

A PORTION OF SECTION 16, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

LEGEND

- PROJECT BOUNDARY
- ZONING LINE
- SECTION LINE
- PROPOSED R/W LINE
- EXIST'G R/W LINE
- EASEMENT LINE
- EXISTING EASEMENT LINE
- EXISTING PARCEL LINE
- BUILDING SETBACK
- EXISTING PAVEMENT
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- CLEARING LIMIT
- EXISTING SEWERLINE
- EXISTING WATERLINE
- EXISTING POWERLINE
- EXISTING GAS LINE
- PROPOSED PAVED AREA
- PROPOSED SIDEWALK
- EXISTING POWER POLE
- ALLAN BLOCK WALL
- EXISTING FENCE
- PROPOSED SPLIT RAIL FENCE
- Existing Trees to remain (typ)
- Existing Trees to be removed (typ)

LAND DISTURBING AREA

Total Site Area	846,691 sf (19.44 ac)
Impervious Area	
Aisle / Parking / Walk	177,169 sf
ROW (Road & Walk)	36,046 sf
PGIS Total	213,215 sf
Roof A & B NPGIS	174,213 sf
Total Impervious	387,428 sf
Land Disturbing Activity	
Conceptual Area of Disturbance B	471,926 sf
Site Grading*	
Cut	3,600 cy
Fill	41,500 cy

*Note: Grading quantities based on Engineer's surface to surface take-off and should be considered an estimate only.

AQUIFER RECHARGE/ WELL HEAD PROTECTION
Low, Over 100 ft.

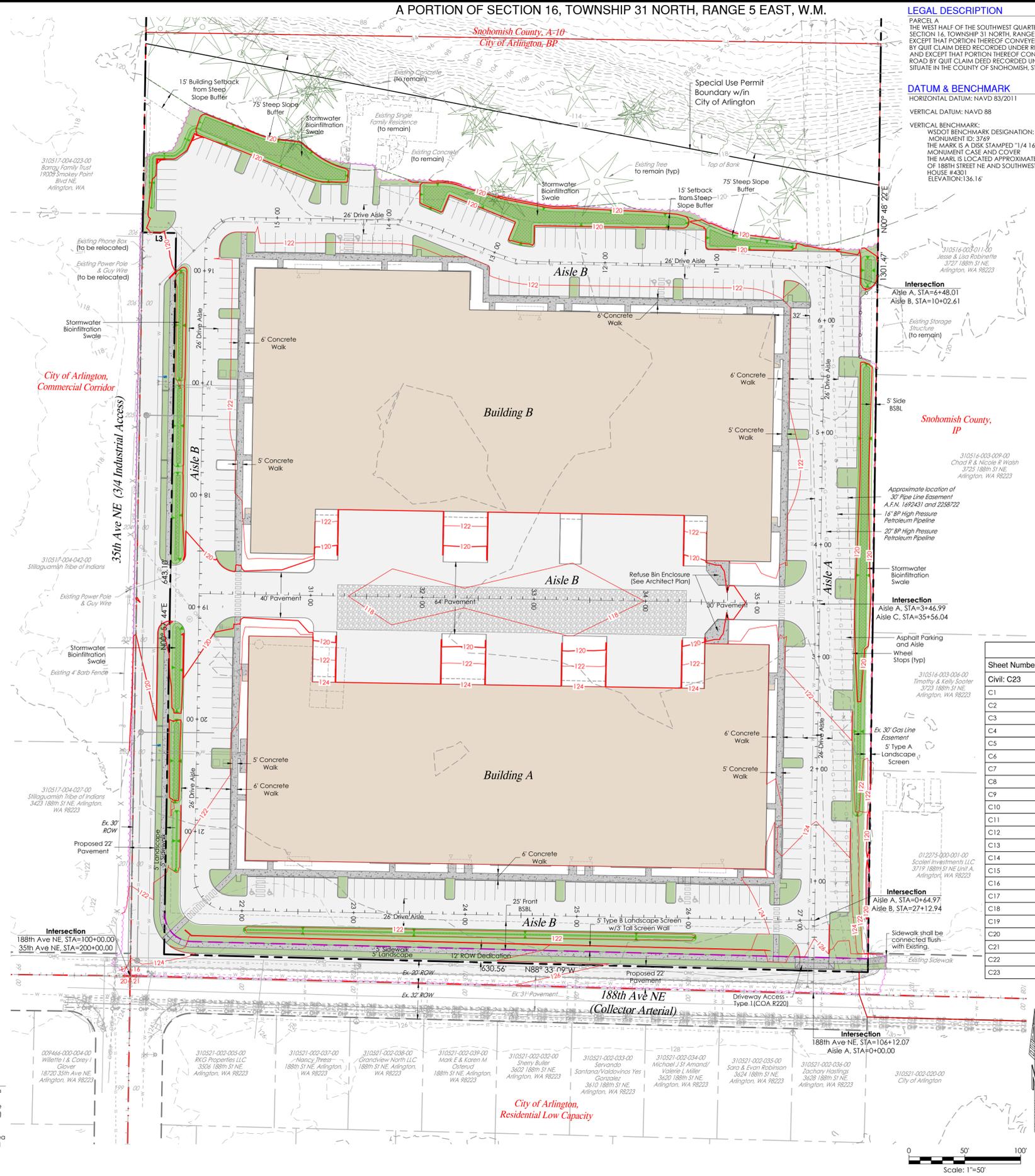
SOILS
LYNNWOOD LOAMY SAND;
Hydrologic Soil Group: A
Compact Fill Area to 95% Modified Proctor

CALL AT LEAST 2 BUSINESS DAYS BEFORE YOU DIG 1-800-424-5555

CONTRACTOR NOTE:
It is the responsibility of the Contractor and Construction Manager to ensure that all conflicts between plan sets are identified and resolved prior to commencement of construction activities.

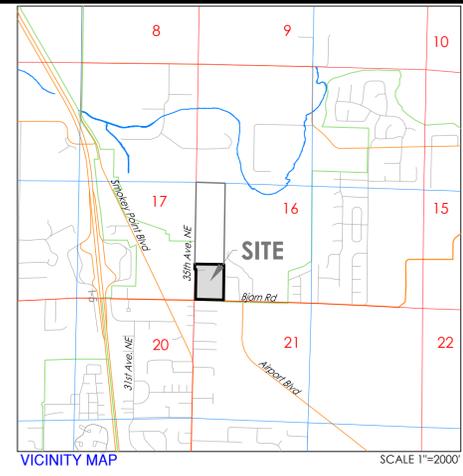
NOTE: The engineer has reviewed all As-Built and GIS information available to identify existing utilities. It is essential that the contractor "Dig Dig" before any excavation begins. Utilities are to be "potholed" by the Contractor before excavation near the areas where utilities may be present. Engineer to be notified if location or inverts vary from information on plans.

ARCHAEOLOGICAL RESOURCE DISCOVERY:
If at any time during construction archaeological resources are observed on the project site, work shall be temporarily suspended at the location of discovery and a professional archaeologist should document and assess the discovery. The Department of Archaeology and Historic Preservation (DAHP) and all concerned tribes must be contacted for any issues involving Native American sites. If project activities expose human remains, either in the form of burials or isolated bones or teeth, or other mortuary items, work in that area must be stopped immediately. Local law enforcement, DAHP, and affected tribes must be immediately contacted, no additional excavation may be undertaken until a process has been agreed upon by these parties, and no exposed human remains may be left unattended.



LEGAL DESCRIPTION
PARCEL A THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 31 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN EXCEPT THAT PORTION THEREOF CONVEYED TO SNOHOMISH COUNTY FOR ROAD BY QUIT CLAIM DEED RECORDED UNDER RECORDING NO. 191747 AND EXCEPT THAT PORTION THEREOF CONVEYED TO SNOHOMISH COUNTY FOR ROAD BY QUIT CLAIM DEED RECORDED UNDER RECORDING NO. 282428. SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

DATUM & BENCHMARK
HORIZONTAL DATUM: NAVD 83/2011
VERTICAL DATUM: NAVD 88
VERTICAL BENCHMARK: WSDOT BENCHMARK DESIGNATION: Q COR 16/21
MONUMENT ID: 3769
THE MARK IS A DISK STAMPED "1/4 16/21 95" AND SET 13 CM BELOW THE MONUMENT CASE AND COVER THE MARK IS LOCATED APPROXIMATELY 80 CM NORTH FROM THE CENTERLINE OF 188TH STREET NE AND SOUTHWEST FROM THE SOUTHWEST CORNER OF HOUSE #4301 ELEVATION: 136.16'



- GENERAL NOTES**
- PRECISION OF CONTROL TRAVERSE IS AT HIGHER LEVEL THAN MINIMUM STANDARDS REQUIRED BY WAC 332-130-090
 - FIELD SURVEY CONDUCTED USING A COMBINATION OF GPS USING THE WASHINGTON STATE REFERENCE NETWORK (WSRN) AND/OR A 3 SECOND DIRECT READING TOTAL STATION. METHOD: GPS, TRAVERSE AND RADIAL SURVEY
 - ALL DISTANCES ARE IN FEET
 - THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON MAY 5, 2022. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN MAY OF 2022.
 - TOPOGRAPHIC INFORMATION FOR ALL OF PARCEL B AND THE PORTION OF PARCEL A LYING NORTH OF THE TOP OF SLOPE, AS SHOWN ON SHEET 3 OF THIS SURVEY, IS SHOWN PER REFERENCE 2. VERTICAL AND HORIZONTAL INFORMATION WAS VERIFIED IN THE FIELD.

- REFERENCES**
- PLAT WALNUT RIDGE, DIVISION 2, PPN-02-109857 SD.

- RESTRICTIONS**
- THIS SITE IS SUBJECT TO EXCEPTIONS AND RESERVATIONS CONTAINED IN A DEED FOR OIL, GASES, COAL, ORES, MINERALS, FOSSILS, ETC., AS DISCLOSED BY INSTRUMENT RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 147799.
 - THIS SITE IS SUBJECT TO A WAIVER OF ANY CLAIMS FOR DAMAGES TO SAID LAND BY REASON OF LOCATION, CONSTRUCTION, LANDSCAPING OR MAINTENANCE OF THE STREET OR HIGHWAY ADJOINING SAID LAND, AS CONTAINED IN THE DEED RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 282428.
 - THIS SITE IS SUBJECT TO AN EASEMENT FOR DRAINAGE DITCH, AS DISCLOSED BY INSTRUMENT RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 846741.
 - THIS SITE IS SUBJECT TO TERMS AND CONDITIONS OF AN AGREEMENT FOR DRAINAGE DITCHES AND CULVERTS, AS DISCLOSED BY INSTRUMENT RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 1268844.
 - THIS SITE IS SUBJECT TO A PIPE LINE EASEMENT, AS DISCLOSED BY INSTRUMENT RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 1692431.
 - THIS SITE IS SUBJECT TO A PIPE LINE EASEMENT, AS DISCLOSED BY INSTRUMENT RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 2258722.
 - THIS SITE IS SUBJECT TO AN ELECTRICAL TRANSMISSION AND/OR DISTRIBUTION LINE EASEMENT, AS DISCLOSED BY INSTRUMENT RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 950960021.
 - THIS SITE IS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, AS SET FORTH ON SURVEY RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 201107115001.

