





SECTION III: SUBAREAS

Introduction

As seen in the Neighborhood and Connectivity Foundational Principle the City is prioritizing placemaking and connectivity throughout Arlington. This Comprehensive Plan supports enriched physical and social connectivity with quality urban planning. Arlington has been broken up into fourteen subareas which have been analyzed to determine the existing and missing features. Vision statements for each subarea have been developed to help clearly identify improvements needed to meet goals for each subarea. Finally, neighborhoods within each subarea have been identified and are further described in Appendix A.

Arlington Terrace

Vision

In 2044 Arlington Terrace remains a quiet, residential neighborhood with significant tree canopy. The subarea's utility improvements such as connection to the City's sewer and water systems make it a subarea ready for moderate increased housing density. This subarea's higher housing density allows for a multitude of family sizes.

Existing Conditions

Arlington Terrace is located on the eastern side of the City. The subarea is triangle-shaped with each side measuring approximately three quarters of a mile. This small subarea is only 0.28 square miles. Highway 9 creates the eastern border with Crown Ridge just beyond the highway to the east.

Arlington Terrace is connected to the rest of the City via 188th St NE. As 188th St NE enters Arlington Terrace, the road becomes a private road, 71st Dr NE then 190th Pl NE. 190th Pl NE splits into two private dead-end roads, 192nd Pl NE which runs north and east and 190th Pl NE which runs southeast.

Arlington Terrace is entirely residential. The majority of the area is classified as Residential Ultra-Low Capacity, with one parcel of Residential Low Capacity and one parcel of Residential High Capacity in the northern part of the subarea. Parcels in Arlington Terrace are large, densely covered with trees, and dotted with single family homes. The subarea is not connected to the City's sewer or water system. Residences are served by a septic system and community water system.

There are moderate to severe slopes throughout the subarea. The significant slopes are more heavily concentrated on the western and eastern sides of the subarea. There is one notable stream, Prairie Creek, running through Arlington Terrace that flows towards the north. The west fork runs along the western boundary of the subarea. The east fork runs along Highway 9 and meets the west fork at the north border of the subarea. There is also one small wetland in the north portion of the subarea.

This subarea has no public transportation, street trees, sidewalks, bike paths, or defined trails. There are also no parks, public art, or heritage trees in Arlington Terrace.

Neighborhoods

- » There is one neighborhood in Arlington Terrace:
 - BRJR Association.
- » More information about the neighborhoods can be found in Appendix A. improvements needed/ expected for each.

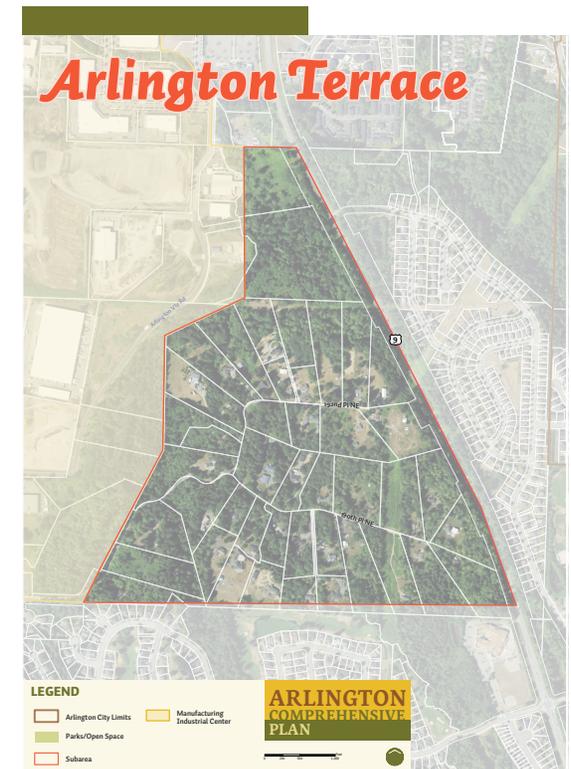


Figure SU-01: Map of Arlington Terrace

Cascade Industrial Center

Vision

In 2044 the Cascade Industrial Center subarea is a large hub of industrial development. This subarea is a major employer with upwards of 20,000 jobs including a job training center and the Airport. The Cascade Industrial Center is home to a satellite campus for an accredited college which attracts students to the area. The Cascade Industrial Center is a subarea with rich employment opportunities, opportunity for professional and academic growth, and a hub for further industrial development. Employees and visitors alike enjoy the trail network, food truck court, festivals, and other activities hosted throughout the year.

Existing Conditions

Cascade Industrial Center is in the center of Arlington and is the City's largest subarea, covering 3.5 square miles. The Arlington Municipal Airport is in the center of Cascade Industrial Center.

The main roads in Cascade Industrial Center include 59th Ave NE which runs north to south and Highway 531 (172nd St NE) which runs east to west south of the airport. 188th St NE connects Cascade Industrial Center to the eastern side of Arlington.

The local bus runs on 188th St NE, north on 47th Ave NE, and on Cemetery Road (which turns into 198th St NE) along the northern borders of the subarea. There are bike lanes and sidewalks located along Airport Blvd. There are also sidewalks along 67th Ave NE and 59th Ave NE but few other sidewalks throughout the subarea.

Cascade Industrial Center has a mix of zoning including a large section of Aviation Flightline in the center of the subarea. The eastern half of Cascade Industrial Center is zoned General Industrial with a few small areas of Public/Semi-Public throughout and a small section of General Commercial in the northeast corner. There are also sizable sections of Light Industrial and Business Park on the

eastern side of the subarea. Small sections of Highway Commercial and General Commercial can also be found on the southern border of the subarea.

There are several trails throughout Cascade Industrial Center. Airport Trail is a loop trail located in the center of the subarea and the Centennial Trail follows the eastern boundary of Cascade Industrial Center. Additional trails include the Secondary Airport Trail, multiple Airport Connector Trails, 168th Trail in the southwestern part of the subarea, and the 180th Path in the east. There is also a paved path on Arlington Valley Road in the northeast. There are two parks located next to each other in the subarea, Bill Quake Memorial Park, and W.E. Evans Park. A skatepark and athletic fields are located within the parks. An array of public art is located around the perimeter of the subarea.

Edgecomb Creek, Edgecomb Tributary, and Quilceda Tributary all have a section located in the subarea. A few small wetlands are present in the southern part of the subarea. There are street trees but no heritage trees in Cascade Industrial Center. There are also small amounts of moderate and severe slopes in the northern section of the subarea.



