - LIVE/WORK ROW HOUSES**  
 1/8" = 1'-0"

- DESIGN NOTES FOR ROW HOUSE - BUILDING B:**  
 Zoning: Commercial Corridor  
 Transect: T4-Flex  
 Place Type: Mixed Use Neighborhood Corridor
- The Row House/Townhouse building type this project proposes is a medium sized attached structure that consists of 8 Row Houses placed side by side. There are two duplicate 8-unit three-story structures proposed. This type of structure serves as a functional and visual transition from a primarily single-family townhome neighborhood into a neighborhood main street alignment.
  - The proposed row houses that front Smokey Point Boulevard offer a unique "porch style" of both public and private entry. The entry to the front extension of work/commercial space has a covered entry accessed directly from the public sidewalk. The smaller covered entry to the more residential spaces is setback from the sidewalk and is set off by a private sidewalk and flanking landscaping.
  - The live/work row house townhomes have a scale and form that mimics the predominant architectural forms in the immediate neighborhood. Most of the building forms near the subject site are low scale, single family residences of muted colors with gable and hip roof designs. The row house structures proposed display a classic and high-quality exterior material palette of brick, vertical and horizontal wood siding, board and batten siding, wood trimmed windows and gable roof forms. The architectural style is a northwest contemporary style with a muted but polychromatic color palette. The doors and windows are of residential character and size and trimmed in wood. The row house commercial extension explores the utilization of a commercial storefront entry system to emphasize the street frontage business connection.
  - The row house design shows a high degree of facade modulation on all 4 sides off the structure. Exterior materials, and building colors, building details and proportions on all sides of the structure ensure a "four-sided" quality to building. The building is also "stepped" in floor plan further enhancing the roof and building form modulation and massing. This is also true for many of the other structures associated with this project. Architectural details and colors shall be consistent on all building walls.
  - All mechanical Equipment will be screened from public view. And will be located on the flat roof over the commercial/workspace and behind the building parapet.

FLR 1:	7,555 GSF
FLR 2:	5,662 GSF
<b>FLR 3:</b>	<b>5,688 GSF</b>
<b>BLDG TOTAL:</b>	<b>18,905 GSF</b>

**SMOKEY POINT RIDGE MIXED USE**  
 19402 SMOKEY POINT BLVD,  
 ARLINGTON, WA 98223-8267  
 THIRD FLOOR PLAN-B BUILDING  
 CLIENT: PEAK TO PEAK LLC



SHEET:  
**D203-B**

# CITY OF ARLINGTON SMOKEY POINT RIDGE

FILE NO: XXX

SECTION, TOWNSHIP, & RANGE:  
NW 1/4, SE 1/4, SEC.17, T.31N., R.5E., W.M.



1 DESIGN EAST FRONT  
1/8" = 1'-0"



2 3D FRONT

**DESIGN NOTES FOR ROW HOUSE - BUILDING B:**  
Zoning: Commercial Corridor  
Transect: T4-Flex  
Place Type: Mixed Use Neighborhood Corridor

- The Row House/Townhouse building type this project proposes is a medium sized attached structure that consists of 8 Row Houses placed side by side. There are two duplicate 8-unit three-story structures proposed. This type of structure serves as a functional and visual transition from a primarily single-family townhome neighborhood into a neighborhood main street alignment.
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- All mechanical Equipment will be screened from public view. And will be located on the flat roof over the commercial/workspace and behind the building parapet.

**EXTERIOR FINISH SCHEDULE**

TAG	MATERIAL	MANUFACTURER	COLOR	COMMENTS
1	ARCH. GRADE ASPHALT FIBERGLASS ROOFING	GAF	TIMBERLINE HDZ-FOX HOLLOW GRAY	
2	FIBER CEMENT LAP SIDING	JAMES HARDIE OR SIM	BEM-MONROE BISQUE H-C26	
3	METAL SIDING	WESTERN STATES METAL ROOFING	GRAY WOOD	T-8 PLANKWALL WOOD
4	FIN WALL W/BOARD AND BATTEN	JAMES HARDIE OR SIM	BEM-JACKSON TAN HC-46	
5	FIBER CEMENT BOARD AND BATTEN	JAMES HARDIE OR SIM	BEM-JACKSON TAN HC-46	
6	THIN BRICK SIDING	BRICKIT	YORKSHIRE WIRECUT	
7	CLEAR ANODIZED STOREFRONT SYSTEM	KAWNEER	NATURAL	
8	2X8 WOOD FASCIA	NA	BEM-AMHERST GRAY HC-167	
9	2X10 WOOD FASCIA	NA	BEM-AMHERST GRAY HC-167	
10	DOWNSPOUT	NA	MATCH WALL	
11	SCUPPER	NA	MATCH WALL	
12	COPING	NA	BEM-AMHERST GRAY HC-167	
13	CANOPY	GAF	TIMBERLINE HDZ-FOX HOLLOW GRAY	
14	GLASS RAILING	TBD	NA	
15	VINYL WINDOW	TBD	PUTTY	

**SMOKEY POINT RIDGE MIXED USE**  
19402 SMOKEY POINT BLVD,  
ARLINGTON, WA 98223-8267  
ELEVATIONS-B BUILDING  
CLIENT: PEAK TO PEAK LLC

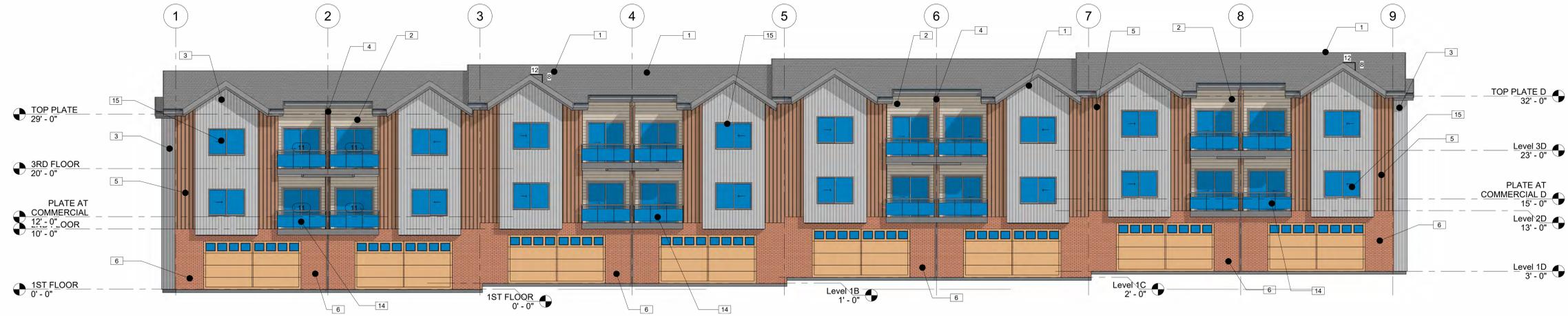
**PIRSCHER ARCHITECTS**  
CDA + Pirscher Architects  
23114 100th Ave W  
Edmonds, WA 98020  
(206) 368-9668  
CONTACT: CARL F. PIRSCHER AIA  
206-853-1904

SHEET:  
**D501-B**

# CITY OF ARLINGTON SMOKEY POINT RIDGE

FILE NO: XXX

SECTION, TOWNSHIP, & RANGE:  
NW 1/4, SE 1/4, SEC.17, T.31N., R.5E., W.M.



1 DESIGN WEST BACK  
1/8" = 1'-0"



2 3D BACK

EXTERIOR FINISH SCHEDULE				
TAG	MATERIAL	MANUFACTURER	COLOR	COMMENTS
1	ARCH. GRADE ASPHALT FIBERGLASS ROOFING	GAF	TIMBERLINE HDZ-FOX HOLLOW GRAY	
2	FIBER CEMENT LAP SIDING	JAMES HARDIE OR SIM	BEM-MONROE BISQUE HC-26	
3	METAL SIDING	WESTERN STATES METAL ROOFING	GRAY WOOD	T-8 PLANKWALL WOOD
4	FIN WALL W/BOARD AND BATTEN	JAMES HARDIE OR SIM	BEM-JACKSON TAN HC-46	
5	FIBER CEMENT BOARD AND BATTEN	JAMES HARDIE OR SIM	BEM-JACKSON TAN HC-46	
6	THIN BRICK SIDING	BRICKIT	YORKSHIRE WIRECUT	
7	CLEAR ANODIZED STOREFRONT SYSTEM	KAWNEER	NATURAL	
8	2X8 WOOD FASCIA	NA	BEM-AMHERST GRAY HC-167	
9	2X10 WOOD FASCIA	NA	BEM-AMHERST GRAY HC-167	
10	DOWNSPOUT	NA	MATCH WALL	
11	SCUPPER	NA	MATCH WALL	
12	COPING	NA	BEM-AMHERST GRAY HC-167	
13	CANOPY	GAF	TIMBERLINE HDZ-FOX HOLLOW GRAY	
14	GLASS RAILING	TBD	NA	
15	VINYL WINDOW	TBD	PUTTY	

**DESIGN NOTES FOR ROW HOUSE - BUILDING B:**  
Zoning: Commercial Corridor  
Transect: T4- Flex  
Place Type: Mixed Use Neighborhood Corridor

- The Row House/Townhouse building type this project proposes is a medium sized attached structure that consists of 8 Row Houses placed side by side. There are two duplicate 3-unit three-story structures proposed. This type of structure serves as a functional and visual transition from a primarily single-family townhome neighborhood into a neighborhood main street alignment.
- The proposed row houses that front Smokey Point Boulevard offer a unique "porch style" of both public and private entry. The entry to the front extension of work/commercial space has a covered entry accessed directly from the public sidewalk. The smaller covered entry to the more residential spaces is setback from the sidewalk and is set off by a private sidewalk and flanking landscaping.
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DESIGN NOTES  
3/16" = 1'-0"

DATE	COMMENTS
XX-XX-XXXX	PERMIT SUBMITTAL

DRAWN: Author  
CHECK: CARL F. PIRSCHER  
JOB # 22007

**SMOKEY POINT RIDGE MIXED USE**  
19402 SMOKEY POINT BLVD,  
ARLINGTON, WA 98223-8267  
ELEVATIONS - B BUILDING  
CLIENT: PEAK TO PEAK LLC