Sheet List Table

Sheet Number	Sheet Title
Civil: C23	
C1	Civil Site Plan
C2	Construction Notes
C3	Existing Conditions Map & Tree Survey
C4	Clearing & TESC Plan
C5	Grading Plan
C6	Grading & TESC Details
C7	Site Cross Sections
C8	Site Cross Sections
C9	188th St. NE - Frontage Improvements Plan
C10	188th St. NE - Cross-Sections
C11	35th Ave. NE - Frontage Improvements Plan
C12	Aisle A Plan & Profile
C13	Aisle B Plan and Profile - Sta. 10+00 to 16+00
C14	Aisle B Plan and Profile - Sta. 16+00 to 21+65
C15	Aisle B Plan and Profile - Sta. 21+65 to 27+15.70
C16	Aisle C Plan and Profile
C17	Road Details
C18	Stormwater Management Overview Plan
C19	Stormwater Management Plan and Profile
C20	Emergency Overflow Plan and Profile
C21	Stormwater Management Details
C22	Water Plan
C23	Sewer Plan and Profile

PROJECT INFORMATION

Tax Parcel Numbers	310516-003-005-00
Total Area	846,691 sf (19.44 ac)
Special Use Permit Area	471,935 sf (10.83 ac)
City of Arlington	GPP Designation
Existing Zoning	BP (Business Park)
Existing Land Use	Single Family Residential
Proposed Land Use	Office/Warehouse/ Manufacturing
Airport Protection	B & C
District Subdistrict	
Height Limitation	50-ft
Proposed Height	32'-10"
Max Lot Coverage	100%

LOCAL SERVICES

Sewage Disposal:	City of Arlington
Water District:	City of Arlington
School District:	Arlington School District
Fire District:	North County Fire And EMS
Post Office:	City of Arlington
Electric:	PUD
Phone:	Ziply
Cable:	Zenby/Wave
Gas:	Cascade Natural Gas

CONTACT PERSON
Land Technologies Inc.
Merle Ash
18820 3rd Ave. NE
Arlington, WA 98223
360.652.9727
merle@landtechway.com

ENGINEER
Land Technologies, Inc.
Tyler S. Foster, P.E.
18820 3rd Ave NE
Arlington, WA 98223
360.652.9727
tyler@landtechway.com

OWNER
Smokey Point Industrial LLC
3505 188th Ave. NE
Arlington, WA 98223
206.550.1538

SURVEYOR
North Peak Associates LLC
Steven C. Berg, P.L.S.
17270 Woodville Redmond Rd Ne Ste 705
Woodville, WA 98072
206.601.4682

CITY OF ARLINGTON
CONSTRUCTION DRAWING REVIEW ACKNOWLEDGEMENT
THIS PLAN SHEET HAS BEEN REVIEWED AND EVALUATED FOR GENERAL COMPLIANCE WITH THE CITY OF ARLINGTON CODES AND ORDINANCES. CONFORMANCE OF THE DESIGN WITH ALL APPLICABLE LAWS AND REGULATIONS IS THE FULL AND COMPLETE RESPONSIBILITY OF THE LICENSED DESIGN ENGINEER WHOSE STAMP AND SIGNATURE APPEAR ON THIS SHEET. ACKNOWLEDGMENT OF CONSTRUCTION DRAWING REVIEW DOES NOT IMPLY CITY APPROVAL FOR CONSTRUCTION ACTIVITIES THAT REQUIRED OTHER COUNTY, STATE OR FEDERAL PERMIT REVIEW AND APPROVAL. THE PROPERTY OWNER AND LICENSED DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE ACQUISITION AND COMPLIANCE OF ALL APPLICABLE PERMITS AND/OR AUTHORIZATIONS WHICH MAY INCLUDE BUT ARE NOT LIMITED TO, WSDWP HYDRAULIC PROJECT APPROVAL (HPA), WSDOE NOTICE OF INTENT (NOI), ARMY CORPS OF ENGINEERS FILL PERMITS AND THE REQUIREMENTS OF THE ENDANGERED SPECIES ACT.

DEVELOPMENT SERVICES MANAGER
BY: _____ DATE: _____
THESE APPROVED CONSTRUCTION PLANS EXPIRE AFTER 18 MONTHS FROM THE DATE SHOWN ABOVE OR UPON EXPIRATION OF PRELIMINARY PLAT OR SITE PLAN APPROVAL.

LAND TECHNOLOGIES
18820 Third Avenue, N.E.
Arlington, WA 98223
360-652-9727

PROJECT LEAD: Merle Ash
CHECKED BY: Tyler S. Foster
DRAWN BY: Alex Meier
DATE: July 23, 2024
REVISION 1: July 23, 2024
REVISION 2: July 23, 2024
REVISION 3: July 23, 2024
REVISION 4: July 23, 2024
AS-BUILT: _____

SMOKEY POINT INDUSTRIAL LLC
3505 188th Ave NE, Arlington, WA 98223
A PORTION OF SECTION 16, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

SMOKEY POINT INDUSTRIAL
3505 188th Ave NE, Arlington, WA 98223

CIVIL SITE PLAN

SHEET
C1 of C23
22x34
PWD-3701

LEGEND			
	Boundary Line		Design Path
	Design Right-of-Way Line		Design Water Line
	Existing Right-of-Way Line		Existing Water Line
	Design Major Contour Line		Design/Existing Water Hydrants
	Existing Major Contour Line		Design/Existing Water Fittings
	Design Minor Contour Line		Design Drainfield
	Existing Minor Contour Line		Design Fence
	Phase Line		Existing Fence
	Design Tract Line		Existing Wetland Line/Hatch
	Design Lot Line		Design Buffer Line/Hatch
	Existing Lot Line		Existing Buffer Line/Hatch
	Design Easement Line		Existing Section Line
	Existing Easement Line		Existing Section Symbol
	Design Road Centerline		Existing Power Line
	Existing Road Centerline		Existing Power Symbol
	Site Benchmark		Existing Telephone Line
	Existing Benchmark		Existing Telephone Symbol
	Design Edge of Asphalt		Existing Gas Line
	Existing Edge of Asphalt		Existing Gas Symbol
	Design Sidewalk		Existing Flow Path
	Existing Sidewalk		Existing Tree Drip Line
	Design Driveway Line/Hatch		Design Shed Dispersion
			Design Drainage Basin
			Design Swale Line
			Existing Ditch Line
			Design Sanitary Sewer Line
			Existing Sanitary Sewer Line
			Design/Existing Sanitary Sewer Manhole
			Design/Existing Sanitary Sewer Clean-out
			Design Sanitary Side Sewer
			Design Area of Disturbance
			Design Temporary Silt Fence
			Temporary Construction Entrance
			Existing Soil Log
			BMP Designations
			Designed Bio-Retention Cell
			Designed Bio-Retention Cell Lined
			Road Drain Dispersion w/100' Flow Path
			NGPA signs

ADA CONSTRUCTION NOTES:

- ADA NOTES:**
The following notes shall apply to hardscape facilities within the public Right-of-Way.
- Unless otherwise specified on the plans, or directed by the City Engineer, cross slopes of sidewalks shall be nominal 1.5%, cross slopes shall not be less than 1% nor exceed 2%.
 - Maximum slopes shown on the plans represent the maximum allowable slopes permitted by current ada requirements. The Contractor shall take into consideration construction tolerances when placing sidewalks to insure maximum slopes are not exceeded.
 - Completed sidewalks or other hardscape elements that exceed maximum specified slopes or are less than minimum specified slopes shall be removed and replaced by the Contractor at the Contractor's expense.

CONTRACTOR NOTE:

It is the responsibility of the contractor and construction manager to ensure that all conflicts between plan sets are identified and resolved prior to commencement of construction activities.

CITY OF ARLINGTON STORM DRAINAGE NOTES:

- All storm drainage improvements shall be constructed in accordance with these approved plans and City Standards and specifications. Any deviation from these plans will require prior approval from the owner, the City Engineer, and other appropriate public agencies.
- All pipe materials shall meet the requirements of the City Standards and Specifications. Acceptable storm drainage pipe materials include concrete, pvc, hdpe, and ductile iron. Corrugated metal pipes (galvanized aluminum or steel) are not accepted by the City. All pipe joints must have gaskets and shall be water tight unless otherwise directed by the City.
- Pipe bedding material shall be 5/8-inch minus crushed gravel for all pipe types, except ductile iron. Bedding material for ductile iron pipe shall meet the requirements of the City's Standards and Specifications (Chapter 4).
- All trench backfill in areas of pavement or structural loading shall be compacted to at least 95% of the maximum dry density. All other areas shall be compacted to at least 90% of maximum dry density.
- All pipe shall be placed on stable earth. If in the opinion of the city inspector, the existing trench foundation is unsatisfactory, then it shall be excavated below grade and backfilled with gravel bedding material to support the pipe.
- Lot drainage systems, stub-outs and any drains behind the sidewalk must be installed as required prior to sidewalk construction. Stub-outs shall be marked with a 2"x4" with 3 feet visible above grade and marked "STORM". Location and depth of these installations shall be shown on the as-built plans submitted to the City.
- All catch basins shall be type 1 unless otherwise shown on the plans and approved by the City. The use and installation of inlets is discouraged.
- All catch basins with a depth of 5 feet (rim to invert) or greater shall be type 2 catch basins equipped with 3/4-inch diameter safety manhole steps or a manhole ladder per City Standard Details.
- All grates shall be marked "outfall to stream - dump no pollutants", all solid cover shall be marked "drain". all catch basins and manholes shall be equipped with locking frames and lids or grates per City Standard Details.
- All grates located in the gutter flow line (inlet and catch basin) shall be "flush" with pavement level.
- The Contractor shall be responsible for adjusting all manhole, inlet and catch basin frames and grates/covers to grade just prior to curb installation and paving.
- All retention/detention facilities shall be installed and in operation prior to, or in conjunction with, all construction activity, unless otherwise approved by the City.
- Detention/retention ponds with side slopes steeper than 3:1 or with a maximum water depth greater than 3 feet shall be enclosed with a vinyl coated chain link fence.
- Bio-filtration swales and/or filter strips shall be constructed, bedded or seeded and in operation prior to, or sodded in conjunction with, asphalt paving. The vegetation in the bio-swale must be well established before paving begins.
- Storm water retention/detention facilities, storm drainage pipe and catch basins shall be flushed and cleaned by the Developer prior to the City's acceptance of the project.
- When infiltration facilities are constructed, compaction of soil is not allowed, as the design is based on natural soil in the original location. Vehicles shall not be driven over the infiltration area during construction.
- If the contractor encounters groundwater or soil conditions different from that shown in the plans during infiltration system installation, the contractor shall notify the city inspector.