Figure SU-02: Map of Cascade Industrial Center

Neighborhoods

- » The neighborhoods in Cascade Industrial Center are the following:
 - Airport 37
 - Airways Mobile Home Park
 - Arlington Advanced Manufacturing Park
 - Arlington Airport Condo
 - AVR Business Park
 - BHB Condo 37
 - Cascade Business Park
 - Five Acre Turkey Farms
 - Fliteline Condo
 - Gateway Business Park
 - Hidden Glen Mobile Home Park
 - Mobile Estates
 - North End Aviation Homeport Condo
 - Pleasant Home Mobile Home Park
 - P.U.D. No. 1 of Snohomish County
 - Shoultes Green Acres
 - Smartcap Air North Arlington Industrial Park
 - Smartcap Arlington Industrial Park
 - Southwind Hangar Condo
 - The Outpost
 - Willett
 - Williams Investment Commercial Park

» More information about the neighborhoods can be found in Appendix A.

Crown Ridge

Vision

In 2044 the Crown Ridge subarea is better connected to the rest of Arlington due to the recent extension of 186th St NE to McElroy Rd in Snohomish County. The recent expansion of this subarea through an annexation invites more families into Crown Ridge. Crown Ridge is a residential subarea that is also home to Arlington High School.

Existing Conditions

Crown Ridge is a small subarea covering 0.28 square miles located on the eastern side of the City. Arlington's city limit creates the eastern border of the subarea. Highway 9 creates the western border with Arlington Terrace and Gleneagle subareas just beyond the highway to the west. Kent Prairie lies to the north. Crown Ridge is connected to the Kent Prairie subarea via a small section of the Zimmerman Hill Climb Trail that comes down from the north into the subarea.

Arlington High School is in the southern part of Crown Ridge and the associated land is classified as Public/Semi-Public in the City's zoning. The rest of the subarea is residential made up of mostly Residential Low Capacity with two parcels of Residential Moderate Capacity south of the

high school. The northern portion of Crown Ridge is made up of single-family homes organized within Crown Ridge Estates. Large trees along the perimeter surround the subdivision and high school.

Crown Ridge Blvd is the primary road in the subarea. It runs north to south connecting to Highway 9 at the southern end of the subarea. Four smaller roads break off from Crown Ridge Blvd to form internal circulation within Crown Ridge Estates north of the high school. All roads in Crown Ridge have sidewalks and there are many street trees throughout the subarea.

Portage Creek flows towards the northwest and runs through the southeast and northeast corners of Crown Ridge. Prairie Creek enters Crown Ridge from the south and runs along the subarea's western border along Highway 9. A wetland that is mostly located in unincorporated Snohomish County is in the southern part of Crown Ridge along Prairie Creek, south of the high school.

Severe slopes run generally north-south in two places in the Crown Ridge. One runs on the western side of the subarea along Highway 9. The other severe slope makes up much of the northeastern section of Crown Ridge and runs along the eastern border of the subarea. Moderate slopes are located throughout Crown Ridge.

This subarea has no public transportation or bike paths. There is no public art or heritage trees in Crown Ridge.

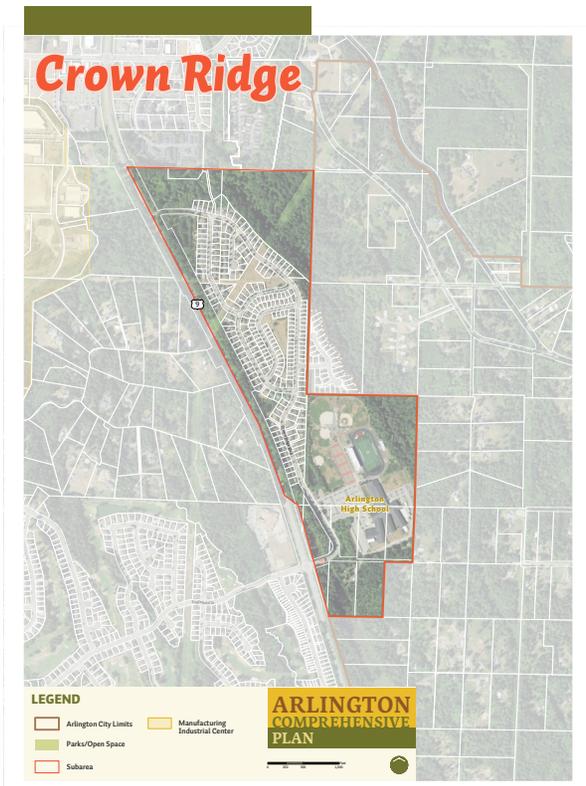


Figure SU-03: Map of Crown Ridge

Neighborhoods

- » The neighborhoods in Crown Ridge are the following:
 - Bridgemont
 - Crown Ridge Estates Division 1
 - Crown Ridge Estates Division 2
 - Crown Ridge Estates Division 3
- » More information about the neighborhoods can be found in Appendix A.

East Hill

Vision

In 2044, East Hill boasts diverse housing options such as middle housing and small lot single family homes making the East Hill subarea a residential hub. East Hill is well-connected to the rerouted Burn Road and the rest of Arlington via the comprehensive trail network.

Existing Conditions

The East Hill subarea is located on the eastern side of Arlington along a bluff above the South Fork of the Stillaguamish River. The subarea is 0.5 square miles and is bordered to the north, east, and south by unincorporated Snohomish County. Burn Rd and Kent Prairie subarea form the western border of the East Hill subarea. There are only two additional major roads in the subarea: 95th Ave NE and Tveit Rd.

The majority of the subarea is currently zoned Residential Ultra Low Capacity while the southeast corner of East Hill is zoned Residential Low Capacity. There are steep slopes throughout the subarea with a significant concentration in the northern portion of the subarea. Eagle Creek and several tributaries run along the base of these slopes, all flowing to the north. Just north of the subarea Eagle Creek flows through a wetland that extends slightly into the northern portion of East Hill.

There are no parks, sidewalks, trails, bike lanes, public transit routes, heritage trees, or public art in the East Hill subarea.

Neighborhoods

- » There is one neighborhood in East Hill:
 - Quail Ridge
- » More information about the neighborhoods can be found in Appendix A.