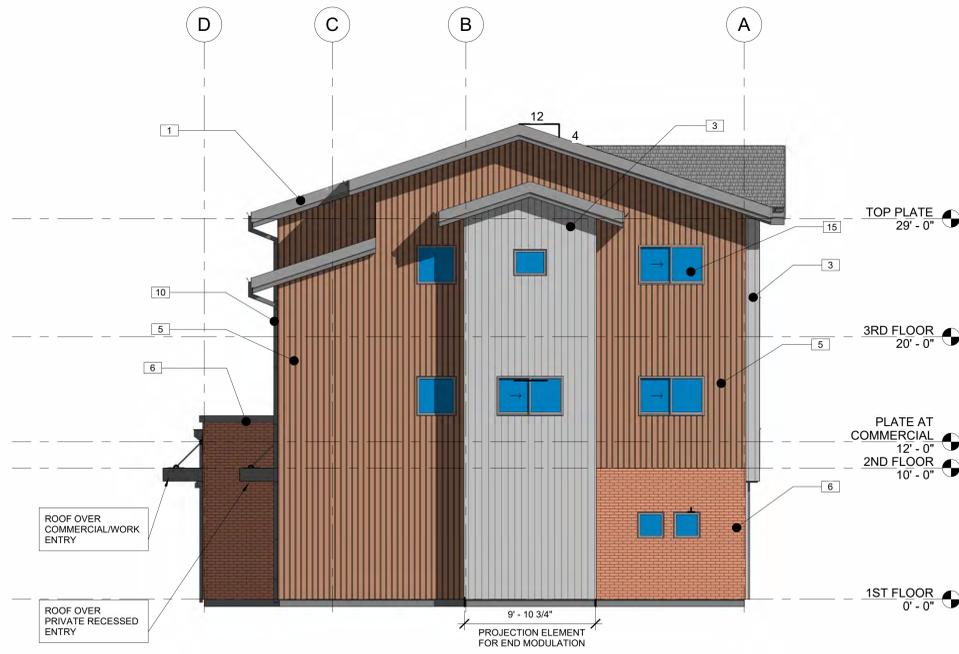
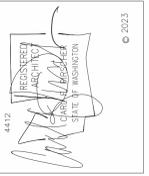
**PIRSCHER ARCHITECTS**  
CDA + Pirscher Architects  
2314 100th Ave W  
Edmonds, WA 98020  
(206) 368-9668  
CONTACT: CARL F. PIRSCHER AIA  
206-853-1904

SHEET:  
**D502-B**

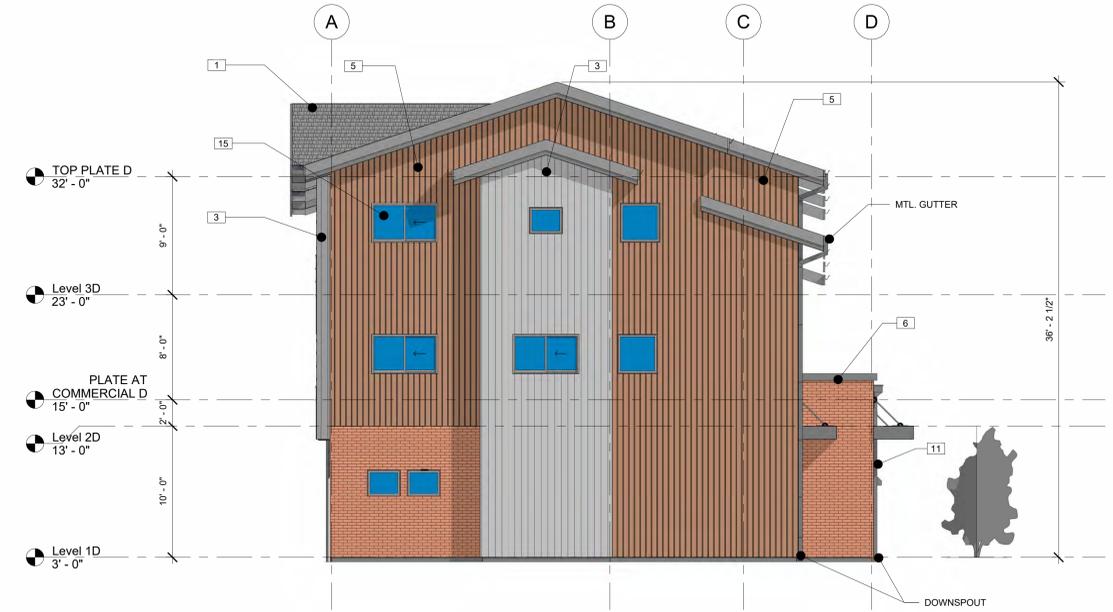
# CITY OF ARLINGTON SMOKEY POINT RIDGE

FILE NO: XXX

SECTION, TOWNSHIP, & RANGE:  
NW 1/4, SE 1/4, SEC.17, T.31N., R.5E., W.M.



1 DESIGN NORTH SIDE  
3/16" = 1'-0"



2 DESIGN SOUTH SIDE  
3/16" = 1'-0"

**DESIGN NOTES FOR ROW HOUSE – BUILDING B:**

**Zoning: Commercial Corridor**

**Transect: T4-Flex**

**Place Type: Mixed Use Neighborhood Corridor**

- The Row House/Townhouse building type this project proposes is a medium sized attached structure that consists of 8 Row Houses placed side by side. There are two duplicate 8-unit three-story structures proposed. This type of structure serves as a functional and visual transition from a primarily single-family townhome neighborhood into a neighborhood main street alignment.
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**EXTERIOR FINISH SCHEDULE**

TAG	MATERIAL	MANUFACTURER	COLOR	COMMENTS
1	ARCH. GRADE ASPHALT FIBERGLASS ROOFING	GAF	TIMBERLINE HDZ-FOX HOLLOW GRAY	
2	FIBER CEMENT LAP SIDING	JAMES HARDIE OR SIM	BEM-MONROE BISQUE H-C26	
3	METAL SIDING	WESTERN STATES METAL ROOFING	GRAY WOOD	T-8 PLANKWALL WOOD
4	FIN WALL W/BOARD AND BATTEN	JAMES HARDIE OR SIM	BEM-JACKSON TAN HC-46	
5	FIBER CEMENT BOARD AND BATTEN	JAMES HARDIE OR SIM	BEM-JACKSON TAN HC-46	
6	THIN BRICK SIDING	BRICKIT	YORKSHIRE WIRECUT	
7	CLEAR ANODIZED STOREFRONT SYSTEM	KAWNEER	NATURAL	
8	2X8 WOOD FASCIA	NA	BEM-AMHERST GRAY HC-167	
9	2X10 WOOD FASCIA	NA	BEM-AMHERST GRAY HC-167	
10	DOWNSPOUT	NA	MATCH WALL	
11	SCUPPER	NA	MATCH WALL	
12	COPING	NA	BEM-AMHERST GRAY HC-167	
13	CANOPY	GAF	TIMBERLINE HDZ-FOX HOLLOW GRAY	
14	GLASS RAILING	TBD	NA	
15	VINYL WINDOW	BEM-BENJAMIN MOORE	PUTTY	

MARK	DATE	COMMENTS
XX-XX-XXXX		PERMIT SUBMITTAL

DRAWN: Author  
CHECK: CARL F. PIRSCHER  
JOB # 22007

**SMOKEY POINT RIDGE MIXED USE**  
19402 SMOKEY POINT BLVD,  
ARLINGTON, WA 98223-8267  
ELEVATIONS -B BUILDING  
CLIENT: PEAK TO PEAK LLC

**PIRSCHER ARCHITECTS**  
CDA + Pirscher Architects  
2314 100th Ave W  
Edmonds, WA 98020  
(206) 368-9668  
CONTACT: CARL F. PIRSCHER AIA  
206-853-1904

SHEET:  
**D503-B**



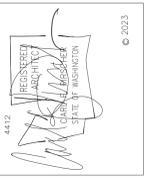




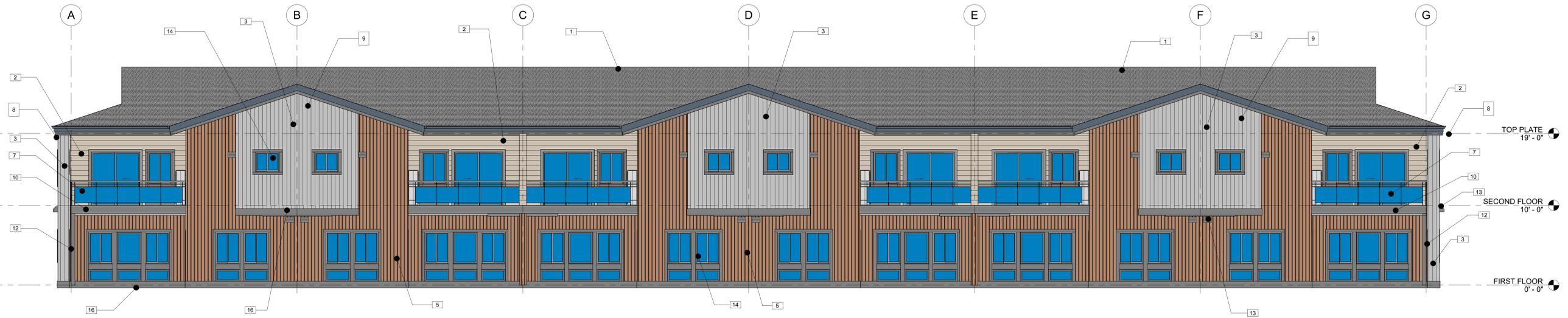
# CITY OF ARLINGTON SMOKEY POINT RIDGE

FILE NO: XXX

SECTION, TOWNSHIP, & RANGE:  
NW 1/4, SE 1/4, SEC.17, T.31N., R.5E., W.M.



COMMENTS	
DATE	XX-XX-XXXX
MARK	
DRAWN	Author
CHECK	CARL F. PIRSCHER
JOB #	Project Number



1 Design South  
3/16" = 1'-0"



2 3D SOUTH

**DESIGN NOTES FOR TOWNHOMES – BUILDING C:**  
(NOTE: BUILDING A, A FOUR UNIT, IS SIMILAR IN CONCEPT)  
Zoning: Commercial Corridor  
Transect: T4- Flex  
Place Type: Mixed Use Neighborhood Corridor

- The Building C concept is a two-story Townhouse building type. With the exception of Building A (a four-unit structure), all the proposed townhome structures are of 6-unit side by side configurations. There are seven (7) duplicate 6-unit two-story townhome structures proposed and one four (4) unit that all share identical design and exterior material characteristics. These types of structures serve as a functional and visual transition from neighborhood main street live/work and commercial frontage structures to a lower scale more intimate residential environment.
- The proposed townhome units front an internal street that links the live/work, commercial and townhome units in a circular arrangement that includes connections to park facilities, a walking trail, recreational and neighborhood gathering opportunities.
- The proposed townhomes again have a scale and form that mimics the predominant architectural forms in the immediate neighborhood as noted for Building B row-houses. The predominant roof form for the 2-story townhomes is a gabled hip sometimes called a "Dutch Hip". There are also gabled roof elements at each townhome façade that not only reflect the proportions of the rear gabled roof forms of the Building B row houses but serve to emphasize modulation elements associated with the upper story of the TH's. The townhome structures also display a classic and high-quality exterior material palette, consisting of vertical and horizontal wood siding, board and batten siding, wood trimmed windows and gable roof forms. The colors and materials are consistent and relational with the Building B exterior finishes. The architectural style is a northwest contemporary style with a muted but polychromatic color palette. The doors and windows are of residential character and size and trimmed in wood.
- The townhome design features a high degree of façade modulation on all 4 sides of the structure. Exterior materials, and building colors, building details and proportions on all sides of the structure ensure a "four-sided" quality to building. Two of the TH structures are also "stepped" in floor plan further enhancing the roof and building form modulation and massing. This is also true for many of the other structures associated with this project. Architectural details and colors shall be consistent on all building walls.
- All mechanical Equipment will be screened from public view and will be located at the rear covered patio of the individual units.