GENERAL NOTES

- All work and materials shall conform to the current edition of the City of Arlington Public Works Standards and Specifications, and the current edition of the Washington State Department of Transportation (WSDOT) Standard Specifications for road, bridge, and municipal construction. A copy of these documents shall be on site during construction.
- It is the sole responsibility of the Developer/Contractor to obtain a grading permit, right-of-way permit, and utility permits, from the City. All required permits from other agencies must also be obtained by the Developer/Contractor.
- Prior to any construction activity, the Developer/Contractor shall attend a pre-construction conference with the City. The Contractor shall schedule the pre-construction conference by calling (360) 403-3500. Prior to scheduling, the Contractor must submit and receive approval for the traffic control plan, city permits, temporary erosion and sediment control plan, performance bond, copy of other agency permits, a copy of the contractor's license, and proof of insurance coverage.
- A copy of the approved construction plans must be on the job site when construction is in progress.
- All site work shall be constructed in accordance with the approved plans. Any deviation from the approved plans will require prior approval from the Owner, the City Engineer, and other appropriate public agencies.
- All of the locations of the existing utilities shown in the plans have been established by field survey or obtained from available records and shall therefore be considered approximate and not necessarily complete. It is the sole responsibility of the Contractor to independently verify the accuracy of all utility locations.
- The Contractor shall locate and protect all castings and utilities during construction and shall contact the underground utilities locate service (1-800-424-5555 or 811) at least 48 hours prior to construction.
- Inspection and acceptance of all work will be accomplished by representatives of the City of Arlington. It shall be the Contractor's responsibility to coordinate and schedule appropriate inspections, allowing proper advance notice. The inspector may require removal and replacement of items that do not meet City Standards or were constructed without inspection.
- The Contractor shall keep the on-site and off-site streets clean at all times by cleaning with a sweeping and/or vacuum truck. Washing of these streets will not be allowed without prior approval from the City Inspector.
- The Contractor shall maintain two (2) sets of "as-built" plans showing all field changes and modifications. Immediately after construction completion, the Contractor shall deliver both copies of re-rolled plans to the City. The City will forward one of the copies to the design Engineer.

EROSION/SEDIMENTATION CONTROL NOTES:

- Approval of the Temporary Erosion/Sediment Control (TESC) plan does not constitute an approval of permanent road or storm drainage design.
- A TESC plan meeting the DOE Storm Water Management Manual adopted by the City shall be submitted to the City for approval prior to any work on the site. An approved copy must be maintained on-site and be readily available to the City Inspector at their request.
- The TESC BMP's shown on the plan must be installed prior to all other clearing and grading activities, and in such a manner as to ensure that sediment-laden water does not enter the drainage system, leave the site, or violate applicable water quality standards, maintenance, replacement, and upgrading of the TESC plan is the responsibility of the Contractor until all construction is complete and approved by the City.
- The boundaries of the clearing limits, shown on the TESC plan, shall be clearly fenced or flagged in the field prior to starting construction. No disturbance beyond the fenced or flagged clearing limits shall be permitted. The fencing and/or flagging shall be maintained by the Contractor for the duration of the construction project.
- The TESC facilities shown on the plans are the minimum requirements for the anticipated site construction. During the construction period, these TESC facilities shall be upgraded and added to as needed, for unexpected storm events and to reflect changed conditions, as required by the City.
- The Contractor shall provide the city a 24-hour emergency contact phone number of the Contractor's certified erosion control supervisor prior to starting construction.
- The TESC facilities shall be inspected daily by the Contractor and maintained as necessary to ensure continued function and operation.
- Between October 1 and April 30, disturbed areas that are to be left unworked for more than two (2) days shall be immediately covered by mulch, sod or plastic covering, between may 1 and September 30, disturbed areas that are to be left unworked for more than seven (7) days shall be immediately covered by seeding or other approved methods.
- Sediment deposits shall be removed from all Catch Basins, Pre-treatment/Sediment Pond, and sediment Traps upon reaching a depth of 12 inches.
- any permanent retention/detention facility used as a temporary settling basin shall be modified with the necessary erosion control measures, shall provide adequate storage capacity, and shall be cleaned out entirely once the site is stabilized. If the permanent facility is to ultimately function as an infiltration system, the facility shall not be used as a temporary settling basin.
- where seeding for temporary erosion control is required, fast germinating grasses shall be applied at an approximate rate of 120 lbs per acre.
- where straw mulch for temporary erosion control is required, it shall be applied at a minimum thickness of 3 inches, or 3,000 pounds per acre.
- Soil stockpiles shall be stabilized within 24 hours. When actively working with the soil stockpile, stabilization BY GROUND COVER BMPs shall occur at the end of each work day.
- Stabilized construction entrances shall be installed at the beginning of construction and maintained for the duration of the project. Additional measures may be required to insure that all paved areas are kept clean for the duration of the project.
- Maintenance and repair of TESC facilities and structures shall be conducted immediately upon recognition of a problem or when the TESC measures become damaged.
- Upon completion of the project, all bmp's shall be removed from the site and right of way. If bmp's are required to remain in place for further protection, arrangements for removal shall be made with the city inspector.

CONSTRUCTION SEQUENCE

- Implementation and sequence of Erosion Control BMPs is presented along with construction sequence:
- Arrange and attend a pre-construction meeting with City staff, the on-site erosion control specialist, the design engineer, and owner.
 - Delineate or mark the following areas and features on the site:
 - Clearing limits;
 - Critical areas and their buffers;
 - Erosion or landslide hazard areas and their setbacks;
 - Easements;
 - Required landscaping, and tree retention and replacement areas;
 - Other areas on the site required preservation or protection;
 - Install construction zone road signs.
 - Grade and install construction entrance(s) and provide parking area stabilization.
 - Establish areas for storage and handling of polluted materials at each pollution source.
 - Control BMPs will be implemented. These include:
 - Placement of silt fence, straw wattles, etc.;
 - Excavation of temporary sediment pond;
 - Install temporary sedimentation measures;
 - Carefully remove trees and vegetative materials from areas to be graded. Grind clearing debris to create a fine-grade chip. Save clean chips for trails and put "sawdust" and finer debris back over areas to be stripped of organic surface soils.
 - Carefully strip areas to be graded of only the upper organic surface soils being cautious not to mix weathered mineral soils with organic surface soils. In un-forested areas the chip cover may be disked into the surface soils before stripping. Stockpile and protect these organic soils as BMP 15, 13 Soils for use in yards and other drainage features.
 - Complete mass grading. Reconstruct sediment-trapping measures as grading progresses. Relineate surface water controls and erosion control measures, or install new measures as site conditions change so as to maintain compliance with City standards.
 - Install Sewer and Water Main to onsite roads.
 - As construction proceeds, install appropriate sediment controls. Grade and stabilize roads and interceptor swales in conjunction with the clearing and grading activity.
 - Implement stabilization measures for disturbed areas, slopes, and material stockpiles.
 - Locate and install infiltration system trench. Plug outlets of catch basins with pipes leading to infiltration systems. Prop solid lids to allow for flow out and surround with wattles or vegetative berms. Clean pipes and CBS after paving and site is fully stabilized before unplugging the conveyance to the infiltration system.
 - Seed and mulch areas to be vegetated using low growing seed mixes as specified.
 - Maintain BMPs until final site stabilization.
 - Final grade, construct and pave roadways. Ensure that the permanent drainage system is complete and functional.
 - Remove any temporary sediment controls when permanent drainage is complete and erosion measures are in place and functional. Add topsoil to roadside flow control BMPs.
 - Unplug pipe system to allow stormwater from fully stabilized site to enter infiltration system.

CALL AT LEAST 2 BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555

CONSTRUCTION DRAWING APPROVAL
THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: _____ DEVELOPMENT SERVICES MANAGER
DATE: _____ THIS APPROVAL VALID FOR 18 MONTHS

SHEET
C2 of C23
22x34
PWD- 3701

LAND TECHNOLOGIES
18820 Third Avenue, N.E.
Arlington, WA 98223
360-652-9727
© Copyright 1993-2024

LAND TECHNOLOGIES
MAKING A WAY OUT OF NO WAY



PROJECT LEAD: Meier
CHECKED BY: Meier
DRAWN BY: Alex Meier
DATE: July 23, 2024
REVISION 1: July 23, 2024
REVISION 2:
REVISION 3:
REVISION 4:
AS-BUILT:

Smokey Point Industrial
3505 188th Ave. NE, Arlington, WA 98223
A PORTION OF SECTION 16, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Smokey Point Industrial LLC
3505 188th Ave. NE, Arlington, WA 98223

CONSTRUCTION NOTES

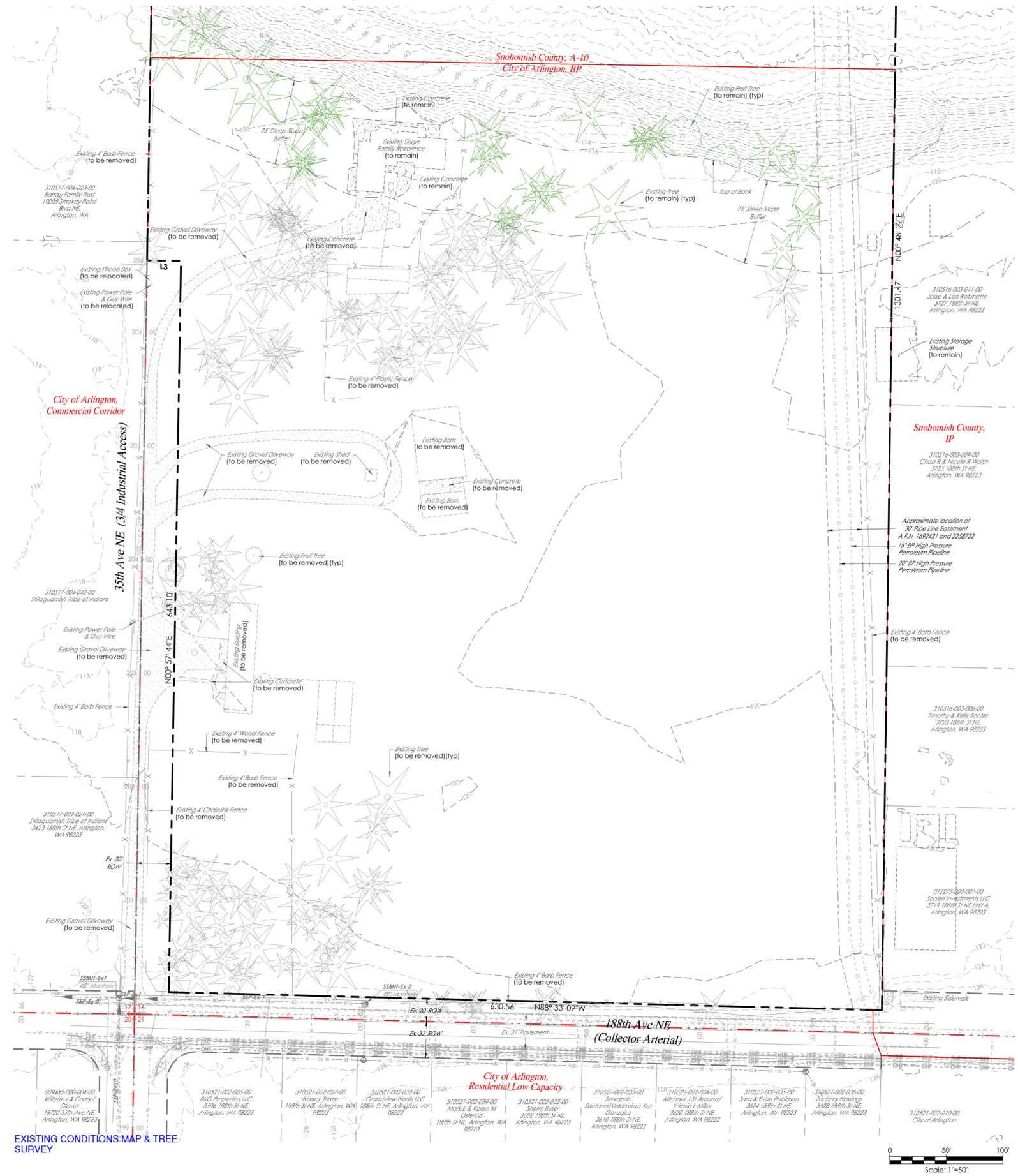
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7/23/2024 10:48 AM