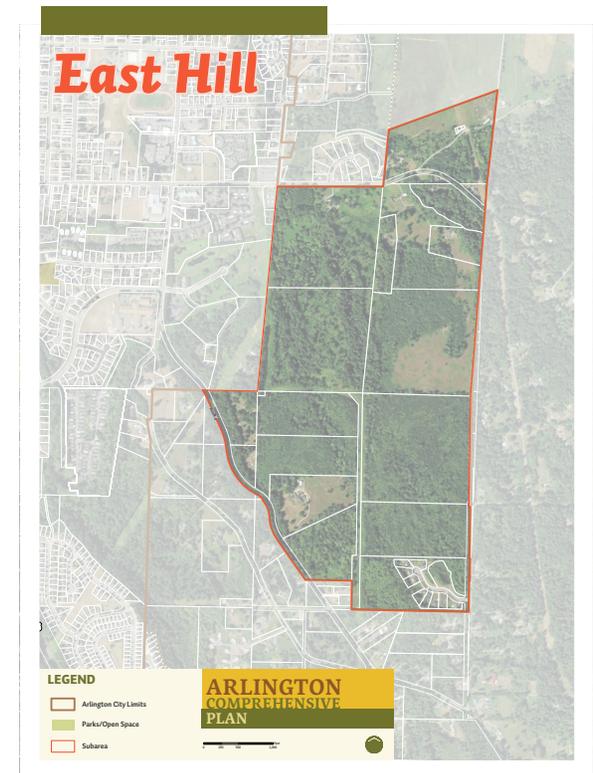


Figure SU-04: Map of East Hill

Edgecomb

Vision

In 2044 Edgecomb subarea remains a residential area of Arlington. Edgecomb's residents enjoy the connectivity of the subarea to the rest of the City because of the recent expansion of 172nd St as well as the addition of a roundabout. The subarea allows residents to enjoy the Centennial Trail as Edgecomb is home to the south entrance of the trail. Edgecomb is well-connected to neighboring subareas, the Cascade Industrial Center and Smokey Point Subareas, and is conveniently located adjacent to 67th Ave NE and 172nd St NE.

Existing Conditions

Edgecomb is a small subarea on the southern boundary of the City that covers 0.18 square miles. Its western boundary runs along 67th Ave NE, its southern boundary runs along 172nd St NE, and its eastern boundary runs along Gleneagle's western boundary.

The majority of Edgecomb is zoned as Residential Low Capacity while the southwestern corner of Edgecomb is zoned as Neighborhood Commercial. All streets within Edgecomb's boundaries have active sidewalks. The Centennial Trail runs along the western boundary from north to south of Edgecomb and there are three displays of public art in the form of three banners within the southwest corner of Edgecomb's boundary.

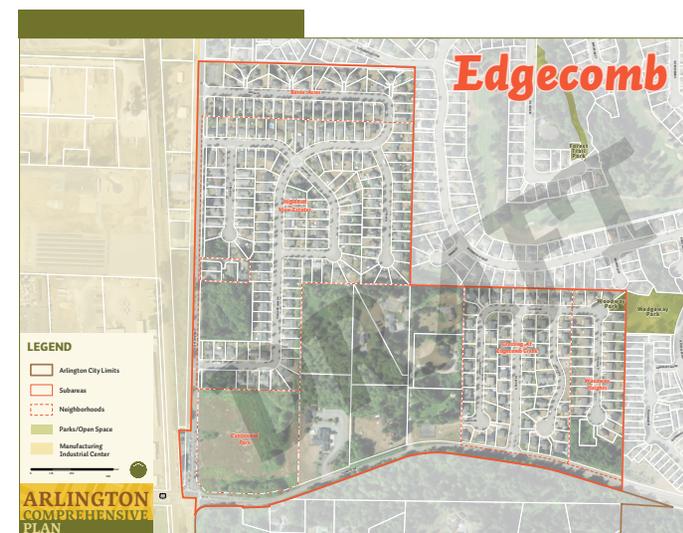
Edgecomb's critical areas are comprised of moderate slopes from the northwest boundary stretching diagonally to the southeast boundary.

There are no bike paths, public transportation, or heritage trees. There are several wetlands and Edgecomb Creek runs along the southern boundary of the subarea.

Neighborhoods

- » The neighborhoods in Edgecomb are the following:
 - Bovee Acres
 - Centennial Park
 - Crossing at Edgecomb Creek
 - Highland View Estates
 - Woodway Heights
- » More information about the neighborhoods can be found in Appendix A.

Figure SU-05: Map of Edgecomb



Gateway

Vision

In 2044 rightly named the Gateway subarea is the entry way into not only Kent Prairie, but also Old Town Arlington. With River View Park in this subarea, mixed-use development, and retail opportunities, Gateway provides Arlington with a vibrant environment with diverse entertainment and housing.

Existing Conditions

Gateway is a small subarea covering 0.18 square miles, located in the northwest corner of Arlington.

State Route 530 runs along the northern boundary of the subarea, 67th Ave NE creates the eastern boundary, and 59th Ave NE is situated in the western portion of the subarea. Most sidewalks present in the subarea are categorized as active sidewalks. There are three zoning designations across Gateway. The northwest area of Gateway is zoned General Commercial, the central area, making up the majority of Gateway, is zoned Residential Low Capacity, and the eastern side of Gateway is zoned as Neighborhood Commercial.

Moderate and severe slopes run diagonally through the center of Gateway as well as along the northeast boundary of this subarea. Along the northeast edge of Gateway there is also a small area of wetland in this region.

There are no trails, bike paths, public art, heritage trees, or public transit in the subarea.

Neighborhoods

- » The neighborhoods in Gateway are the following:
 - Arlington Ridgeview Estates
 - Campbell & Roach Addition
 - Elite Estates
 - Highland Bluff
 - Highland Bluff Condo
 - Peterson
 - Pioneer Meadows Division 1
 - Pioneer Meadows Division 2
 - Pioneer Meadows Division 3
 - Ronning Road
 - Willard Condo
- » More information about the neighborhoods can be found in Appendix A.

Figure SU-o6: Map of Gateway



Gleneagle

Vision

In 2044 Gleneagle boasts beautiful open space and educational resources. Home to Forest Trail Park, Wedgewood Park, a golf course, and Pioneer Elementary School, the Gleneagle subarea is an asset to the City of Arlington. The northwestern mixed-use development and its retail opportunities further diversifies all that Gleneagle has to offer.

Existing Conditions

Gleneagle is a golf course community, located in the southeastern part of the City. The subarea covers 0.7 square miles. Gleneagle spans from 188th St NE in the north to 172nd St NE in the south. Highway 9 creates the eastern border and 67th Ave NE creates the western border.

There are several locations of interest in Gleneagle. Pioneer Elementary School is in the northeastern corner and there is one public art piece near the northwest corner, a sculpture titled “Eagles Come Home.” Gleneagle Golf Course can be found in the center of the subarea and there are two parks, Wedgewood Park in the south and Forest Trail Park runs alongside the golf course.

There are several main roads that allow

access to Gleneagle and create connections to the rest of the City. Eaglefield Dr goes west to east across the subarea and connects to Highway 9, near Pioneer Elementary. On the west side, Eaglefield Dr turns into W Country Club Dr and then E Country Club Dr creating a loop in the center of the subarea. Gleneagle Blvd links Gleneagle to the surrounding subareas by connecting to 172nd St NE at the southern border and Woodlands Way creates a connection between W Country Club Dr and 67th Ave NE.. Nearly all roads in Gleneagle have sidewalks except for some residential streets in the northwest.