TAG	MATERIAL	MANUFACTURER	COLOR	COMMENTS
1	ARCH. GRADE ASPHALT FIBERGLASS ROOFING	GAF	TIMBERLINE HDZ-FOX HOLLOW GRAY	
2	FIBER CEMENT LAP SIDING	JAMES HARDIE OR SIM	BEM-MONROE BISQUE HC26	
3	METAL SIDING	WESTERN STATES METAL ROOFING	GRAY WOOD	T-8 PLANKWALL WOOD
4	FIN WALL W/BOARD AND BATTEN	JAMES HARDIE OR SIM	BEM-JACKSON TAN HC46	
5	FIBER CEMENT BOARD AND BATTEN	JAMES HARDIE OR SIM	BEM-JACKSON TAN HC46	
6	FIN WALL W/ LAP SIDING	JAMES HARDIE OR SIM	BEM-MONROE BISQUE HC26	
7	GLASS RAILING	NA	NA	
8	2X8 WOOD FASCIA	NA	BEM-AMHERST GRAY HC-167	
9	2X10 WOOD FASCIA	NA	BEM-AMHERST GRAY HC-167	
10	2X12 WOOD FASCIA	NA	BEM-AMHERST GRAY HC-167	
11	DOWNSPOUT	NA	MATCH WALL	
12	6X6 WOOD COLUMN	NA	BEM-AMHERST GRAY HC-167	
13	VENT CAP	NA	MATCH WALL	
14	VINYL WINDOWS	TBD	PUTTY	
15	BRACKETS	NA	BEM-AMHERST GRAY HC-167	
16	2X 8 HORIZONTAL TRIM	NA	BEM-AMHERST GRAY HC-167	
17	GARAGE DOOR WITH GLAZING	TBD	NATURAL STAIN	

**SMOKEY POINT-TOWNHOME C**  
19402 SMOKEY POINT BLVD  
ARLINGTON, WA  
ELEVATIONS-C BUILDING  
CLIENT: PEAK TO PEAK LLC

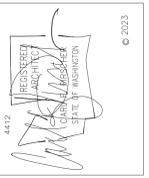


SHEET:  
**D501-C**

# CITY OF ARLINGTON SMOKEY POINT RIDGE

FILE NO: XXX

SECTION, TOWNSHIP, & RANGE:  
NW 1/4, SE 1/4, SEC.17, T.31N., R.5E., W.M.



MARK	DATE	COMMENTS
XX-XX-XXXX		PERMIT SUBMITTAL

DRAWN: \_\_\_\_\_ Author  
 CHECK: CARL F. PIRSCHER  
 JOB #: \_\_\_\_\_ Project Number



1 Design North  
3/16" = 1'-0"



2 3D NORTH

TAG	MATERIAL	MANUFACTURER	COLOR	COMMENTS
1	ARCH. GRADE ASPHALT FIBERGLASS ROOFING	GAF	TIMBERLINE HDZ-FOX HOLLOW GRAY	
2	FIBER CEMENT LAP SIDING	JAMES HARDIE OR SIM	BEM-MONROE BISQUE HC26	
3	METAL SIDING	WESTERN STATES METAL ROOFING	GRAY WOOD	T-8 PLANKWALL WOOD
4	FIN WALL W/BOARD AND BATTEN	JAMES HARDIE OR SIM	BEM-JACKSON TAN HC46	
5	FIBER CEMENT BOARD AND BATTEN	JAMES HARDIE OR SIM	BEM-JACKSON TAN HC46	
6	FIN WALL W/ LAP SIDING	JAMES HARDIE OR SIM	BEM-MONROE BISQUE HC26	
7	GLASS RAILING	NA	NA	
8	2X8 WOOD FASCIA	NA	BEM-AMHERST GRAY HC-167	
9	2X10 WOOD FASCIA	NA	BEM-AMHERST GRAY HC-167	
10	2X12 WOOD FASCIA	NA	BEM-AMHERST GRAY HC-167	
11	DOWNSPOUT	NA	MATCH WALL	
12	6X6 WOOD COLUMN	NA	BEM-AMHERST GRAY HC-167	
13	VENT CAP	NA	MATCH WALL	
14	VINYL WINDOWS	TBD	PUTTY	
15	BRACKETS	NA	BEM-AMHERST GRAY HC-167	
16	2X 8 HORIZONTAL TRIM	NA	BEM-AMHERST GRAY HC-167	
17	GARAGE DOOR WITH GLAZING	TBD	NATURAL STAIN	

**DESIGN NOTES FOR TOWNHOMES – BUILDING C:**  
(NOTE: BUILDING A, A FOUR UNIT, IS SIMILAR IN CONCEPT)  
Zoning: Commercial Corridor  
Transect: T4-Flex

**Place Type: Mixed Use Neighborhood Corridor**

- The Building C concept is a two-story Townhome building type. With the exception of Building A (a four-unit structure), all the proposed townhome structures are of 6-unit side by side configurations. There are seven (7) duplicate 6-unit two-story townhome structures proposed and one four (4) unit that all share identical design and exterior material characteristics. These types of structures serve as a functional and visual transition from neighborhood main street live /work and commercial frontage structures to a lower scale more intimate residential environment.
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**SMOKEY POINT-TOWNHOME C**  
19402 SMOKEY POINT BLVD  
ARLINGTON, WA  
ELEVATIONS-C BUILDING  
CLIENT: PEAK TO PEAK LLC



SHEET:  
**D502-C**





SITE KEYNOTES - COMM1	
1	NOT USED
2	5' WIDE PEDESTRIAN CROSSWALK, SEE DTL 4 ON A103
3	NOT USED
4	NOT USED
5	NOT USED
6	SITE LIGHTING POLE AND BASE, TYP. SEE DTL 5 & 6 ON A103. SEE LIGHTING PLAN FOR ADDTL INFO.
7	ACCESSIBLE PARKING, SEE DETAILS ON ADA SITE DETAIL SHEET
8	DUAL EV CHARGING STATION
9	NOT USED
10	NOT USED
11	STANDARD STALL, TYP (9' x 19')
12	COMPACT STALL, TYP (8' x 15')
13	BIKE RACK W/ CONC PAD, TYP
14	NOT USED
15	ARCHAEOLOGICAL FIND, REFER TO ARCHAEOLOGICAL REPORT FOR MORE INFO
16	LANDSCAPING, TYP. SEE LSCAPE PLAN FOR MORE INFO



MARK	DATE	COMMENTS
	3-07-2024	PERMIT SUBMITTAL

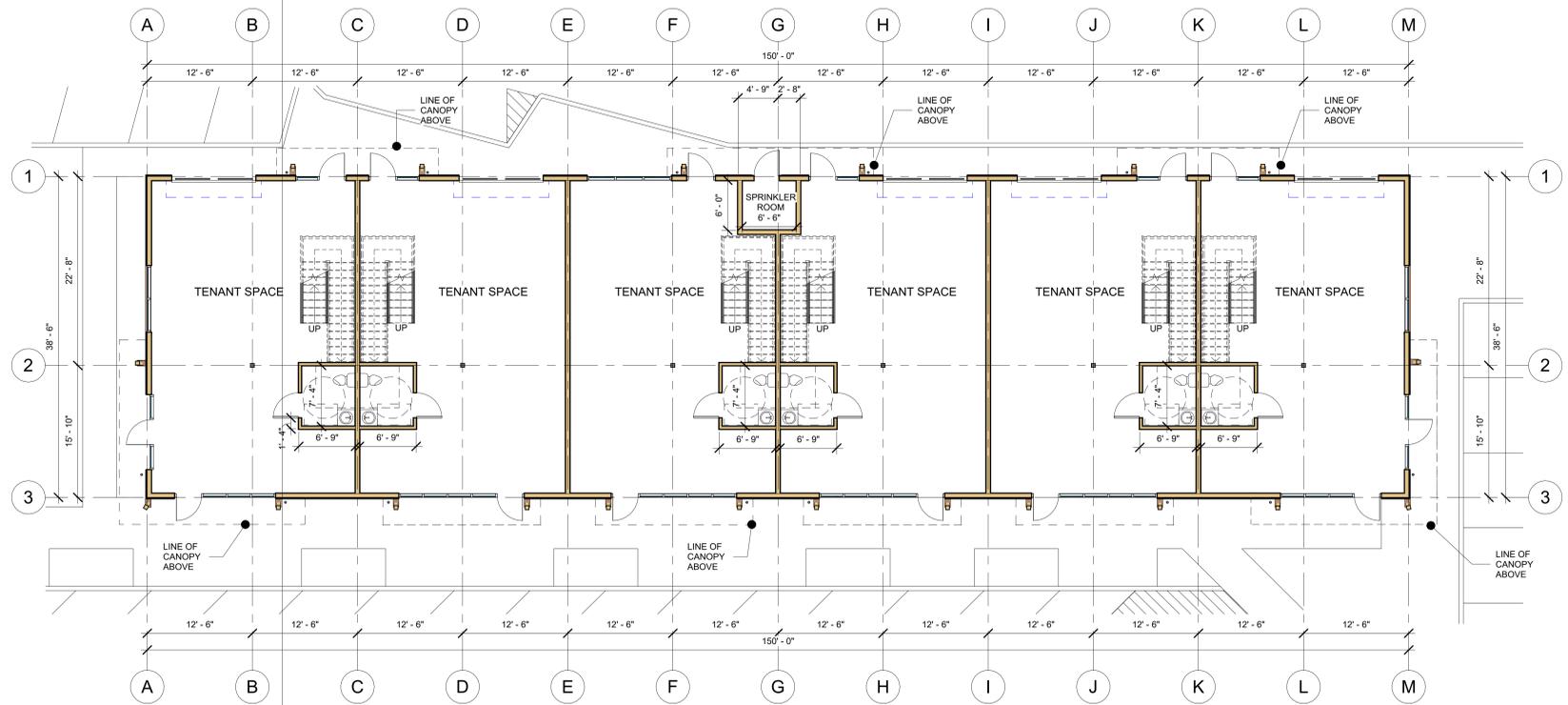
DRAWN: Author  
 CHECK: CARL F. PIRSCHER  
 JOB #: 22007