Z:\SMA\RCAP - Smokey Point Industrial\Sheets\C3 Existing Conditions Maps & Tree Survey.dwg

A PORTION OF SECTION 16, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

LEGEND			
	Boundary Line		Existing Section Symbol
	Existing Section Line		Existing Monument
	Existing Right-of-Way Line		Existing Type 1 Catch Basin
	Existing Lot Line		Existing Sanitary Sewer Manhole
	Existing Easement Line		Existing Water Hydrant
	Existing Road Centerline		Existing Water Meter
	Existing Edge of Asphalt		Existing Water Fittings
	Existing Sidewalk		Existing Power Symbol
	Existing Major Contour Line		Existing Telephone Symbol
	Existing Minor Contour Line		Existing Gas Symbol
	Existing Storm Drainage Line		Existing Soil Log
	Existing Ditch Line		Existing Sign
	Existing Water Line		Existing Light
	Existing Fence		Existing Mailbox
	Existing Power Line		Existing Trees to remain (typ)
	Existing Telephone Line		Existing Trees to be removed (typ)
	Existing Gas Line		Existing Fruit Trees to be removed (typ)
	Existing Flow Path		



**AQUIFER RECHARGE/
WELL HEAD PROTECTION**
Low, Over 100 ft.

SOILS
LYNNWOOD LOAMY SAND:
Hydrologic Soil Group: A
Compact Fill Area to 95% Modified Proctor

**CALL AT LEAST 2
BUSINESS DAYS
BEFORE YOU DIG
1-800-424-5555**

CONSTRUCTION DRAWING APPROVAL
THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED
PER THE CONDITIONS ON THE TITLE SHEET.

BY: _____
DEVELOPMENT SERVICES MANAGER

DATE: _____
THIS APPROVAL VALID FOR 18 MONTHS

LAND TECHNOLOGIES
18820 Third Avenue, N.E.
Arlington, WA 98223
360-652-9727

MAKING A WAY OUT OF NO WAY

PROJECT LEAD: Meier
CHECKED BY: Meier
DRAWN BY: Alan Meier
DATE: July 23, 2024
REVISION 1: July 23, 2024
REVISION 2: July 23, 2024
REVISION 3: July 23, 2024
REVISION 4: July 23, 2024
AS-BUILT: July 23, 2024

Smokey Point Industrial
3505 188th Ave NE, Arlington, WA 98223
A PORTION OF SECTION 16, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

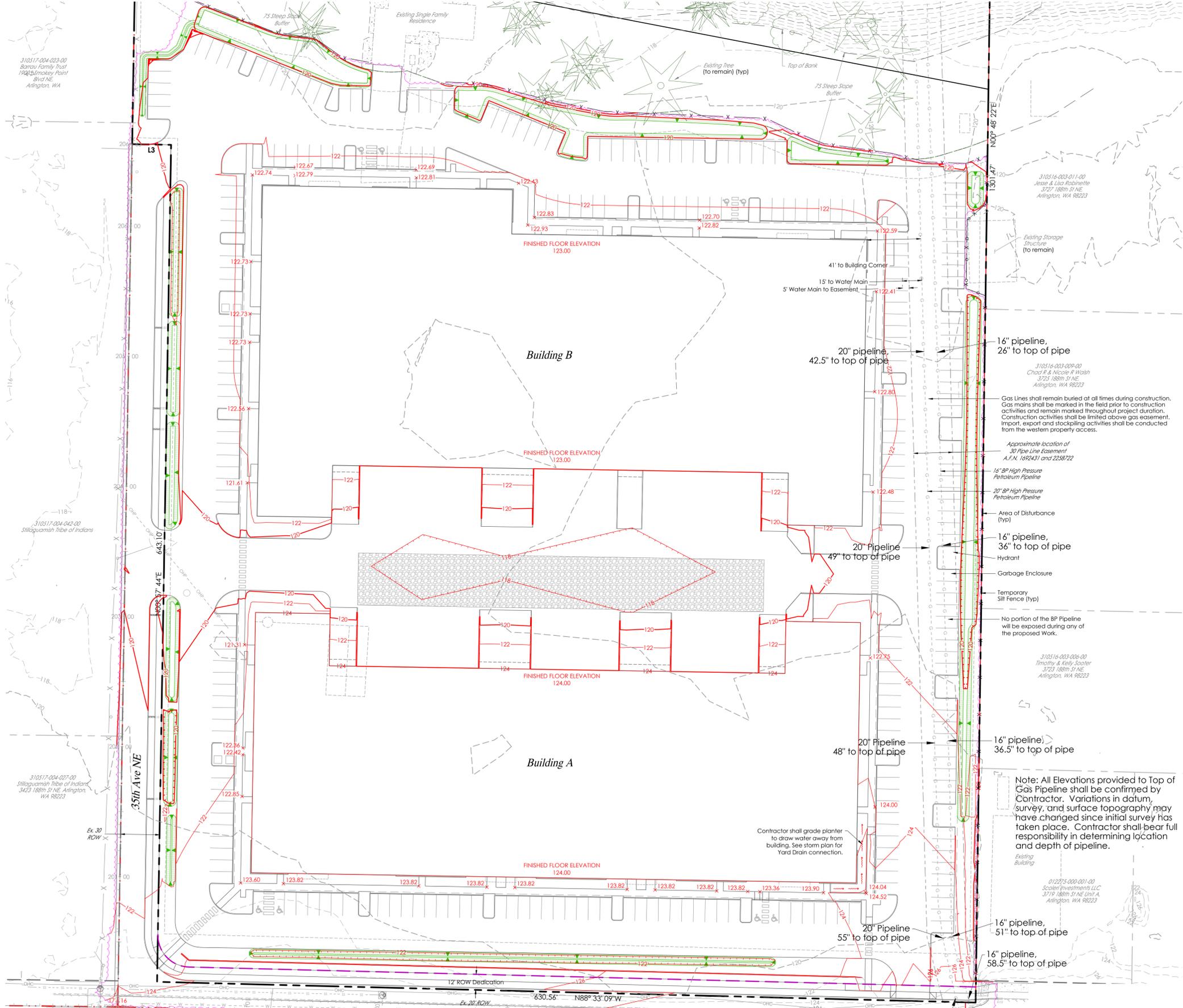
Smokey Point Industrial LLC
3505 188th Ave NE, Arlington, WA 98223

EXISTING CONDITIONS MAP & TREE SURVEY

SHEET
C3 of C23
22x34

PWD-3701

A PORTION OF SECTION 16, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



Gas Lines shall remain buried at all times during construction. Gas mains shall be marked in the field prior to construction activities and remain marked throughout project duration. Construction activities shall be limited above gas easement. Import, export and stockpiling activities shall be conducted from the western property access.

Approximate location of 30' Pipe Line Easement A.F.N. 1892431 and 2228722

16" BP High Pressure Petroleum Pipeline
20" BP High Pressure Petroleum Pipeline
Area of Disturbance (typ)
Hydrant
Garbage Enclosure
Temporary Silt Fence (typ)

No portion of the BP Pipeline will be exposed during any of the proposed Work.

310516-003-006-00
Timothy & Kelly Scooter
3723 188th St NE
Arlington, WA 98223

310516-003-009-00
Chad R & Nicole R Wash
3723 188th St NE
Arlington, WA 98223

310516-003-011-00
Jesse & Lisa Robinette
3727 188th St NE
Arlington, WA 98223

310517-004-023-00
Barou Family Trust
19028 Smokey Point Blvd NE
Arlington, WA

310517-004-042-00
Stikigwamish Tribe of Indians

310517-004-027-00
Stikigwamish Tribe of Indians
3423 188th St NE, Arlington, WA 98223

012275-000-001-00
Scales Investments LLC
3719 188th St NE Unit A
Arlington, WA 98223

Note: All Elevations provided to Top of Gas Pipeline shall be confirmed by Contractor. Variations in datum, survey, and surface topography may have changed since initial survey has taken place. Contractor shall bear full responsibility in determining location and depth of pipeline.

Existing Building

Contractor shall grade planter to draw water away from building. See storm plan for Yard Drain connection.

41' to Building Corner
15' to Water Main
5' Water Main to Easement

12' ROW Dedication
Ex. 20' ROW
Ex. 32' ROW

630.56' N88° 33' 09" W

Scale: 1"=40'

LAND TECHNOLOGIES
18820 Third Avenue, N.E.
Arlington, WA 98223
360-652-9727



07/23/2024

PROJECT LEAD: Marie
CHECKED BY: Tyler
DRAWN BY: Alex, Mier
DATE: July 23, 2024
REVISION 1:
REVISION 2:
REVISION 3:
REVISION 4:
AS-BUILT:

Smokey Point Industrial
3505 188th Ave NE, Arlington, WA 98223
A PORTION OF SECTION 16, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Smokey Point Industrial LLC
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SHEET
C5 of **C23**
22x34
PWD- 3701

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SOILS

Lynwood loamy Sand;
Hydrologic Soil Group: A
Compact Fill Area to 95% Modified Proctor