A large majority of Gleneagle is zoned Residential Low Capacity. The exceptions are three Public/Semi-Public zoned areas and one small section zoned Neighborhood Commercial in the northwest corner of the subarea.

Both the Edgecomb Tributary and the left fork of Prairie Creek are parallel to one another and flow north through the subarea. There are no wetlands in the subarea. There are moderate slopes in a majority of the subarea and there are severe slopes found in the northwest corner.

There are no trails, no bike paths, no heritage trees, and no public transportation in the subarea.

Gleneagle



Figure SU-07: Map of Gleneagle

Neighborhoods

- » The neighborhoods in Gleneagle are the following:
 - Gleneagle Division 1 Sector 1
 - The Woodlands
 - Gleneagle Division 1 Sector 2A
 - Gleneagle Division 1 Sector 3A
 - Gleneagle Division 1 Sector 3B
 - Gleneagle Division 1 Sector 4B
 - Gleneagle Division 1 Sector 4C
 - Gleneagle Division 1 Sector 4D
 - Gleneagle Division 1 Sector 4E
 - Gleneagle Division 2 Sector B PH 1
 - Gleneagle Division 2 Sector B PH 2
 - Gleneagle Division 2 Sector B PH 3
 - Legends at Gleneagle
 - Woodland Greens Condo
 - Woodland Ponds 1 Condo
 - Woodland Ponds 2 Condo
- » More information about the neighborhoods can be found in Appendix A.

Haller City

Vision

In 2044, the Haller City subarea is the northern gateway to the City of Arlington and is located adjacent to the confluence of the north and south forks of the Stillaguamish River. Haller City provides Arlington with public services by being the site for the City's Water Treatment Plant and Wastewater Treatment Plant. Haller City is also home to Haller Park, which is a treasured community asset. This subarea has the main trail head connection for the Centennial Trail and has a vibrant river walk along the Stillaguamish River.

Existing Conditions

Haller City is a small subarea on the northeastern side of Arlington covering 0.06 square miles located. Haller City is nestled between Arlington's Old Town to the south and the Stillaguamish River to the north. Division Street creates the southern boundary of this subarea and Highway 9 NE runs just west of Haller City's western border. Centennial Trail runs along Haller City's western side, running from north to south. Haller Park is situated in the northern portion of Haller City and contains the city's popular splash park. There is also a created stormwater treatment wetland that treats the majority of the Old Town stormwater, and has a walking trail throughout the facility.

The majority of Haller City is zoned Old Town Business District-3, with the western section and area along the Stillaguamish River zoned Public/Semi-Public.

The Cascade District Courthouse is located along the southeast boundary of Haller City. Haller City's western side houses many public utilities such as the Wastewater Treatment Plant and the Sewer Treatment Facility. There are six public art installations in Haller City, concentrated on the western side of the subarea. The subarea does have active sidewalks throughout its boundaries and there is one bus stop near the southeast boundary of Haller City.

In Haller City, the south fork of the Stillaguamish River runs from Haller City's southeast point and runs diagonally to its northern point where it meets the north fork. As for critical areas, there are moderate and severe slopes running from the northwestern corner diagonally to the southeastern corner of Haller City.

There are no heritage trees in the subarea.

Neighborhoods

- » The neighborhoods in Haller City are the following:
 - Coast Condo
 - Gilman Avenue Condo
 - Haller City
 - Riverside Mobile Home Park
 - Stilly Cottages Condo
- » More information about the neighborhoods can be found in Appendix A.

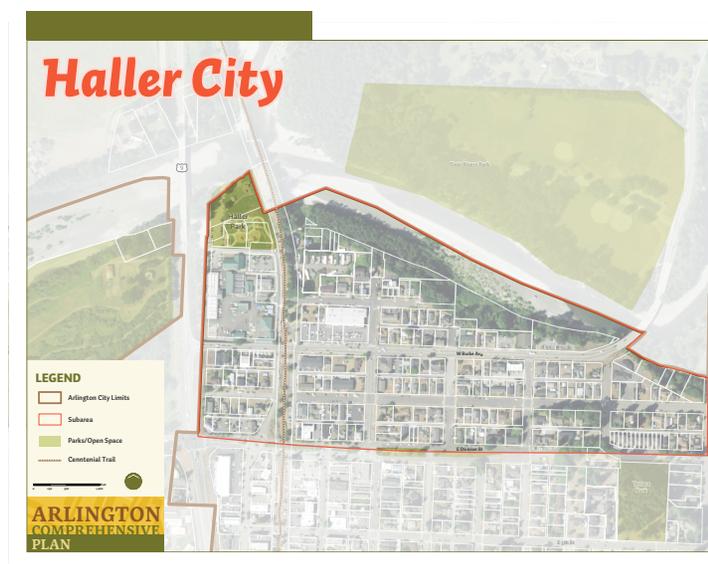


Figure SU-08: Map of Haller City

Hilltop

Vision

In 2044 Hilltop has a diversity of housing types allowing all types of families to call this subarea home. Hilltop is home to many residents of Arlington and has entertainment and retail opportunities for the community.

Existing Conditions

Hilltop, located in the southeast corner of Arlington, is a 0.56 square mile subarea. Hilltop's north and northwestern boundaries are bordered with the subarea of Gleneagle. Its northeastern and eastern boundaries run along the city limits.

Hilltop's land is classified under a variety of zones. North Hilltop is zoned as Residential Low Capacity, the southwestern region is zoned as Residential Ultra Low Capacity, the eastern side of Hilltop is zoned General Commercial as well as Residential High Capacity, and the far east of Hilltop is zoned as Public/Semi-Public.

Hilltop has two primary roads that intersect within the subarea. 172nd St NE runs through the center of Hilltop from west to east and Highway 9 NE runs through the northeastern boundary to the south of the Hilltop boundary.

Most streets within this subarea have active sidewalks and street trees. There is a singular public art display in the roundabout at the intersection of State Route 9/ State Route 531 (172nd St NE).

Prairie Creek runs through Hilltop in the center of this subarea, and the headwaters of Edgcomb Creek are located in this subarea. Moderate slopes are located within the northern region of this subarea and severe slopes are located within the southwest boundary.

There are no bike paths, trails, heritage trees, or public transportation in the subarea.

Neighborhoods

- » The neighborhoods in Hilltop are the following:
 - Dogwood Meadows
 - Eagle Heights
 - Eagle Heights Division 2
 - Eagle Heights Division 2, Lot 1 Replat
 - Gregory Park
 - Magnolia Meadows Division 1 Phase 1
 - Magnolia Meadows Division 1 Phase 2
 - Magnolia Meadows Division 2
 - Magnolia Estates
 - Zahradnik
- » More information about the neighborhoods can be found in Appendix A.