**SMOKEY POINT-OVERALL SITE PLAN**  
 19402 Smokey Point Blvd  
 Arlington, WA 98223-8267  
**ENLARGED SITE PLAN - BLDG COMM1**  
 CLIENT: PEAK TO PEAK LLC

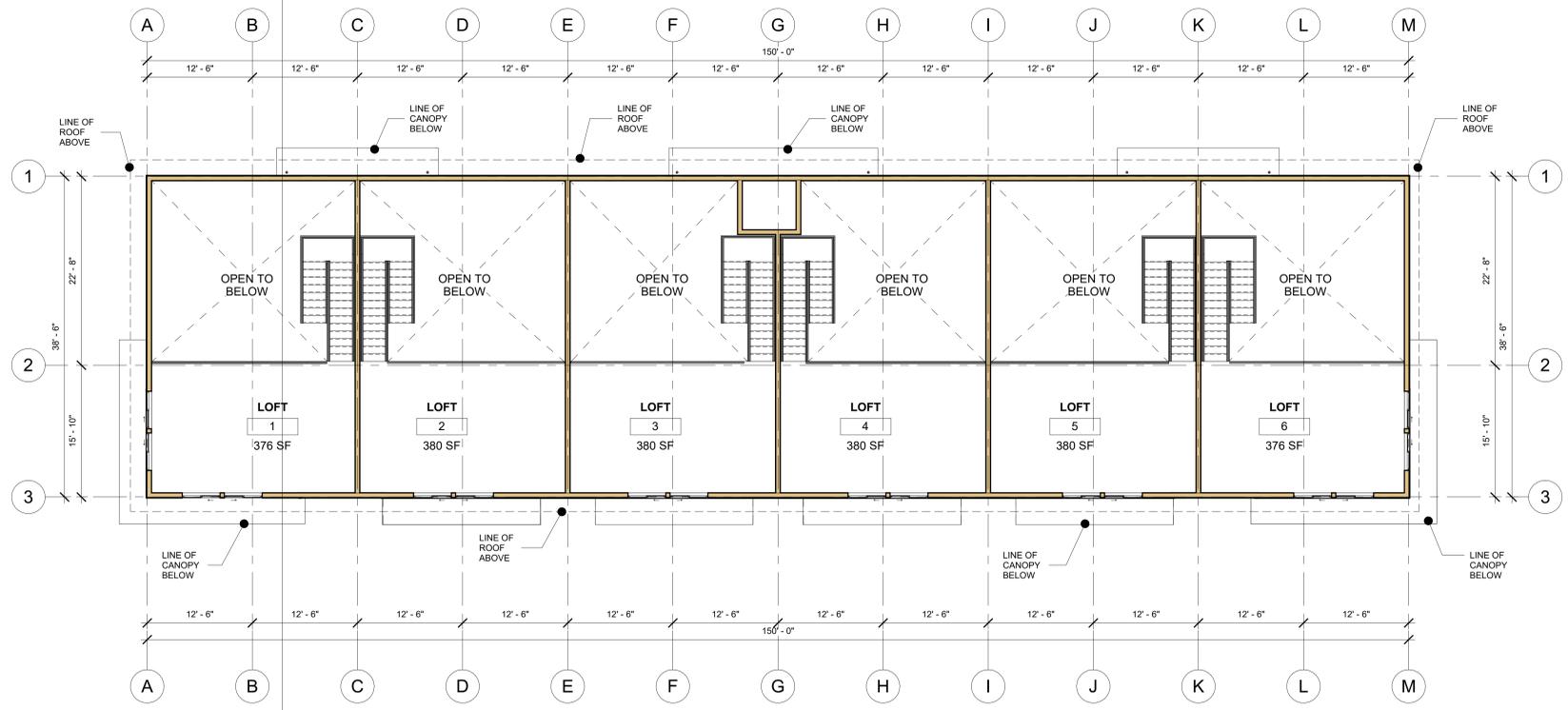
**PIRSCHER ARCHITECTS**  
 CDA + Pirscher Architects  
 2314 100th Ave W  
 Edmonds, WA 98020  
 (206) 368-9669  
 CONTACT: CARL F. PIRSCHER AIA  
 206-853-1904

1 SITE PLAN  
 1" = 10'-0"

FLR 1: 5,783 GSF  
 LOFT: 3,455 GSF  
 BLDG TOTAL: 9,328 GSF



1 1ST FLOOR  
 1/8" = 1'-0"



2 LOFT  
 1/8" = 1'-0"

**DESIGN NOTES FOR COMMERCIAL STRUCTURES:**  
 (NOTE: THERE ARE 8 COMMERCIAL BUILDINGS)  
 Zoning: Commercial Corridor  
 Transect: T4- Flex  
 Place Type: Mixed Use Neighborhood Corridor

- The commercial structures are clustered together at the northern one third of the site. There are eight (8) commercial structures proposed of varying size but all sharing a similar palette of exterior finishes. Several of the structures are oriented towards Smokey Point Blvd. and the balance of commercial structures front an internal street that links the commercial buildings to the townhome structures and rowhouse units in a circular arrangement that includes connections to park facilities, a walking trail, recreational and neighborhood gathering opportunities.
- The commercial buildings provide a functional and design departure from the more residential character of the row house live/work units and the residential townhomes. The commercial buildings are closer in scale to the 2-story residential townhomes but offer much larger contiguous floor spaces for commercial enterprise than the live/work townhomes. The commercial building heights are also designed to accommodate a 2<sup>nd</sup> floor loft that is approximately one third of the size of the commercial floor below. The loft is designed to accommodate additional commercial activities or even be built-out as a small apartment unit.
- The proposed commercial structures have a scale and form that mimics the predominant architectural forms in the immediate neighborhood as noted for Building B row-houses and townhomes. The predominant roof form for the commercial structures is a simple shed roof sloped at a 3/1 pitch and clad in standing seam metal. Additional facade modulation is provided by lower-level projecting roof canopies over storefront and entry door elements. The commercial structures also display a classic and high-quality exterior material palette, consisting of a split faced CMU wainscoting, vertical metal plank siding, fiber reinforced cement panels, and wood trimmed windows. The colors and materials are consistent and relational with the Building B exterior finishes. The architectural style is a northwest contemporary style with a muted but polychromatic color palette. The doors and windows are a mix of commercial storefront and residential character and size and trimmed in wood.
- The material palette is changed in some respects from the residential and live/work structures. The split faced CMU reflects the brick base materials of Buildings B1 and B2 but offers a little more visual "rustication". Exterior materials, and building colors, building details and proportions on all sides of the structure ensure a "four-sided" quality to the buildings. This is also true for many of the other structures associated with this project. Architectural details and colors shall be consistent on all building walls.
- All mechanical Equipment will be screened from public view and will be located at the rear of the individual units.



COMMENTS	Permit Submittal
DATE	03-10-2023
MARK	
DRAWN	Author
CHECK	CARL F. PIRSCHER
JOB #	Project Number

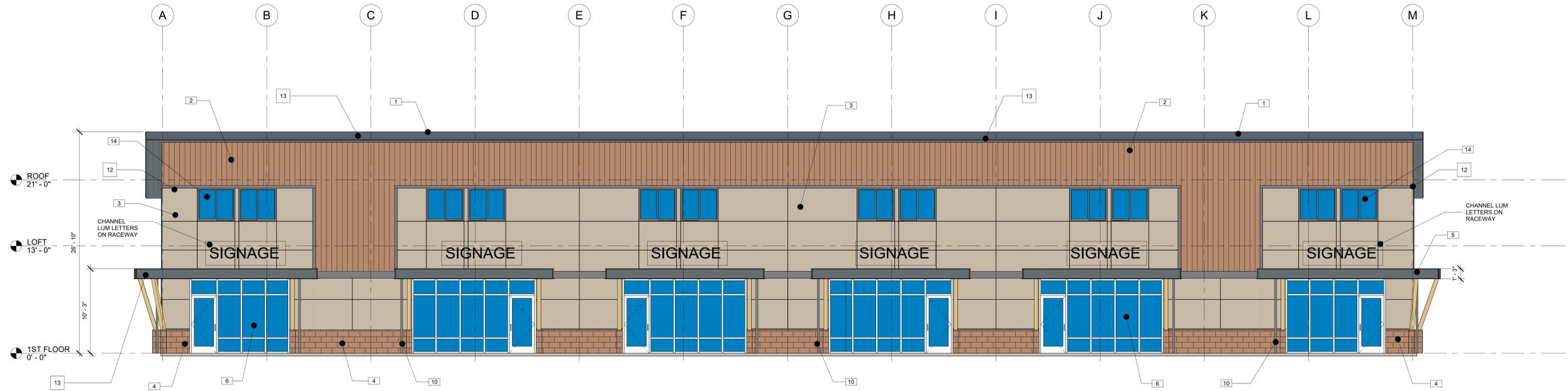
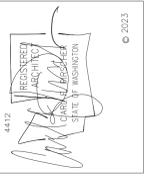
**SMOKEY POINT-COMMERCIAL 1**  
 19402 SMOKEY POINT BLVD  
 RINGLTON, WA 98223-8267  
 CLIENT: Owner



# CITY OF ARLINGTON SMOKEY POINT RIDGE

FILE NO: XXX

SECTION, TOWNSHIP, & RANGE:  
NW 1/4, SE 1/4, SEC.17, T.31N., R.5E., W.M.