AQUIFER RECHARGE/
WELL HEAD PROTECTION

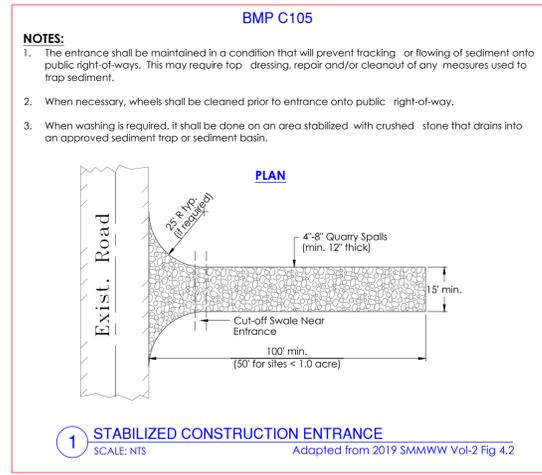
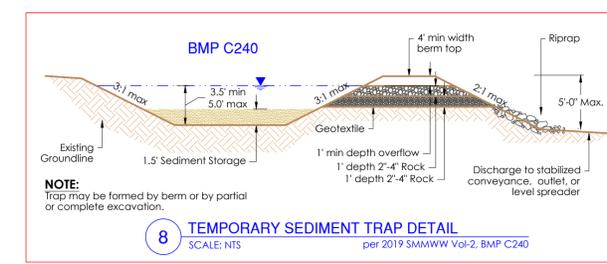
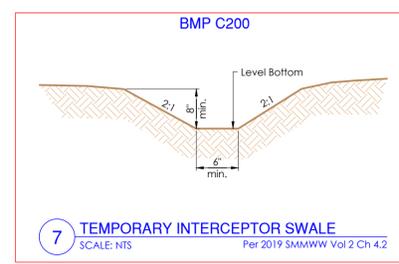
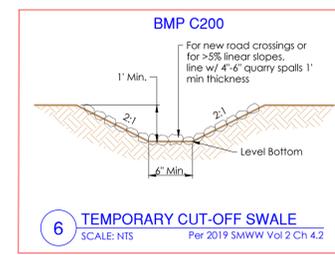
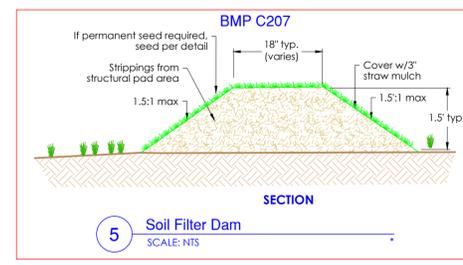
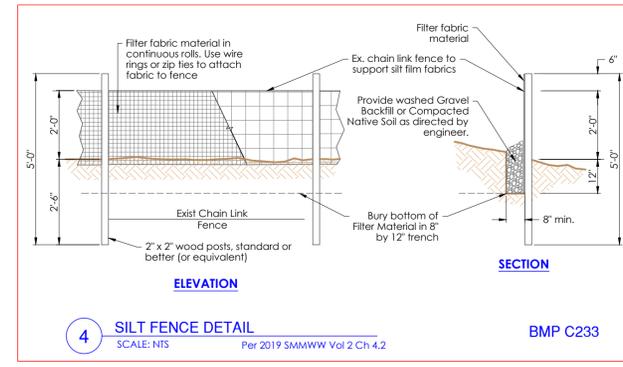
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- NOTES:**
- The entrance shall be maintained in a condition that will prevent tracking or flowing of sediment onto public right-of-ways. This may require top dressing, repair and/or cleanout of any measures used to trap sediment.
 - When necessary, wheels shall be cleaned prior to entrance onto public right-of-way.
 - When washing is required, it shall be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin.

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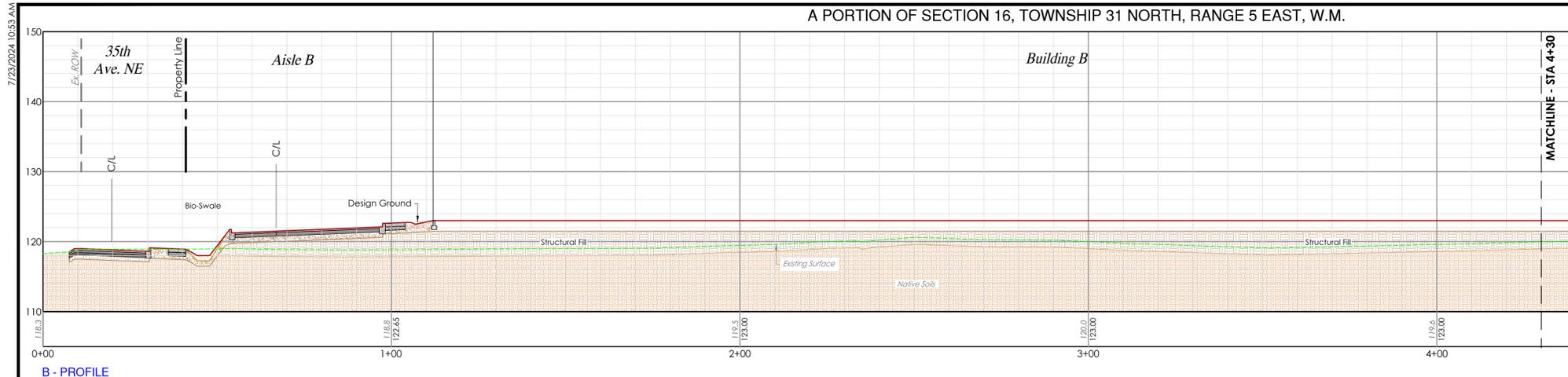
PROJECT LEAD: Meier
CHECKED BY: Tyler
DRAWN BY: Alex Meier
DATE: July 23, 2024
REVISION 1: July 23, 2024
REVISION 2: ---
REVISION 3: ---
REVISION 4: ---
AS-BUILT: ---

Smokey Point Industrial
3505 188th Ave. NE, Arlington, WA 98223
A PORTION OF SECTION 16, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

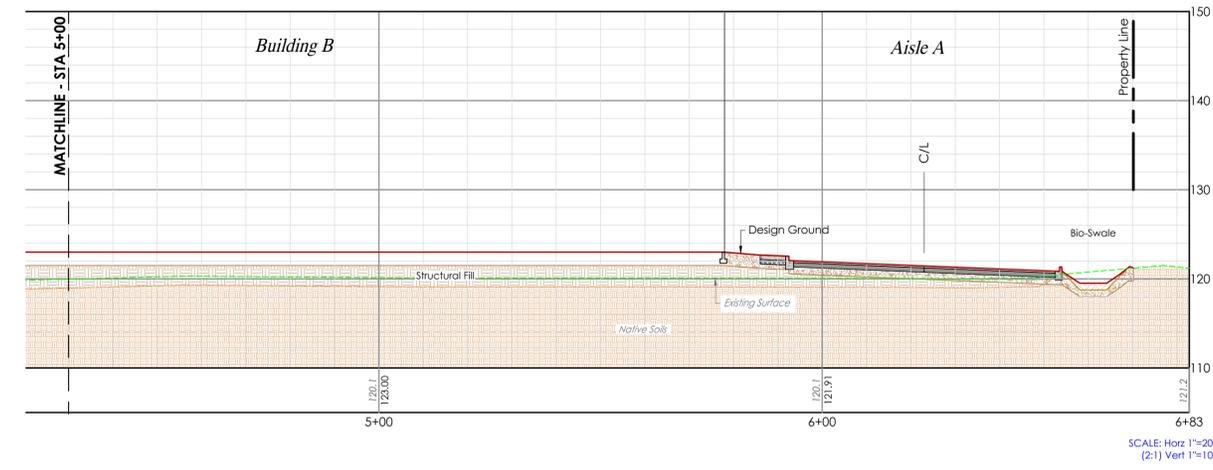
Smokey Point Industrial LLC
3505 188th Ave. NE, Arlington, WA 98223
GRADING & TESC DETAILS

CONSTRUCTION DRAWING APPROVAL THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.		SHEET C6 of C23
BY: _____	DEVELOPMENT SERVICES MANAGER	22x34
DATE: _____	THIS APPROVAL VALID FOR 18 MONTHS	PWD- 3701

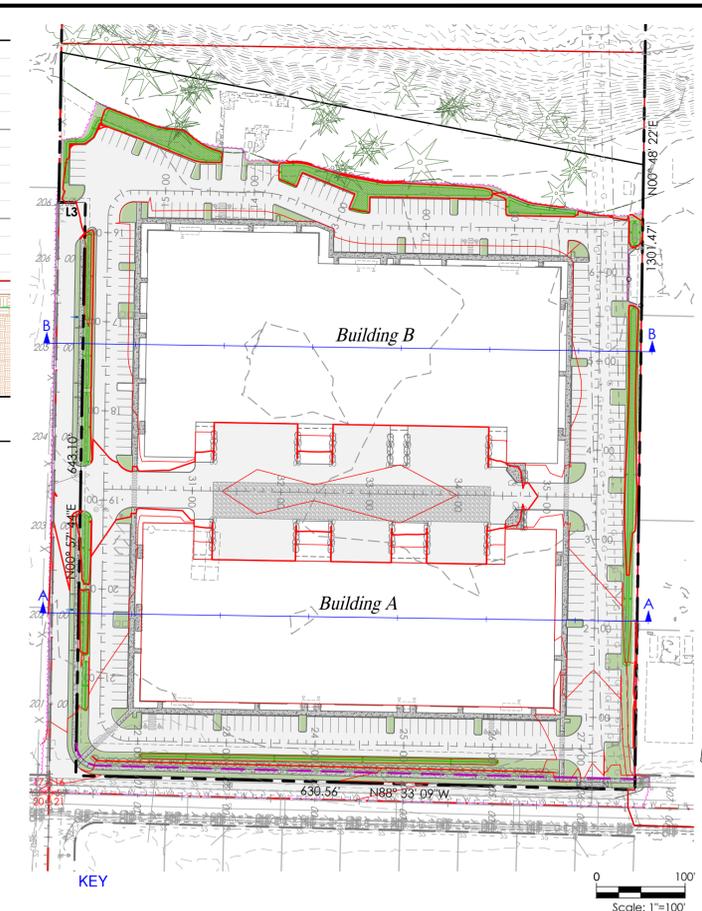
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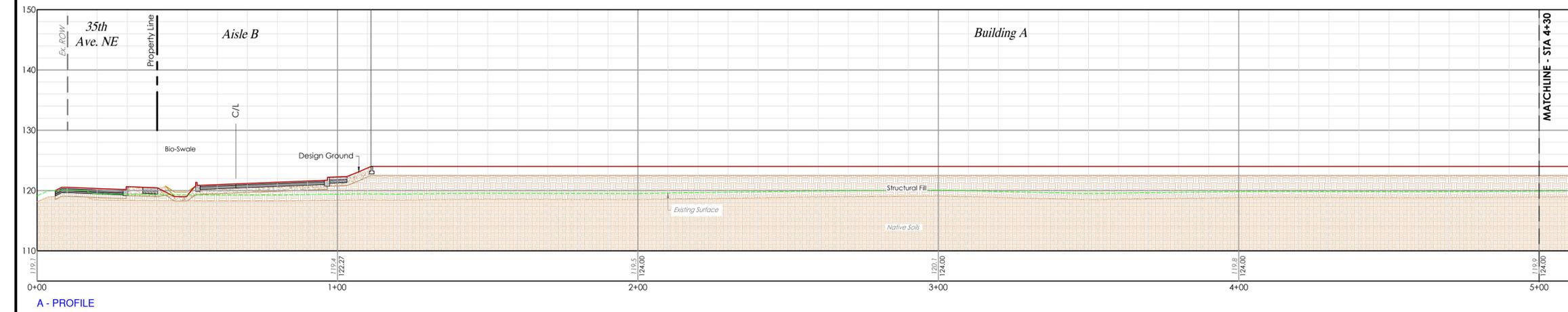
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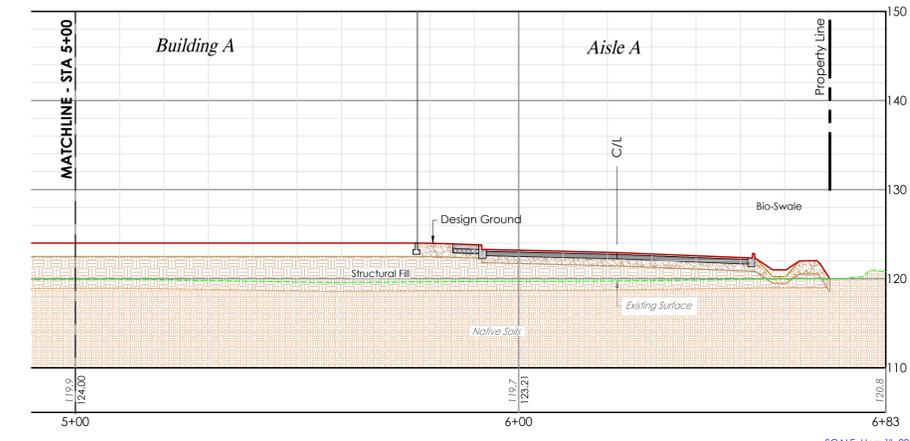
SCALE: Horiz 1"=20'
(2:1) Vert 1"=10'