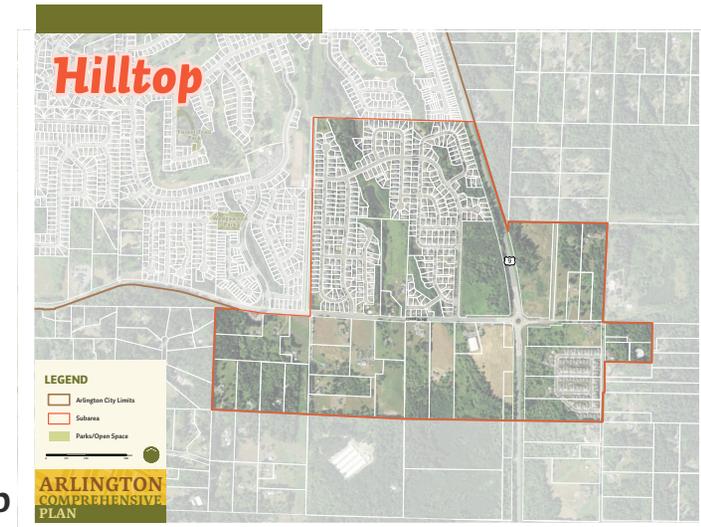


Figure SU-09: Map of Hilltop

Island Crossing

Vision

In 2044, Island Crossing is the initial gateway into Arlington, but also serves as the southern gateway to the North Cascades from I-5. It is an attractive, functional, and commercially viable entryway into the City from I-5 with an iconic panoramic view of agricultural lands and the Cascade foothills. Island Crossing serves as a commercial, retail, and accommodation hub that serves not only the greater Arlington community but those travelling along I-5 as well.

Existing Conditions

Island Crossing is located in the northwest corner of the City at the junction of I-5 and State Route 530. I-5 runs along the west boundary of Island Crossing and State Route 530 runs east-west in the northern portion of the subarea. Bus route 227 runs along Smokey Point Boulevard which creates the eastern boundary of the subarea. The subarea is generally triangle-shaped measuring approximately 0.20 square miles. Each boundary of Island Crossing is also the city limits, surrounded by unincorporated county. There is an entryway sign along State Route 530 welcoming visitors to Arlington.

The vast majority of Island Crossing is zoned Highway Commercial. Along Smokey Point Boulevard at the southern tip of the subarea it is zoned Commercial Corridor District.

Most of the Island Crossing subarea lies within the 100-year floodplain. A sliver of the subarea falls within the 500-year floodplain. Lower Portage Creek runs through the southern portion of Island Crossing and South Slough runs through the center of the subarea. There are also a few steep slopes around the subarea.

There are no parks, sidewalks, bike lanes, trails, or heritage trees in Island Crossing.

Neighborhoods

- » There are no specific neighborhoods in Island Crossing.
- » More information about the subarea can be found in Appendix A.

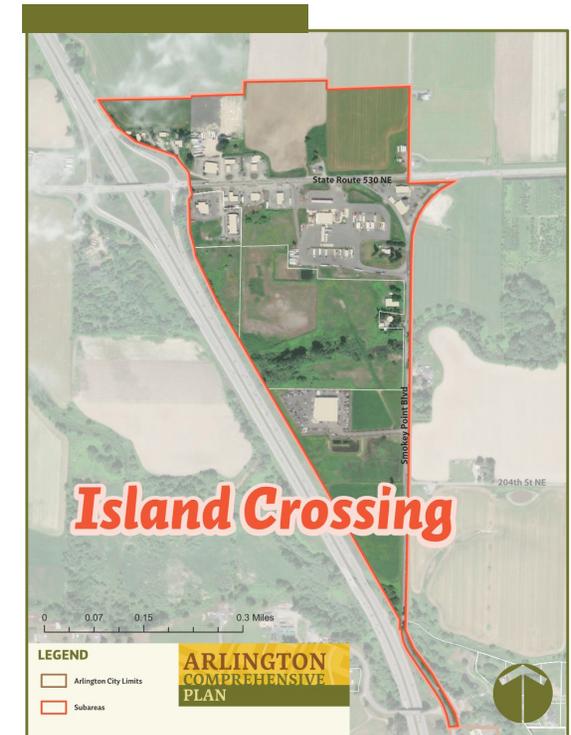


Figure SU-10: Map of Island Crossing

Kent Prairie

Vision

In 2044 Kent Prairie is a lively subarea with easy access to other areas of Arlington. This Subarea is particularly well-connected to Old Town with a recent road improvement project under Highway 9 which has improved the safety for pedestrians and bikers on the Interurban Trail. Businesses in this area are varied and plentiful along both spines of the subarea, Highway 9 and 204th St NE. Mixed-use buildings line 204th St NE, providing diverse housing and job opportunities in this walkable neighborhood. Single family housing, which still dominates the edges of the subarea, Kent Prairie Elementary School, and neighboring Jensen Park attract families to Kent Prairie.

Existing Conditions

Kent Prairie is a subarea in the northeastern part of the City. It is 0.7 square miles large and has a unique shape creating shared boundaries with many other subareas.

Kent Prairie's main east to west connections are E Highland Dr which becomes 212th St NE along the northern boundary of the subarea and 204th St NE becomes 207th St NE in central Kent Prairie. Highway 9 NE bisects the western side of Kent Prairie running north to south. S Stillaguamish Ave turns into Burn Rd and bisects the eastern side of the subarea also running north to south.

Kent Prairie contains many zoning designations. There is a relatively equal distribution of both Residential Low Capacity and Residential High Capacity. There are several Public/Semi-Public spaces including Jensen Park and Kent Prairie Elementary School. There is a large amount of Commercial Corridor and General Commercial on the western side of the subarea and a small portion of Medical Services, part of Cascade Valley Hospital, in the northeast.

Portage Creek has two forks that flow north in Kent Prairie. There are also wetlands in the subarea. Five of the wetlands are alongside Portage Creek. The other two wetlands appear in the eastern half of Kent Prairie. There are severe and moderate slopes present in the southeastern and central eastern parts of the subarea. There are also severe slopes in the northwest corner and across the northern section of Kent Prairie.

There is one park, Jensen Park, located in central Kent Prairie. There are several trails in Kent Prairie including the Zimmerman Hill Climb Trail, Portage/Kruger Creek Trail, Portage Creek Wildlife Trail, and the 204th Trail. The Zimmerman Hill Climb Trail connects Kent Prairie to Crown Ridge. The Portage/Kruger Creek Trail connects Kent Prairie to Old Town.