1 DESIGN FRONT ELEVATION  
3/16" = 1'-0"



2 3D FRONT

## EXTERIOR FINISH SCHEDULE

TAG	MATERIAL	MANUFACTURER	COLOR	COMMENTS
1	STANDING SEAM METAL ROOF	AEP	OLD TOWN	
2	METAL PLANK SIDING	WESTERN STATES METAL ROOFING	NATURAL MAPLE WOOD	T-8 PLANKWALL WOOD
3	FIBER CEMENT	JAMES HARDIE OR SIM	BEM-BENNINGTON GREY H-82	
4	6" SPLIT FACE CMU	ANGELUS BLOCK COMPANY	SUNSET PRECISION	
5	CANOPY	NA	AEP OLD TOWN	
6	CLEAR ANODIZED STOREFRONT SYSTEM	KAWNEER	NATURAL	
8	2X10 WOOD FASCIA	NA	BEM-DOLPHIN AF-715	
9	GARAGE DOOR	TBD	BEM-EYE OF THE TIGER 188	
10	DOWNSPOUT	NA	MATCH WALL	
11	SCUPPER	NA	MATCH WALL	
12	2x4 WOOD FASCIA	NA	MATCH ROOF	
13	2X12 WOOD FASCIA WITH METAL COVER	NA	MATCH ROOF	
14	VINYL WINDOWS	TBD	PUTTY	

BEM=BENJAMIN MOORE

### DESIGN NOTES FOR COMMERCIAL STRUCTURES: (NOTE: THERE ARE 8 COMMERCIAL BUILDINGS)

Zoning: Commercial Corridor

Transect: T4- Flex

Place Type: Mixed Use Neighborhood Corridor

- The commercial structures are clustered together at the northern one third of the site. There are eight (8) commercial structures proposed of varying size but all sharing a similar palette of exterior finishes. Several of the structures are oriented towards Smokey Point Blvd. and the balance of commercial structures front an internal street that links the commercial buildings to the townhome structures and rowhouse units in a circular arrangement that includes connections to park facilities, a walking trail, recreational and neighborhood gathering opportunities.
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- All mechanical Equipment will be screened from public view and will be located at the rear of the individual units.

SMOKEY POINT-COMMERCIAL 1

19402 SMOKEY POINT BLVD  
ARLINGTON, WA 98223-8267  
EXTERIOR ELEVATIONS  
CLIENT: Owner



PIRSCHER ARCHITECTS  
CDA + Pirscher Architects  
23114 100th Ave W  
Edmonds, WA 98020  
(206) 968-9666

MARK	DATE	COMMENTS
	03-10-2023	Permit Submittal

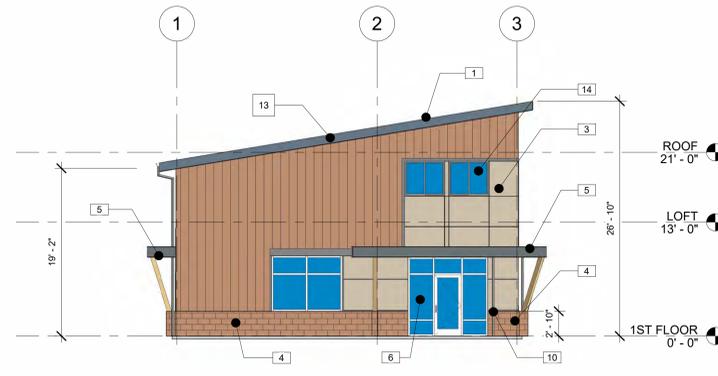
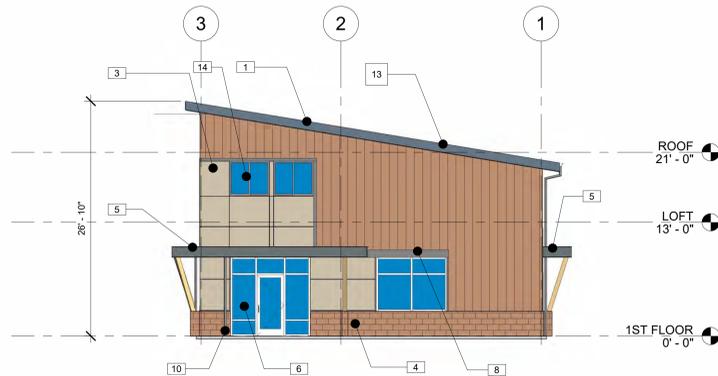
SHEET:  
D105-COMM



# CITY OF ARLINGTON SMOKEY POINT RIDGE

FILE NO: XXX

SECTION, TOWNSHIP, & RANGE:  
NW 1/4, SE 1/4, SEC.17, T.31N., R.5E., W.M.



① DESIGN SIDE 1  
1/8" = 1'-0"

② DESIGN SIDE 2  
1/8" = 1'-0"

## EXTERIOR FINISH SCHEDULE

TAG	MATERIAL	MANUFACTURER	COLOR	COMMENTS
1	STANDING SEAM METAL ROOF	AEP	OLD TOWN	
2	METAL PLANK SIDING	WESTERN STATES METAL ROOFING	NATURAL MAPLE WOOD	T-8 PLANKWALL WOOD
3	FIBER CEMENT	JAMES HARDIE OR SIM	BEM-BENNINGTON GREY H-82	
4	8" SPLIT FACE CMU	ANGELUS BLOCK COMPANY	SUNSET PRECISION	
5	CANOPY	NA	AEP OLD TOWN	
6	CLEAR ANODIZED STOREFRONT SYSTEM	KAWNEER	NATURAL	
8	2X10 WOOD FASCIA	NA	BEM-DOLPHIN AF-715	
9	GARAGE DOOR	TBD	BEM-EYE OF THE TIGER 188	
10	DOWNSPOUT	NA	MATCH WALL	
11	SCUPPER	NA	MATCH WALL	
12	2x4 WOOD FASCIA	NA	MATCH ROOF	
13	2X12 WOOD FASCIA WITH METAL COVER	NA	MATCH ROOF	
14	VINYL WINDOWS	TBD	PUTTY	

BEM-BENJIMAN MOORE

## DESIGN NOTES FOR COMMERCIAL STRUCTURES: (NOTE: THERE ARE 8 COMMERCIAL BUILDINGS)

Zoning: Commercial Corridor

Transect: T4- Flex

Place Type: Mixed Use Neighborhood Corridor

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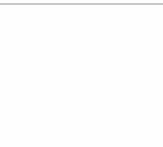


MARK	DATE	COMMENTS
	05-10-2023	Permit Submittal

DRAWN: Author  
CHECK: CARL F. PIRSCHER  
JOB # Project Number

SMOKEY POINT-COMMERCIAL 1

19402 SMOKEY POINT BLVD  
ARLINGTON, WA 98223-8267  
EXTERIOR ELEVATIONS



SHEET:  
**D503-  
COMM**



**Electrical Consultants, Inc.**  
 19015 36th Avenue West, Suite E  
 Lynnwood, Washington 98036  
 Phone (425) 775-1799 FAX (425) 774-9870

PROJECT:  
**SMOKEY POINT RIDGE**

LOCATION:  
**19402 SMOKEY POINT  
 BLVD ARLINGTON, WA,  
 98223**

NO. DATE REVISION

DATE:

DRAWING SCALE: (AT 24X36)

PROJECT DESIGNER:

HF

CHECKED BY:

BAA

SEAL



TITLE  
**SITE LIGHTING  
 PLAN**

PROJECT NO.

24012

DATE

MARCH 1, 2024

SHEET NUMBER

**E1.01**

www.awaelec.com @ AWA, INC.

**LIGHTING FIXTURE SCHEDULE**

IMAGE	DESIGNATION	DESCRIPTION	SOURCE	LUMENS	BUG RATING	MOUNTING	MANUFACTURER	VA	QTY	TOTAL LUMENS
<b>SITE</b>										
	S1	15'-0" POLE MOUNTED AREA LIGHT FIXTURE	LED 4000K	9,411	B1-U0-G1	POLE MOUNT	COOPER LIGHTING SOLUTIONS - GALN-S4C-740-U-T4FT-GM	63	14	131,754
	S2	WALL MOUNTED AREA LIGHT FIXTURE	LED 3000K	3,975	B1-U0-G1	WALL MOUNT	COOPER LIGHTING SOLUTIONS - GWC-AF-02-LED-E1-T3-GM	34	48	190,800
	S3	CANOPY MOUNTED DOWNLIGHT	LED 3000K	716	---	CEILING RECESSED	COOPER LIGHTING SOLUTIONS - SMD6R69SWH	9.2	44	31,504
TOTAL SITE LUMENS =										354,058
TOTAL LUMENS ALLOWED: 7.5 LUMENS/SF x 83,367 SF =										625,253
<b>TOWNHOME ENTRANCES</b>										
	R1	WALL MOUNTED LIGHT FIXTURE - RESIDENT ENTRANCE	LED 3500K	897	---	WALL MOUNT	OXYGEN LIGHTING - 3-727-22	29.4	44	29.4

Table 20.110-17: Lighting Zones

	T4-MS	T4-F	T4N-SV	T4N-MV	T5-MS	T5-F	T5N-LV	T5N-MV	HOC	AC
LZ-1										
LZ-2			X							
LZ-3				X			X	X		
LZ-4	X	X			X	X				

Table 20.110-18: Total Site Lumen Limits

	LZ-1	LZ-2	LZ-3	LZ-4
Total site lumens allowed per square foot of impervious/semi-pervious surface area	1.25 Lumens	2.5 Lumens	5.0 Lumens	7.5 Lumens

Total Site Lumen Limit: The total installed initial luminaire lumens of all outdoor lighting may not exceed the total site lumen limit of Table 20.110-18 Total Site Lumen Limits, except as otherwise permitted by this section. The total installed initial luminaire lumens is calculated as the sum of the initial luminaire lumens for all luminaires. For sites with existing outdoor lighting, the existing lighting must be included in the calculation of total installed lumens.  
 Maximum BUG Ratings: All luminaires must be rated and installed according to Table 20.110-19, Maximum BUG Ratings, which describes the maximum backlight (B), up light (U), and glare (G), as rated by the luminaire manufacturer, allowed in each lighting zone. Luminaires equipped with adjustable mounting devices permitting alteration of luminaire aiming are not permitted.

Table 20.110-19: Maximum BUG Ratings

MAXIMUM ALLOWABLE BACKLIGHT (B) RATING <sup>1</sup>	LZ-1	LZ-2	LZ-3	LZ-4
Greater than two mounting heights from property line	B3	B4	B5	B5
1 to less than 2 mounting heights from property line and ideally oriented <sup>2</sup>	B2	B3	B3	B4
0.5 to 1 mounting heights from property line and ideally located <sup>2</sup>	B1	B2	B3	B3
Less than 0.5 mounting height to property line and properly oriented <sup>2</sup>	B0	B0	B1	B2
MAXIMUM ALLOWABLE UPLIGHT (U) RATING				
Allowed up light rating	U1	U2	U3	U4
Allowed % light emission above 90 degrees for street or area lighting	0%	0%	0%	0%
MAXIMUM ALLOWABLE GLARE (G) RATING <sup>3</sup>				
Allowed glare rating	G1	G2	G3	G4
Any luminaire not ideally oriented <sup>4</sup> with 1 to less than 2 mounting heights to any property line of concern	G0	G1	G1	G2
Any luminaire not ideally oriented <sup>4</sup> with 0.5 to 1 mounting heights to any property line of concern	G0	G0	G1	G1
Any luminaire not ideally oriented <sup>4</sup> with less than 0.5 mounting heights to any property line of concern	G0	G0	G0	G1

<sup>1</sup> For property lines that abut public walkways, bikeways, plazas, and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purposes of determining compliance with this section. For property lines that abut public roadways, the property line may be considered to be the centerline of the public roadway for the purposes of determining compliance with this section.