KEY



A - PROFILE



SCALE: Horiz 1"=20'
(2:1) Vert 1"=10'

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Arlington, WA, 98223
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LAND TECHNOLOGIES
REGISTERED PROFESSIONAL ENGINEER
07/23/2024

PROJECT LEAD: Merie
CHECKED BY: Tyler
DRAWN BY: Alex, Mar
DATE: REVISION 1: July 23, 2024
REVISION 2: ---
REVISION 3: ---
REVISION 4: ---
AS-BUILT: ---

Smokey Point Industrial LLC
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Smokey Point Industrial
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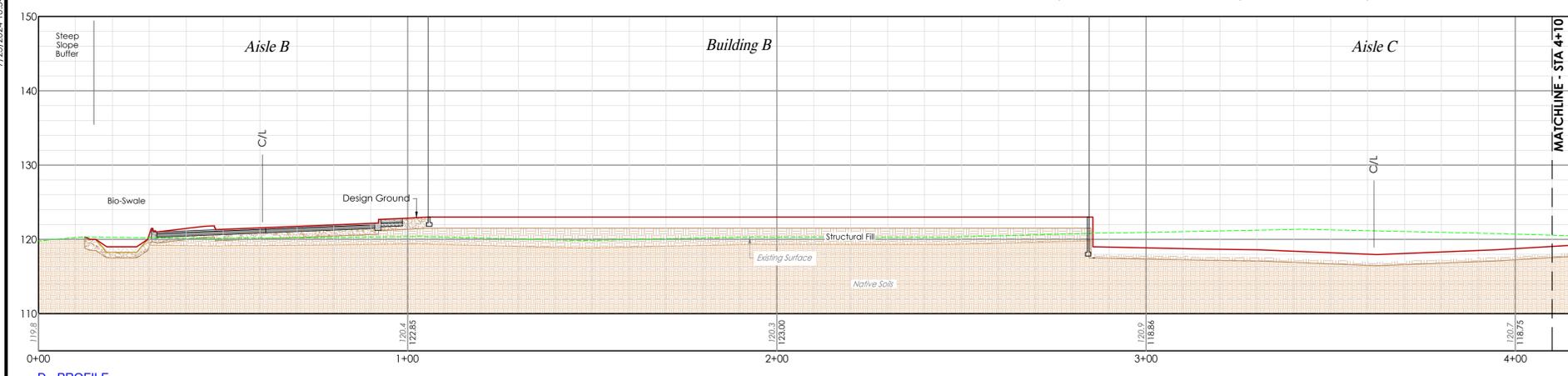
SITE CROSS SECTIONS

SHEET
C7 of C23
22x34
PWD-3701

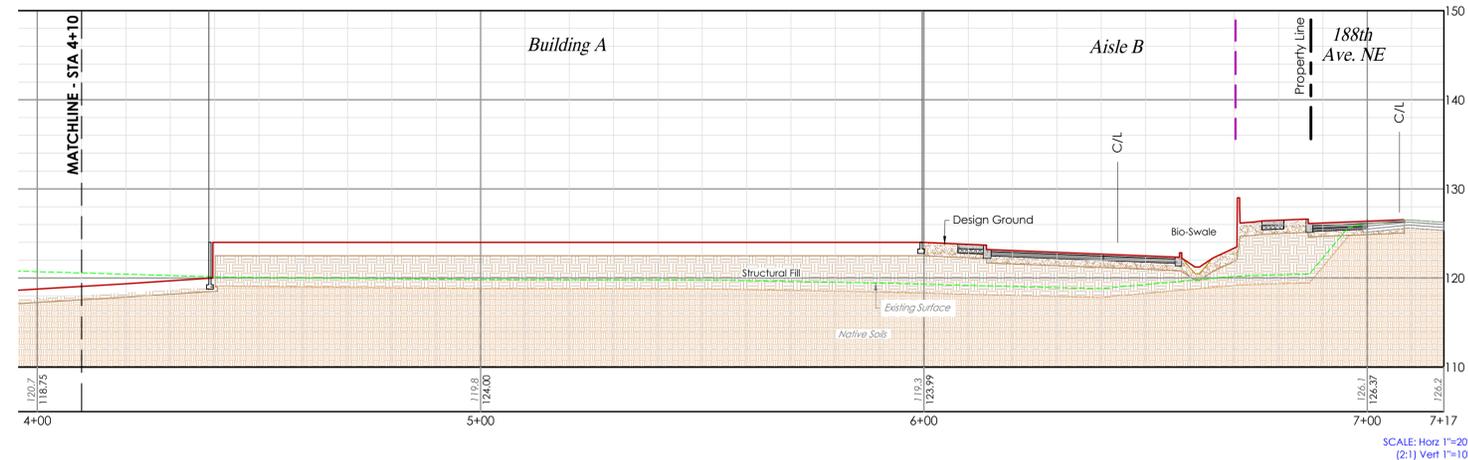
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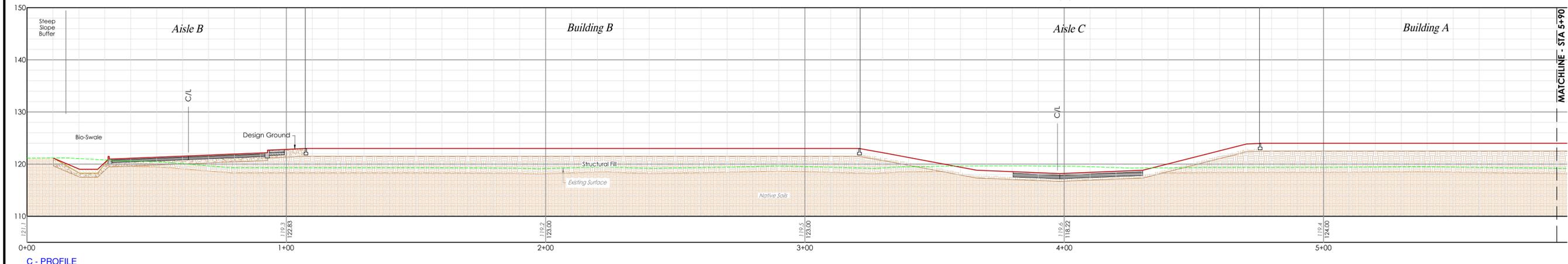
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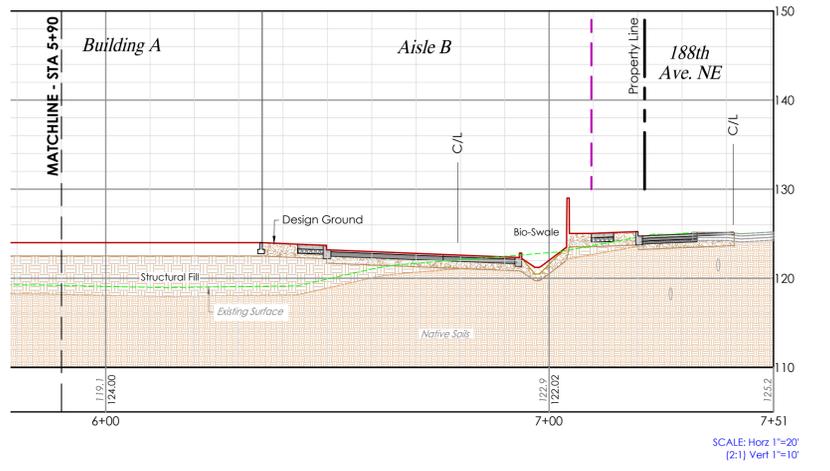
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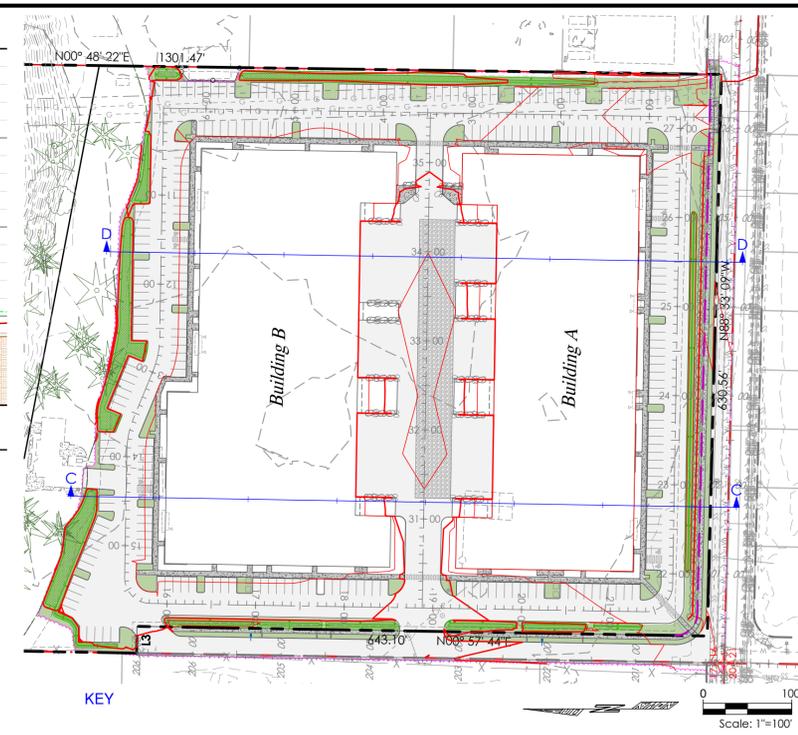
SCALE: Horz 1"=20'
Vert 1"=10'