Sidewalks are present on certain roads in the subarea including S Stillaguamish Ave, Portage St, 207th St NE which turns into 204th St NE, Olympic Place NE, and 77th Ave NE. The local bus runs on 204th St NE/207th St NE and then turns north on S Stillaguamish Ave, connecting Kent Prairie to Old Town. Bus stops are located along the route approximately every ¼ mile.

A variety of public art is present in Kent Prairie. There are many banners along 67th Ave NE, four banners at the Highway 9 and 204th St NE intersection, a mural and a metal salmon art piece on 204th St NE, and a painted cows installation in Jensen Park.

There are no bike paths and no heritage trees in the subarea.

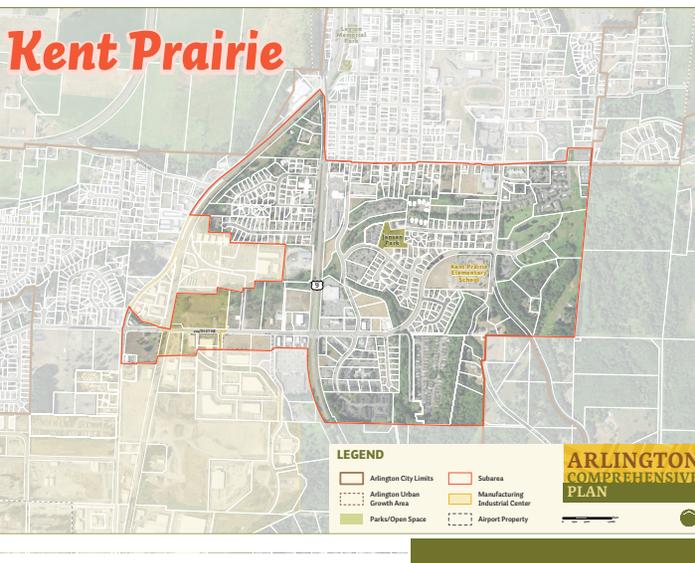


Figure SU-11: Map of Kent Prairie

Neighborhoods

» The neighborhoods in Kent Prairie are the following:

- Alexander/Wriglesworth
- Arlington Retail
- Armstrongs Suburban Acre Tract Replat
- Autumn Park
- Cedar Village Estates
- Cobbs First Addition to Arlington (West of SR 9 Only)
- Crystal Creek Estate
- Eliason
- Farmstead Estate
- Highland Haven Condo
- Jay Three Two
- Jensen Business Park Phase 1
- Jensen Business Park Phase 2
- Jensen Farm Division 1
- Jensen Farm Division 2
- Jensen Farm Division 3
- Kent Prairie 9 & 10 Condo
- Kent Prairie 17, 18, 20 Condo
- Kent Prairie Condo
- Kent Prairie Estates Phase 1
- Kent Prairie Estates Phase 2
- Kona Crest
- Mason
- Maudlin
- McPherson Heights

- Peterson
 - Portage Creek Estates
 - Portage Green Mobile Park
 - Reserve at Arlington
 - Rose Armstrongs Suburban Acre Tract
 - Southbrook Condo Phase 1
 - Stewart
 - The Colony Division 1
 - The Farmstead Estate Condo
 - Wesley Street Condo
 - Whitehorse Medical Center Condo
 - Wisemark Commons
- » More information about the neighborhoods can be found in Appendix A.

Old Town

Vision

In 2044, the Old Town subarea is a bustling section of Arlington that continues to be the central downtown area boasting historic architecture. Home to beautiful heritage trees, County Charm Park, multiple schools, and iconic stores, Old Town captures Arlington's rich history and vibrant community.

Existing Conditions

Old town is the historic downtown of Arlington located in the north part of the city. It is one of the largest subareas, covering one square mile.

Old town's boundaries are defined by Highway 9, or Hazel St, on the western side, E Highland Dr (which turns into 212th St NE) on the southern side, and E Burke Ave and the south fork of the Stillaguamish River on the northern side. Old Town's eastern boundary is the City's eastern boundary and the south fork of the Stillaguamish River.

Points of interest in Old Town include the County Charm Conservation Area, Stillaguamish Valley School, Post Middle School, Eagle Creek Elementary School, Haller Middle School, Presidents Elementary School, and Cascade Valley Hospital. Centennial Trail is also a main asset of Old Town which runs north-south through the subarea on the west side.

There are several parks in Old Town. The parks include Country Charm Park, Terrace Park, Centennial Park, Legion Park, and Lebanon Park. Old Town has a large amount of public art on display including murals, sculptures, a time capsule, a sound garden, and over 75 pieces along Centennial Trail, many being banners. Public art is also located in Terrace Park and the "Leaping Bunnies" sculpture can be seen along East Division St. There are 15 heritage trees in Old

Town all located in the western half of the subarea. There are also street trees seen in parts of Old Town.

Public transit is present and accessible in Old Town. The local bus route runs along S Stillaguamish Ave south of E 1st St, on E 1st St, on N Olympic Ave, and on a small section on E Division to continue north on N Broadway St and then east on E Burke Ave. There are sidewalks on nearly all roads in Old Town which provide pedestrian access. Bike paths are present on a small stretch of E Division St between West Ave and N Broadway St/N MacLeod Ave.

There are three wetlands in the northeastern part of the subarea as well as the south fork of the Stillaguamish River and Eagle Creek. There are moderate and severe slopes throughout Old Town. Two main severe slopes are located in the northeast near Country Charm Park and in central Old Town going towards the southeast.

Old Town's business district is on the western side of the subarea and has three separate zoning designations: Old Town Business District-1, Old Town Business District-2, and Old Town Business District-3. The Old Town Residential District is in the center of the subarea. There are several large Public/Semi Public spaces including County Charm Park in the northeast of the subarea. Medical Services are in the south where Cascade Valley Hospital is located. There is a section of Residential Low Capacity on the eastern side and three sections of Residential High Capacity in the north, central, and southeastern parts of Old Town. A small section of General Commercial is also present in the southwest. This commercial area is mostly located in Gateway to the west of Old Town.