<sup>2</sup> Ideally oriented means the luminaire is mounted with the backlight portion of the light output oriented perpendicular and towards the property line of concern.

<sup>3</sup> For property lines that abut public walkways, bikeways, plazas, and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purposes of determining compliance with this section. For property lines that abut public roadways, the property line may be considered to be the centerline of the roadway for purposes of determining compliance with this section.

<sup>4</sup> Any luminaire that cannot be mounted with its backlight perpendicular to any property line within twice the mounting height of the luminaire location must meet the reduced allowed glare.



**SITE LIGHTING PLAN - NORTH**

SCALE: 1"=10'-0"



INTERSTATE 5



**Electrical Consultants, Inc.**  
 19015 36th Avenue West, Suite E  
 Lynnwood, Washington 98036  
 Phone (425) 775-1799 FAX (425) 774-9870

PROJECT:  
**SMOKEY POINT RIDGE**

LOCATION:  
**19402 SMOKEY POINT  
 BLVD ARLINGTON, WA,  
 98223**

NO.	DATE	REVISION

DATE:

DRAWING SCALE: (AT 24X36)

PROJECT DESIGNER:

HF

CHECKED BY:

BAA

SEAL



TITLE  
**SITE LIGHTING  
 PLAN**

PROJECT NO.  
 24012  
 DATE  
 MARCH 1, 2024

SHEET NUMBER  
**E1.02**



**SITE LIGHTING PLAN - SOUTH**  
 SCALE: 1"=10'-0"

S1

Project	Catalog #	Type
Prepared by	Notes	Date



## McGraw-Edison

### GALN Galleon II

Area / Site Luminaire

#### Product Features



#### Product Certifications



#### Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 5
- Product Specifications page 5
- Energy and Performance Data page 6
- Control Options page 11

#### Quick Facts

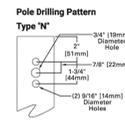
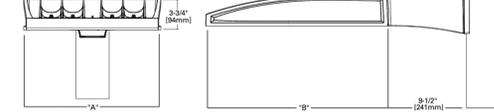
- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 17 optical distributions
- Efficacy up to 159 lumens per watt

#### Connected Systems

- WaveLinx Lite
- WaveLinx

#### Dimensional Details

##### Standard Pole Mount Arm



Number of Light Squares	Width 'A'	Housing Length 'B'	Weight with Standard or QM Arm	EPA with Standard or QM Arm
1-4	16"	22"	29 lb	0.95
5-6	22"	22"	39 lb	0.95
7-9	22"	28-1/8"	48 lb	1.1

NOTE: For arm selection requirements and additional line art, see Mounting Details section.

NOTE: 1. Not for use in damp or wet locations unless specified. 2. All product variants are DLC qualified.



PSS0092EN page 1  
September 20, 2022 1:02 PM

S2

**DESCRIPTION**  
The Galleon™ Wall LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

#### SPECIFICATION FEATURES

##### Construction

Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP68 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity. LIGHTING: Specify with the UPL option for inverted mount uplight housing with additional protections to maintain IP rating.

##### Optics

Choice of thirteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K

and 6000K CCT. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA, and 500mA drive currents.

##### Electrical

LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Cooper Lighting Solutions proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Wall LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Emergency egress options for -20°C ambient environments and occupancy sensor available.

##### Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" J-box or wall with the Galleon Wall "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws which are concealed but accessible from bottom of fixture.

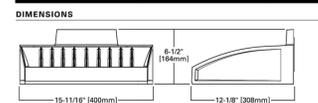
##### Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

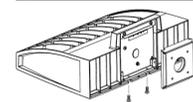
##### Warranty

Five-year warranty.

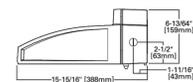
#### Dimensions



#### HOOK-N-LOCK MOUNTING



#### BATTERY BACKUP AND THRU-BRANCH BACK BOX



\*www.designlights.org

## McGraw-Edison

Catalog #	Type
Project	
Comments	Date
Prepared by	



### GWC GALLEON WALL

1-2 Light Squares

Solid State LED

WALL MOUNT LUMINAIRE

WaveLinx



**CERTIFICATION DATA**  
cULus Listed  
LM79 (LM80) Compliant  
IP68 Housing  
500 9001  
DesignLights Consortium™ Qualified\*

**ENERGY DATA**  
Electronic LED Driver  
+0.9 Power Factor  
-20% Total Harmonic Distortion  
120-277V 60/60Hz  
347V, 480V 60Hz  
-40°C Min. Temperature  
60°C Max. Temperature  
50°C Max. Temperature (HA Option)

**SHIPPING DATA**  
Approximate Net Weight:  
27 lbs. (12.2 kg)

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September 15, 2020 6:23 PM

S3

Project	Catalog #	Type
Prepared by	Notes	Date



## HALO

### SMD6 Series

6" Round and Square Surface Mount Downlight  
SMD6R & SMD6S

Typical Applications  
Residential

#### Interactive Menu

- Order Information page 2
- Product Specifications page 4
- Photometric Data page 5
- Product Warranty

#### Product Certification



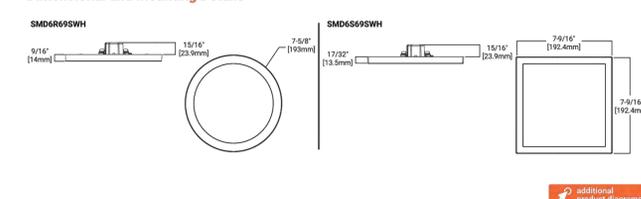
#### Product Features



#### Top Product Features

- Ultra-low profile surface luminaire with wide distribution
- Ceiling or wall mounting in compatible junction boxes
- 600 & 1200 lumen; 2700K, 3000K, 3500K, 4000K or 5000K field selectable CCT; 90 CRI
- 120V only and Universal Voltage 120V - 277V options
- Dimmable with 120V dimmers

#### Dimensional and Mounting Details



PSS18198EN page 1  
February 16, 2022 10:40 AM

R1

## CERES Outdoor

### 3-727-xx

## oxygen

FIXTURE TYPE	LOCATION
PROJECT	DATE

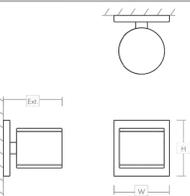


-16 Gray



-22 Oiled Bronze

- LIGHT SOURCE** 2 x 10.1W LED, 3000K, CRI 90
- LUMINAIRE POWER** 24.0W at 120V
- RATED LIFE** 60000 hr RL
- OPTIONAL COLOR TEMPERATURES** 2700K, 3500K, 4000K
- LUMEN OUTPUT** Delivered: 897 lm (LM-79)
- INPUT VOLTAGE** 120V to 277V AC, 50/60Hz
- DRIVER OUTPUT** 700mA, 29.4W max power
- DIMMING** TRIAC and EVV dimming at 120V AC, 0-10V dimming, 100% to 1% current output
- CONSTRUCTION** Cast Aluminum and Glass
- DIFFUSER** - Frosted Glass
- FINISHES** Gray (-16), Oiled Bronze (-22)
- MOUNTING** 4" Octagonal J-Box™, 4" Square J-Box™ \*Deep J-Box (Required to house driver) (Installer must provide a bead of caulk between fixture housing and mounting surface)
- STANDARDS** UL Wet listed, Conforms to UL STD 1598, Certified CAN/CSA STD C22.2 No. 250.0.



**DIMENSIONS**

W:	4.75"
H:	4.75"
Ext:	5.00"
M.C.:	2.38" From top of fixture

Order example for standard fixture:  
3-727-22 (4- Voltage - xxx-Sequence # - xx-Finish)  
3: 120V to 277V  
Order example for optional color temperatures: 3-727-2722  
27: 2700K, 35: 3500K, 40: 4000K



201 Railhead Road, Fort Worth, TX 76106 - Tel. (877) 607-0202 - www.oxygenlighting.com



**Electrical Consultants, Inc.**  
19015 36th Avenue West, Suite E  
Lynnwood, Washington 98036  
Phone (425) 775-1799 FAX (425) 774-9870

PROJECT:  
**SMOKEY POINT RIDGE**

LOCATION:  
**19402 SMOKEY POINT  
BLVD ARLINGTON, WA,  
98223**

NO.	DATE	REVISION

DATE:

DRAWING SCALE: (AT 24X36)

PROJECT DESIGNER:

HF

CHECKED BY:

BAA

SEAL

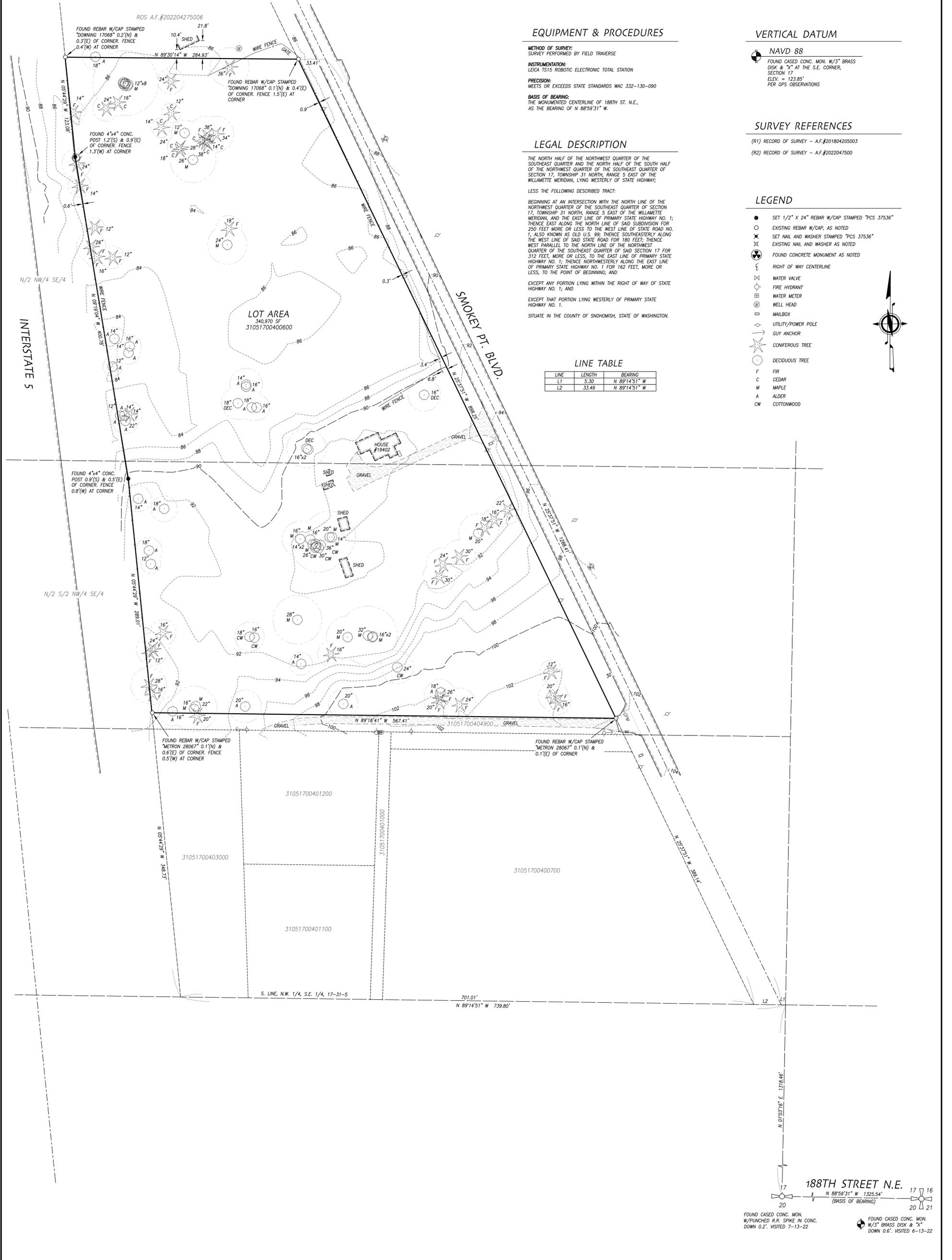


## TITLE CUTSHEETS

PROJECT NO.  
24012  
DATE  
MARCH 1, 2024

SHEET NUMBER  
**E2.01**

www.awaelec.com @ AWA, INC.



**EQUIPMENT & PROCEDURES**

**METHOD OF SURVEY:**  
SURVEY PERFORMED BY FIELD TRAVERSE

**INSTRUMENTATION:**  
LEICA 1515 ROBOTIC ELECTRONIC TOTAL STATION

**PRECISION:**  
MEETS OR EXCEEDS STATE STANDARDS WAC 332-130-090

**BASIS OF BEARING:**  
THE MONUMENTED CENTERLINE OF 188TH ST. N.E., AS THE BEARING OF N 88°59'31" W.

**VERTICAL DATUM**

**NAVD 88**  
FOUND CASED CONC. MON. W/3" BRASS DISK & "X" AT THE S.E. CORNER, SECTION 17, ELEV. = 123.85' PER GPS OBSERVATIONS

**LEGAL DESCRIPTION**

THE NORTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER AND THE NORTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 31 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, LYING WESTERLY OF STATE HIGHWAY; LESS THE FOLLOWING DESCRIBED TRACT:

BEGINNING AT AN INTERSECTION WITH THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 31 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, AND THE EAST LINE OF PRIMARY STATE HIGHWAY NO. 1; THENCE EAST ALONG THE NORTH LINE OF SAID SUBDIVISION FOR 250 FEET MORE OR LESS TO THE WEST LINE OF STATE ROAD NO. 1, ALSO KNOWN AS OLD U.S. 99; THENCE SOUTHEASTERLY ALONG THE WEST LINE OF SAID STATE ROAD FOR 180 FEET; THENCE WEST PARALLEL TO THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 17 FOR 312 FEET, MORE OR LESS, TO THE EAST LINE OF PRIMARY STATE HIGHWAY NO. 1; THENCE NORTHWESTERLY ALONG THE EAST LINE OF PRIMARY STATE HIGHWAY NO. 1 FOR 162 FEET, MORE OR LESS, TO THE POINT OF BEGINNING; AND

EXCEPT ANY PORTION LYING WITHIN THE RIGHT OF WAY OF STATE HIGHWAY NO. 1; AND

EXCEPT THAT PORTION LYING WESTERLY OF PRIMARY STATE HIGHWAY NO. 1.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

**LINE TABLE**

LINE	LENGTH	BEARING
L1	5.30	N 89°14'51" W
L2	33.49	N 89°14'51" W

**SURVEY REFERENCES**

(R1) RECORD OF SURVEY - A.F.#201804205003  
(R2) RECORD OF SURVEY - A.F.#2022047500

**LEGEND**

- SET 1/2" X 24" REBAR W/CAP STAMPED "PCS 37536"
- EXISTING REBAR W/CAP, AS NOTED
- ✕ SET NAIL AND WASHER STAMPED "PCS 37536"
- ✕ EXISTING NAIL AND WASHER AS NOTED
- ⊙ FOUND CONCRETE MONUMENT AS NOTED
- ⌒ RIGHT OF WAY CENTERLINE
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ WATER METER
- ⊕ WELL HEAD
- ⊕ MAILBOX
- ⊕ UTILITY/POWER POLE
- ⊕ GUY ANCHOR
- ★ CONFEROUS TREE
- DECIDUOUS TREE
- F FIR
- C CEDAR
- M MAPLE
- A ALDER
- CW COTTONWOOD

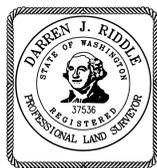


**NOTES**

1.) THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF PARTIES WHOSE NAMES APPEAR HEREON ONLY, AND DOES NOT EXTEND TO ANY UNNAMED THIRD PARTIES WITHOUT EXPRESS RECERTIFICATION BY THE LAND SURVEYOR OF RECORD.

2.) BOUNDARY LINES SHOWN AND CORNERS SET REPRESENT DEED LOCATIONS; OWNERSHIP LINES MAY VARY. NO GUARANTEE OF OWNERSHIP IS EXPRESSED OR IMPLIED. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, AND OCCUPATION WHICH MAY ENCUMBER TITLE OR USE OF SUBJECT PROPERTY.

SCALE: 1" = 50'



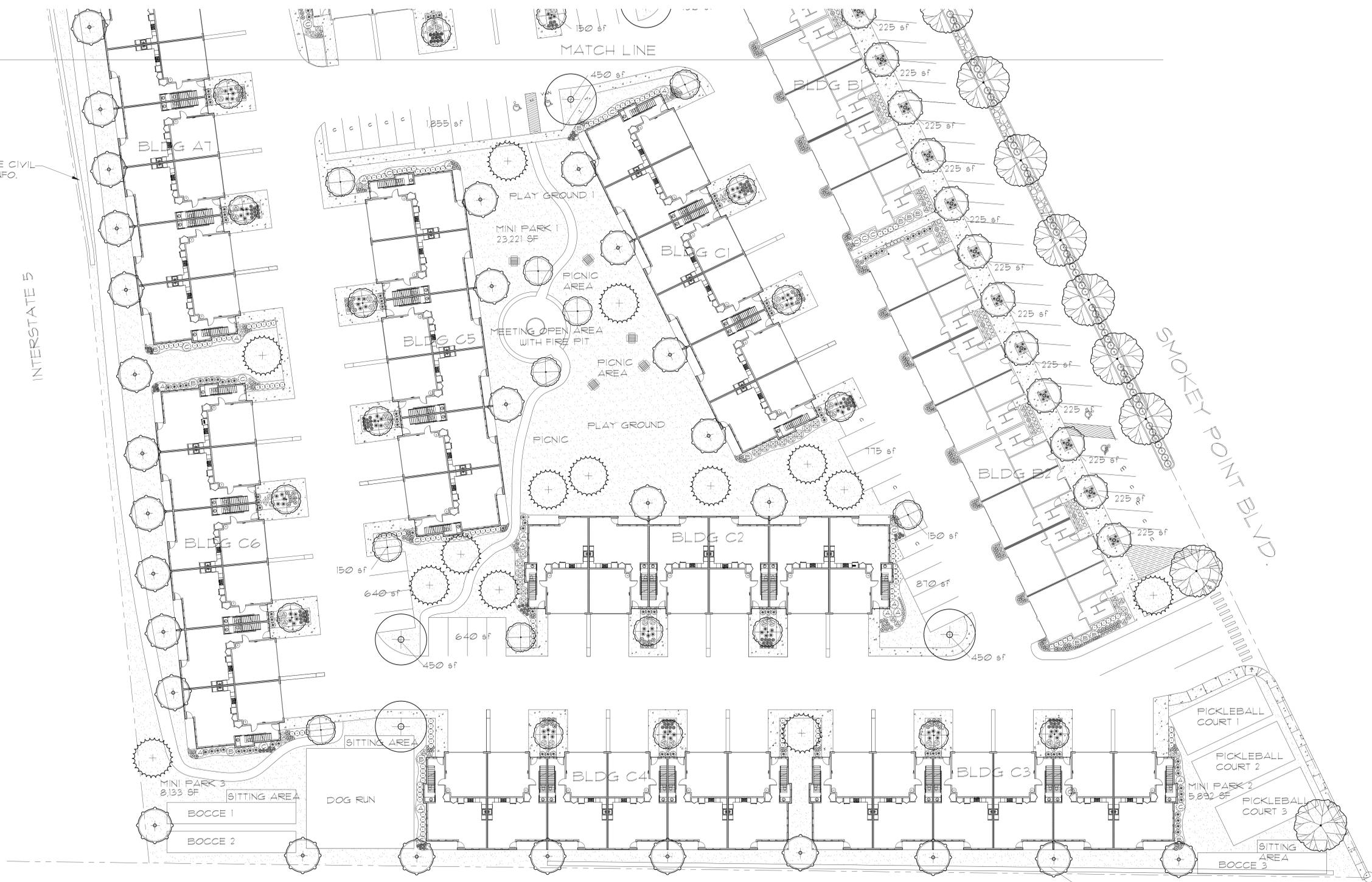
**Pacific Coast Surveys, Inc.**  
LAND SURVEYING & MAPPING  
P.O. BOX 13619  
MILL CREEK, WA 98082  
PH. 425.512.7099 FAX 425.357.3577  
www.PCSurveys.net

TOPOGRAPHIC SURVEY FOR:  
**MIKE WEEKS**  
NW 1/4, SE 1/4, SEC.17, T.31N., R.5E., W.M.  
DRAWN BY DATE DRAWING FILE NAME SCALE JOB NO.  
MAH 7.14.22 222684top.dwg 1" = 50' 22-2684

FOUND CASED CONC. MON. W/PUNCHED R.R. SPIKE IN CONC. DOWN 0.2'. VISITED 7-13-22

FOUND CASED CONC. MON. W/3" BRASS DISK & "X" DOWN 0.6'. VISITED 6-13-22

BLOCK WALL (TYP.) SEE CIVIL GRADING FOR MORE INFO.



BLOCK WALL (TYP.) SEE CIVIL GRADING FOR MORE INFO.