C - PROFILE



SCALE: Horz 1"=20'
Vert 1"=10'



KEY

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PROJECT LEAD: Alex Meier
CHECKED BY: Tyler
DRAWN BY: Alex Meier
DATE: July 23, 2024
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REVISION 4: ---
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Smokey Point Industrial LLC
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SHEET
C8 of C23
22x34
PWD-3701

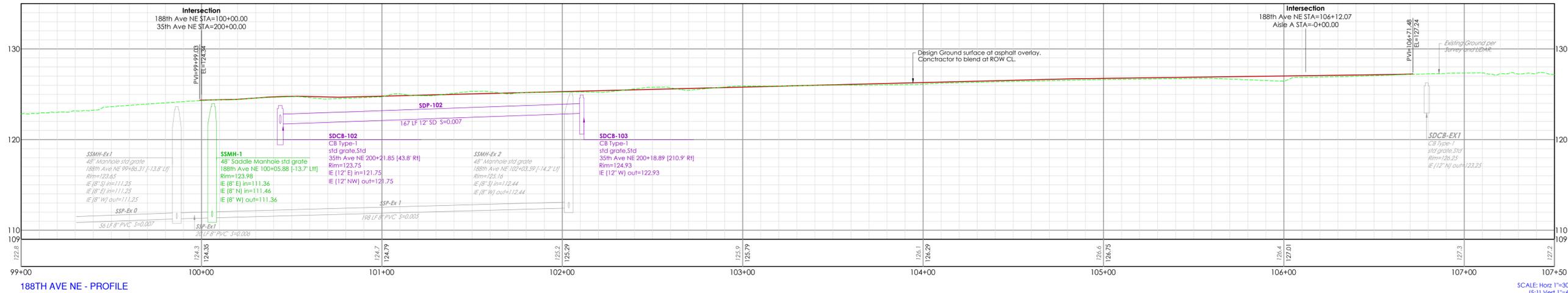
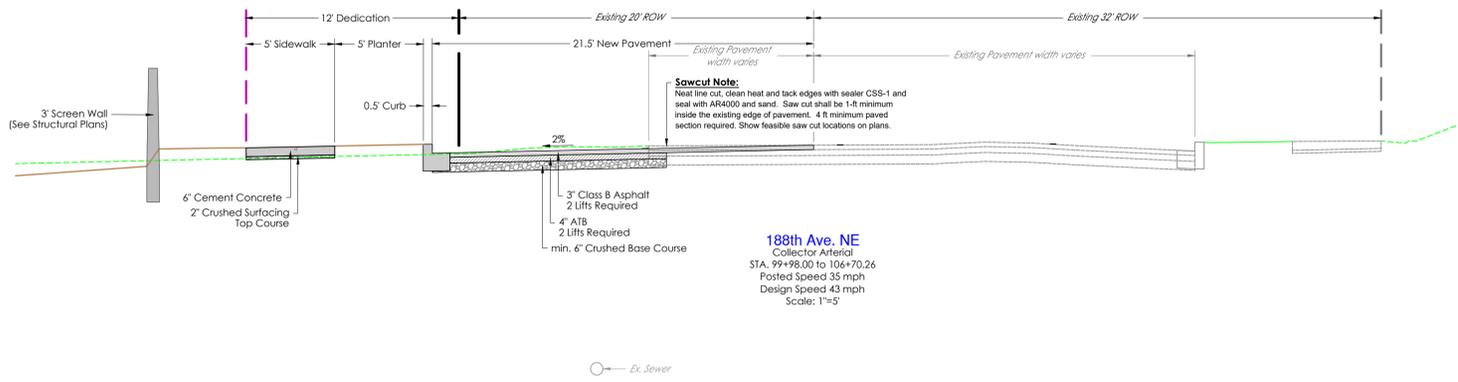
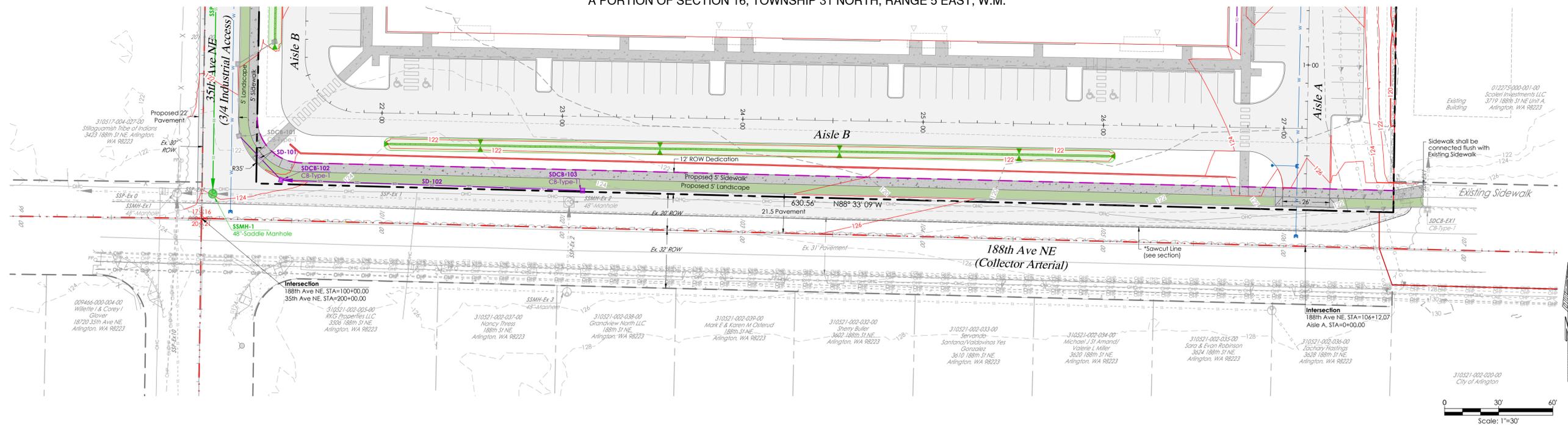
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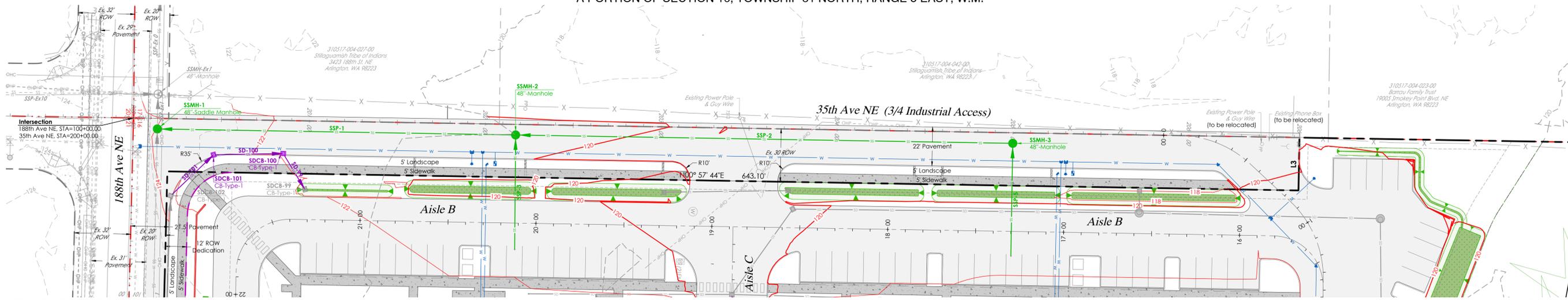
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PROJECT LEAD: Merle
CHECKED BY: Tyler
DRAWN BY: Alex, Meir
DATE: July 23, 2024
REVISION 1:
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REVISION 3:
REVISION 4:
AS-BUILT:

Smokey Point Industrial
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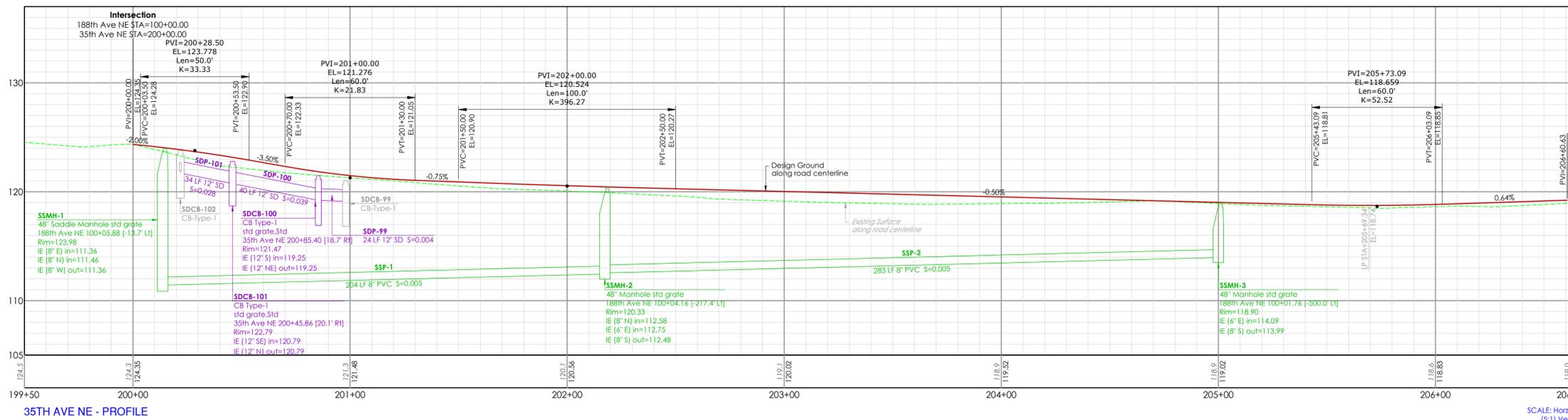
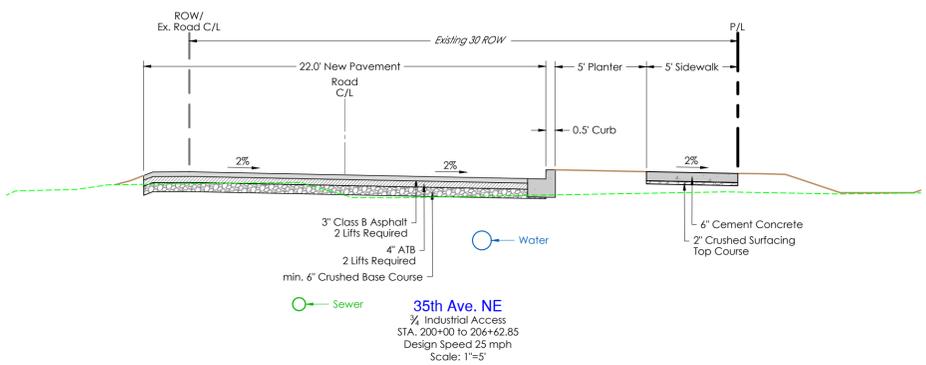
Smokey Point Industrial LLC
3505 188th Ave NE, Arlington, WA 98223
188TH ST. NE - FRONTAGE IMPROVEMENTS PLAN