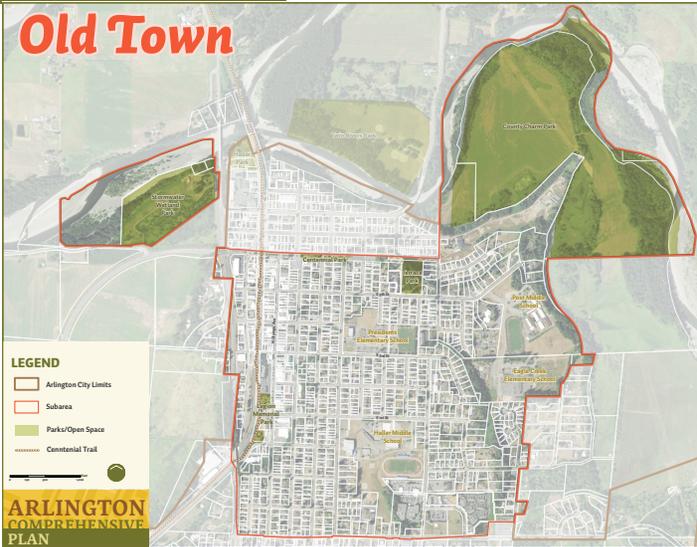


Figure SU-12: Map of Old Town

Neighborhoods

- » The neighborhoods in Old Town are the following:
 - Arlington Cemetery
 - Burgoyne Plat
 - Cascade Medical Center Condo
 - Clums First Addition to Arlington
 - Clums Second Addition to Arlington
 - Cobbs Addition to Arlington
 - Eagle Creek Place
 - French Street South Condo
 - Giffords First Addition to Arlington
 - Gilman Walk
 - Grandview
 - Grandview Homes
 - Green-Thom
 - Kent Ridge
 - Kunze Acreage Tract
 - La Verne Heights
 - Larsen
 - Les' Adret Condo
 - McMahons First Addition to Arlington
 - Norwood Glen Condo Phase 1, 2, & 3
 - Palmers Addition
 - Park Crest East Condo
 - Park Hill Estates
 - Patricia
 - Pied Piper Heights

- The Yarmuth Plat
- Town of Arlington
- Victor Heights Division 1
- Wrage Addition to Arlington
- Wright
- Wrobliski Addition
- » More information about the neighborhoods can be found in Appendix A.

Smokey Point

Vision

In 2044 Smokey Point is a vibrant, walkable, mixed-use district nestled between I-5 and the Cascade Industrial Center. Smokey Point is a hub of Arlington and is well connected to the rest of the City and the region. Multimodal transportation options define the subarea's connectivity. In addition to roads and direct access to I-5, Smokey Point has sidewalks, dedicated and shared bike lanes, local buses, and the Community Transit SwiftGold Line. Smokey Point residents enjoy a variety of housing options, several parks, job opportunities in their neighborhood, and numerous local businesses on the tree-lined Smokey Point Boulevard.

Existing Conditions

Smokey Point covers one square mile of the southwest corner of Arlington. Smokey Point is set between the Cascade Industrial Center to the east and the city limits and I-5 to the west. Smokey Point Blvd, a primary street, runs through the length of the Smokey Point subarea. Smokey Point Blvd is connected to 40th Ave via the 173rd Trail. Currently, this trail is only runs from Smokey Point Blvd to 40th Ave NE but will eventually extend to Airport Blvd, making it an alternate travel route. There are numerous active sidewalks throughout Smokey Point. There is also a bike lane that runs along 172nd St NE. There is a Transit Center along Smokey Point Dr with transit lines that run through the center of Smokey Point from north to south with 19 transit stops along the transit line route. There are street trees and 12 public art displays throughout the Smokey Point subarea.

Smokey Point has several zoning designations which include Residential Low Capacity, Residential Medium Capacity, Residential High Capacity, Residential Moderate Capacity, a Commercial Corridor, and a Public/Semi-Public zone.

Moderate slopes run within the southeast region of the Smokey Point subarea. There are also streams along the southeast corner of the Smokey Point boundary.

There are no heritage trees or wetlands in the subarea.

The City intends to complete a Smokey Point Subarea Plan, affordable housing code update, and transit-oriented development plan, starting in 2025; all of which will address plans for development near the future Community Transit Swift Gold Line station to be located in Smokey Point.



Figure SU-13: Map of Smokey Point

Neighborhoods

» The neighborhoods in Smokey Point are the following:

- Affinity at Arlington
 - Baker-Mor
 - Brickwood
 - Carola Addition
 - Commercial Plat of Tucson
 - Cougar Point 2 & 3 Condo
 - Country Manor 1 Condo
 - Country Manor 2 Condo
 - Cougar Point Condo
 - Dubois Plat
 - English Station East
 - Fir Acres
 - Goldstream
 - Hidden Hamlet
 - Highway Home Sites
 - Inverness Addition
 - Inverness Place
 - Ivel
 - Johnson Tract
 - Justin Estates
 - Kelly Place Condo
 - Linborg
 - Marsand 1, 2, & 3 Condo
 - Park Central Condo
 - Pilchuck Plaza Condo, Phase 1 & 2
 - Point Riley
 - Pony Estates
 - Professional Services Center Condo
 - Sapphire
 - Smokey Point
 - Smokey Point 18617 Condo
 - Smokey Point Estates 3A & 4A Condo
 - Smokey Point Mobile/RV Park
 - Smokey Point Meadows
 - Smokey Point Shopping Center
 - Smokey Point Townhomes, A Condo
 - Still Scene Estates
 - Stoneway
 - Taylor
 - Timber Park
 - Timbergrove
 - Totem Park
 - Totem Park Division 2
 - Totem Park Division 3
 - Totem Park Division 4
 - Townhouses at The Point Condo
 - Trellis Court
 - West Coast
 - Whispering Breeze
- » More information about the neighborhoods can be found in Appendix A.

West Bluff

Vision

In 2044, the recent annexation of the urban growth area between the western and eastern West Bluff connects the previously disconnected subarea into a continuous one. West Bluff is primarily a residential subarea. Businesses are concentrated along its western boundary. The subarea offers diverse housing options and opportunities for further housing diversification.

Existing Conditions

The West Bluff subarea is 0.65 square miles. West Bluff is unique from Arlington's other subareas in that it is split into two by the City's urban growth area, therefore, there is a section of West Bluff in the northwest region of the City as well as a section just to the east. West Bluff is bordered by the Cascade Industrial Center along its southern and eastern boundaries and follows the city limits to the north.

The western West Bluff subarea is made up of three zones, largely Commercial Corridor with some Business Park and Residential Medium Capacity zoned areas. The eastern West Bluff subarea is comprised of two zones, Residential Low Capacity and Residential Moderate Capacity.

Both parts of West Bluff's subarea have a main road running through or along their boundaries. The western West Bluff has Smokey Point Blvd running through it and the eastern West Bluff has Cemetery Road running through it. Western West Bluff subarea has one bus stop located at its southern side and one transit line running through Smokey Point Blvd. The eastern West Bluff subarea has seven bus stops as well as transit lines running through 46th Ave NE, 47th Ave NE, and Cemetery Road. Western West Bluff has active sidewalks located within the southwest side concentrated nearer to the Residential Medium Capacity zoned area. Eastern West Bluff has

active sidewalks along the majority of its residential sidewalks. West Bluff has a city park located in the northeast region of eastern West Bluff and street trees can be found throughout both sections of West Bluff. Portage Creek runs through the eastern West Bluff and travels across the northern boundary of western West Bluff.