NOTE: AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL LANDSCAPE AREAS.

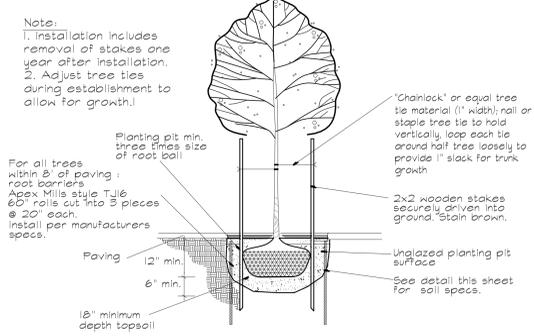


LANDSCAPE PLAN

SHADE

PARKING AREA.....29,011 SF

TREE SHADE.....12,600 SF=43.2%



CITY OF ARLINGTON

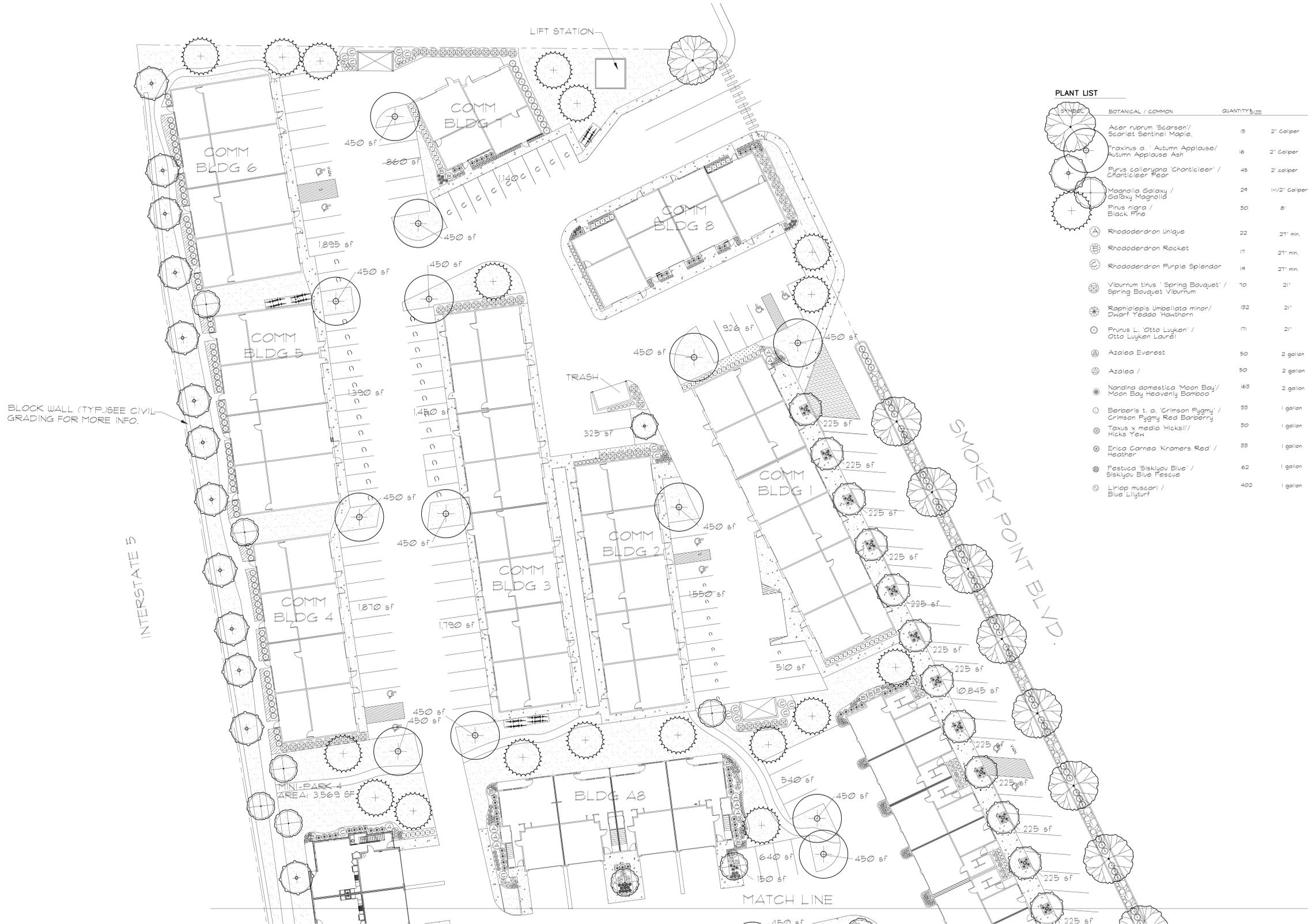
CONSTRUCTION DRAWING REVIEW ACKNOWLEDGMENT

THIS PLAN HAS BEEN REVIEWED AND EVALUATED FOR GENERAL COMPLIANCE WITH THE CITY OF ARLINGTON CODES AND ORDINANCES. CONFORMANCE OF THE DESIGN WITH ALL APPLICABLE LAWS AND REGULATIONS IS THE FULL AND COMPLETE RESPONSIBILITY OF THE LICENSED DESIGN ENGINEER WHOSE STAMP AND SIGNATURE APPEAR ON THIS SHEET. ACKNOWLEDGMENT OF CONSTRUCTION DRAWING REVIEW DOES NOT IMPLY CITY APPROVAL FOR CONSTRUCTION ACTIVITIES THAT REQUIRE OTHER COUNTY, STATE OR FEDERAL PERMIT REVIEW AND APPROVAL. THE PROPERTY OWNER AND LICENSED DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE ACQUISITION AND COMPLIANCE OF ALL APPLICABLE PERMITS AND/OR AUTHORIZATION WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO: WSDPW HYDRAULIC PROJECT APPROVAL (HPA), WSDPE NOTICE OF INTENT (NOI), ARMY CORP OF ENGINEERS FILL PERMITS AND THE REQUIREMENTS OF THE ENDANGERED SPECIES ACT.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

Development Services Manager

THESE APPROVED CONSTRUCTION PLANS EXPIRE AFTER 18 MONTHS FROM THE DATE SHOWN ABOVE OR UPON EXPIRATION OF PRELIMINARY PLAT OR SITE PLAN APPROVAL.

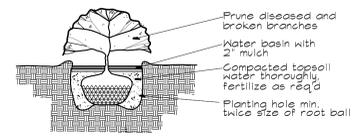


**PLANT LIST**

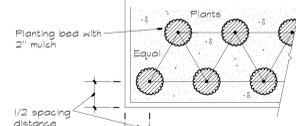
SYMBOL	BOTANICAL / COMMON	QUANTITY	SIZE	SPACING	CONDITION
	Acer rubrum 'Scarson' / Scarlet Sentinel Maple	15	2" Caliper	30' o.c.	B4B
	Fraxinus a. 'Autumn Applause' / Autumn Applause Ash	16	2" Caliper	per plan	B4B
	Pinus caleyana 'Chanticleer' / Chanticleer Pine	45	2" caliper	per plan	B4B
	Magnolia Galaxy / Galaxy Magnolia	24	1-1/2" Caliper	per plan	B4B
	Pinus nigra / Black Pine	30	2"	per plan	B4B
	Rhododendron Unique	22	21" min.	per plan	Full 4 bushy
	Rhododendron Rocket	17	21" min.	per plan	Full 4 bushy
	Rhododendron Purple Splendor	14	21" min.	per plan	Full 4 bushy
	Viburnum tinus 'Spring Bouquet' / Spring Bouquet Viburnum	70	21"	5' o.c.	Full 4 bushy
	Raphiopsis Umbellata minor / Dwarf Yucca Hawthorn	152	21"	5' o.c.	Full 4 bushy
	Prunus L. 'Otto Luyken' / Otto Luyken Laurel	171	21"	5' o.c.	Full 4 bushy
	Azalea Everest	50	2 gallon	5' o.c.	Full 4 bushy
	Azalea /	50	2 gallon	5' o.c.	Full 4 bushy
	Nandina domestica 'Moon Bay' / Moon Bay Heavenly Bamboo	165	2 gallon	5' o.c.	Full 4 bushy
	Berberis t. a. 'Crimson Pygmy' / Crimson Pygmy Red Barberry	35	1 gallon	5' o.c.	Full 4 bushy
	Taxus x media 'Hicksii' / Hicks Yew	30	1 gallon	5' o.c.	Full 4 bushy
	Erica Carnea 'Kramers Red' / Heather	35	1 gallon	5' o.c.	Full 4 bushy
	Festuca 'Siskiyou Blue' / Siskiyou Blue Fescue	62	1 gallon	5' o.c.	Full 4 bushy
	Lilip muscari / Blue Lilyturf	402	1 gallon	5' o.c.	Full 4 bushy

BLOCK WALL (TYP.) SEE CIVIL GRADING FOR MORE INFO.

NOTE:  
AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL LANDSCAPE AREAS.

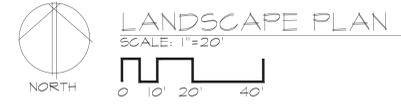


SHRUB PLANTING DETAIL  
No Scale



GROUND COVER SPACING DETAIL  
No Scale- Triangular Spacing

- NOTES**
1. Subgrades, including berms, to within 1 1/2" foot provided by General Contractor unless otherwise noted.
  2. Subgrade shall be scarified and rototilled to a depth of 24"
  3. 4" depth 3-way topsoil or equal in all planting areas.
  4. 2" depth fine grade bark mulch in all planting beds.
  5. All plant material shall be healthy, full and conform to USA standard nursery stock, latest edition.
  6. Plant material or size or kind not available may be substituted only with approval of Landscape Architect or Owner.
  7. All mass plantings shall have triangular spacing.
  8. All tree pits shall be inspected to insure proper drainage.
  9. Positive drainage shall be maintained. Mound planting areas minimum 6"
  10. Landscape Contractor shall maintain site until final inspection and acceptance by owner. 1 year guarantee on all plant material.



CITY OF ARLINGTON  
CONSTRUCTION REVIEW APPROVAL

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: Development Services Manager

DATE: \_\_\_\_\_ THIS APPROVAL VALID FOR 18 MONTHS

15-0027	15-0027	15-0027	15-0027	15-0027	15-0027
DATE	DATE	DATE	DATE	DATE	DATE
BY	BY	BY	BY	BY	BY
DATE	DATE	DATE	DATE	DATE	DATE

Proposed Building B for  
**SMOKEY POINT RIDGE**  
ARLINGTON WASHINGTON



**LANDSCAPE PLAN**  
MAIN STREET DESIGN  
LANDSCAPE ARCHITECTURE  
3402 Third Court  
Bismarck, ND 58101  
(701) 842-7886