While there are no wetlands within the West Bluff subarea, there are significant wetlands north of both sections of the subarea. The western West Bluff subarea has slopes from the northern most point of West Bluff that are moderate and severe running along the north diagonally to West Bluff's southwest point. The eastern West Bluff has moderate and severe slopes running throughout the subarea as well.

There are no bike paths, trails, public art, or heritage trees in West Bluff.

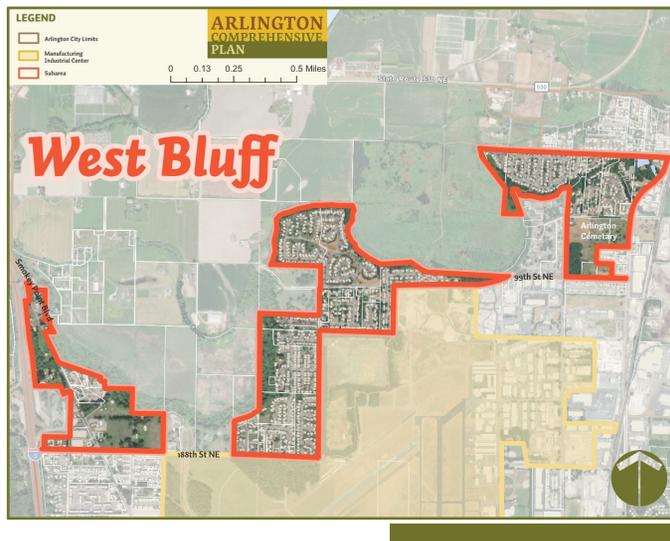


Figure SU-14: Map of West Bluff

Neighborhoods

» The neighborhoods in West Bluff are the following:

- 6511 206th Pl NE Condo
- Arlington Cemetery/Robb Division/
Hardwood Cemetery
- Brotten
- Cedar Village 2
- Cedar Village 3
- Cemetery Road Condo
- Claridge Court 1
- Claridge Court 2
- Cote
- Evergreen Meadows
- Grove Estates
- Grove Place Condo
- Grove Place Townhomes
- Heartland
- High Clover Park Div 1
- High Clover Park Div 2
- Janisko
- McEwen
- Peterson
- Pioneer Estates
- Prairie Creek Condo
- Prospect Point
- River Crest Estates
- Ronning
- Sau Turn Division 2

- Smith
 - Sky-Blue Estates
 - Smokey Point Crest Condo
 - Smokey Point Warehouse Condo
 - Sweet Water
 - Terah/ Marie
 - The Bluff at Arlington Condo
 - Town Houses at the Point Condo
2018-188th St
 - Walnut Ridge 1
 - Walnut Ridge 2
 - Wuthering Heights
- » More information about the neighborhoods can be found in Appendix A.

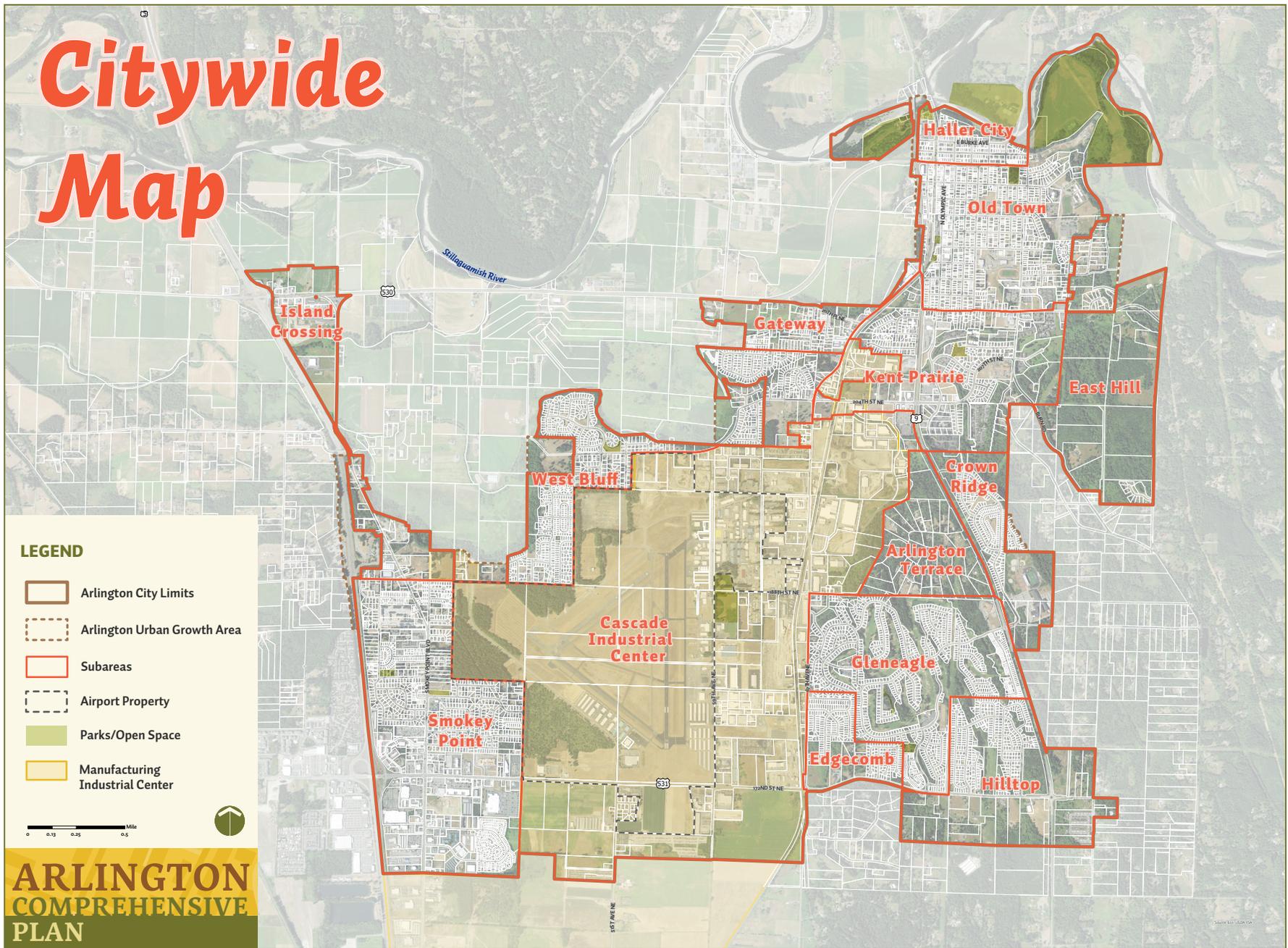


Figure SU-15.
Citywide Subareas Map