SHEET
C9 of C23
22x34
PWD-3701

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35TH AVE. NE - FRONTAGE IMPROVEMENTS PLAN



35TH AVE NE - PROFILE

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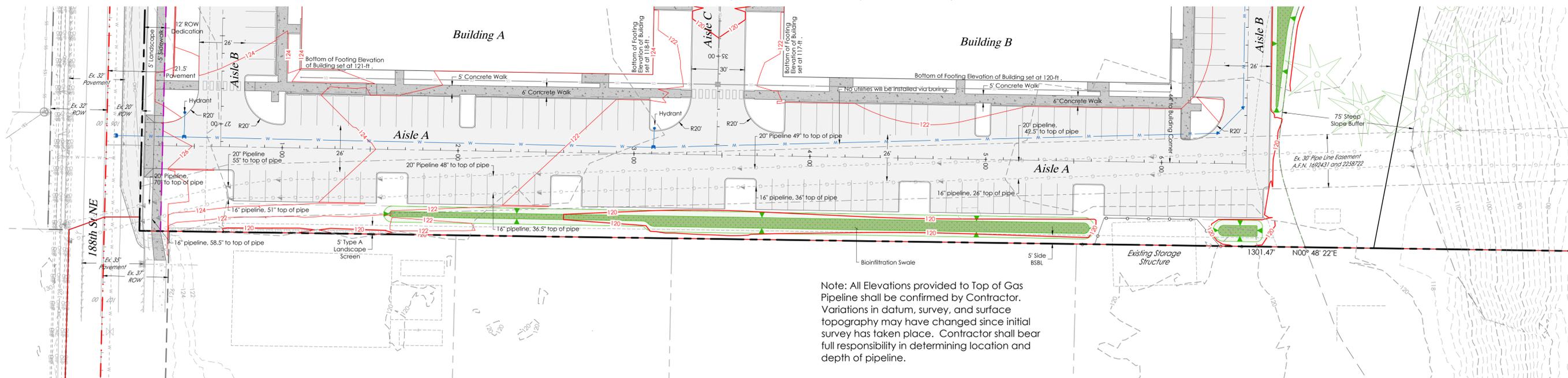
PROJECT LEAD: Merve
CHECKED BY: Tyler
DRAWN BY: Alex, Mier
DATE: 07/23/2024
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REVISION 4: ---
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Smockey Point Industrial LLC
3505 188th Ave. NE, Arlington, WA 98223
A PORTION OF SECTION 16, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Smockey Point Industrial
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SHEET
C11 of C23
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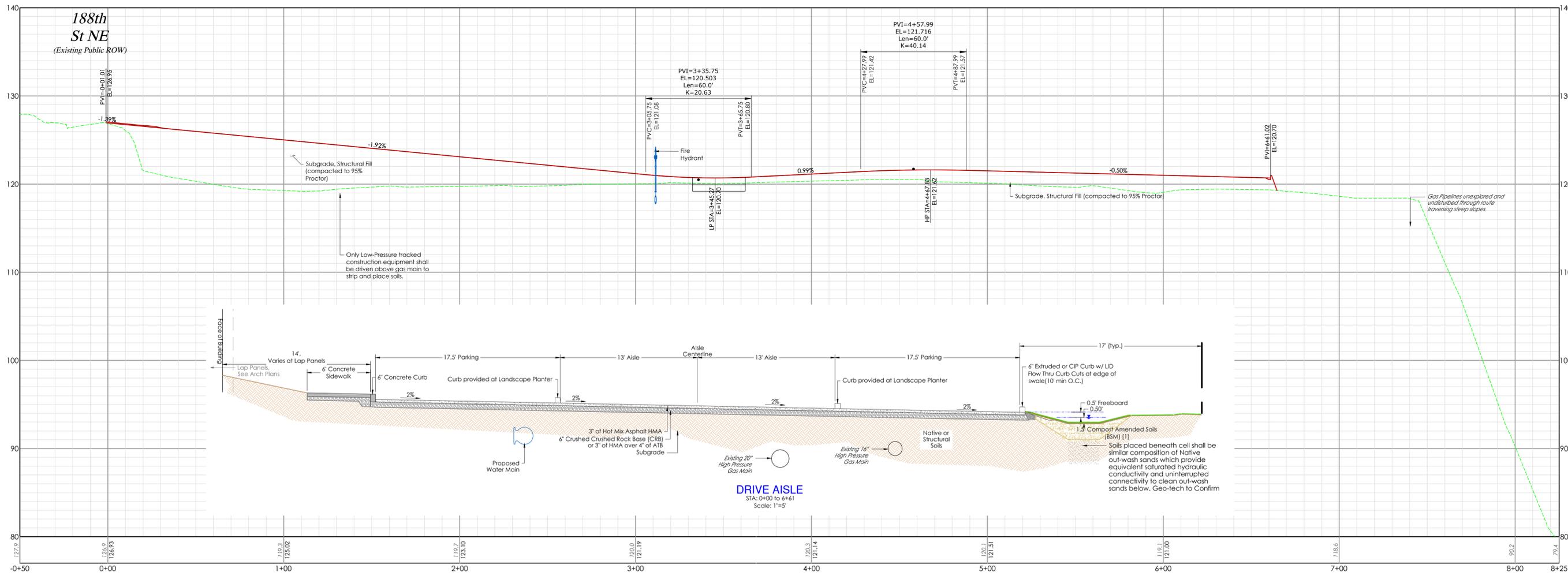
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Note: All Elevations provided to Top of Gas Pipeline shall be confirmed by Contractor. Variations in datum, survey, and surface topography may have changed since initial survey has taken place. Contractor shall bear full responsibility in determining location and depth of pipeline.



AISE A PLAN



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AISE A - PROFILE

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Smockey Point Industrial LLC

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7/23/2024

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Smockey Point Industrial LLC

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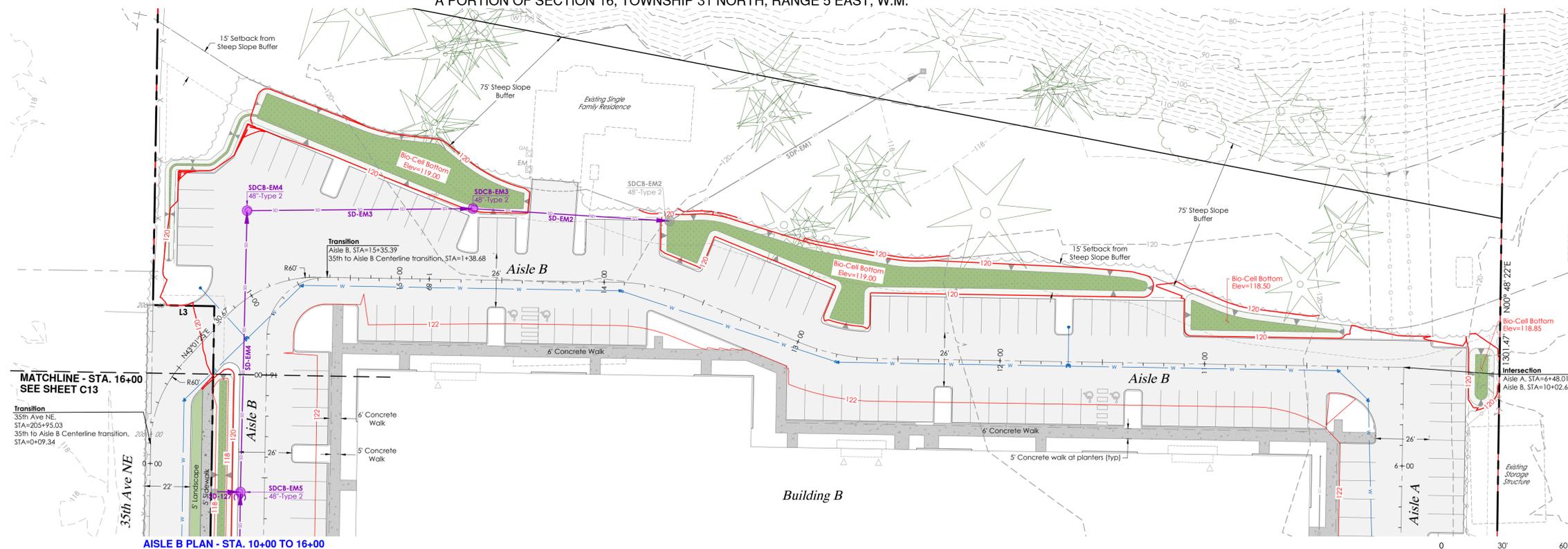
3505 188th Ave NE, Arlington, WA 98223

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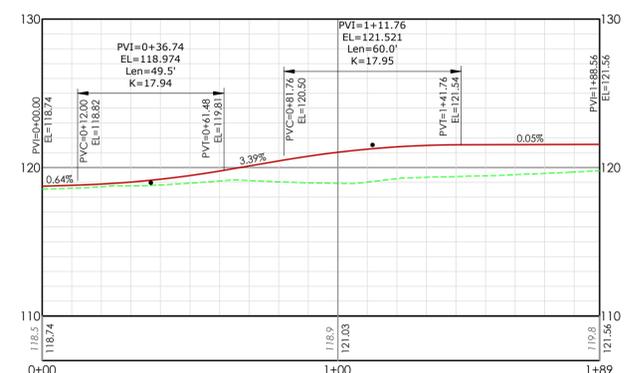
Smockey Point Industrial LLC

Smockey Point Industrial

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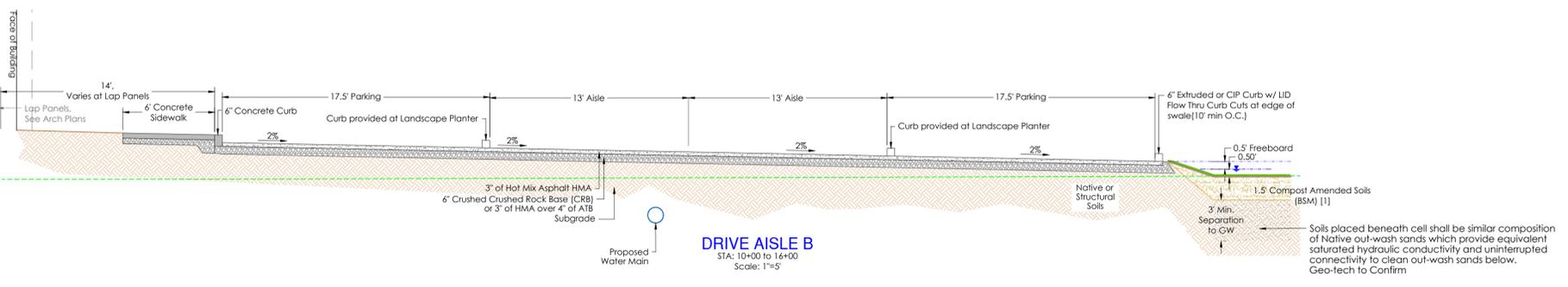


AISLE B PLAN - STA. 10+00 TO 16+00



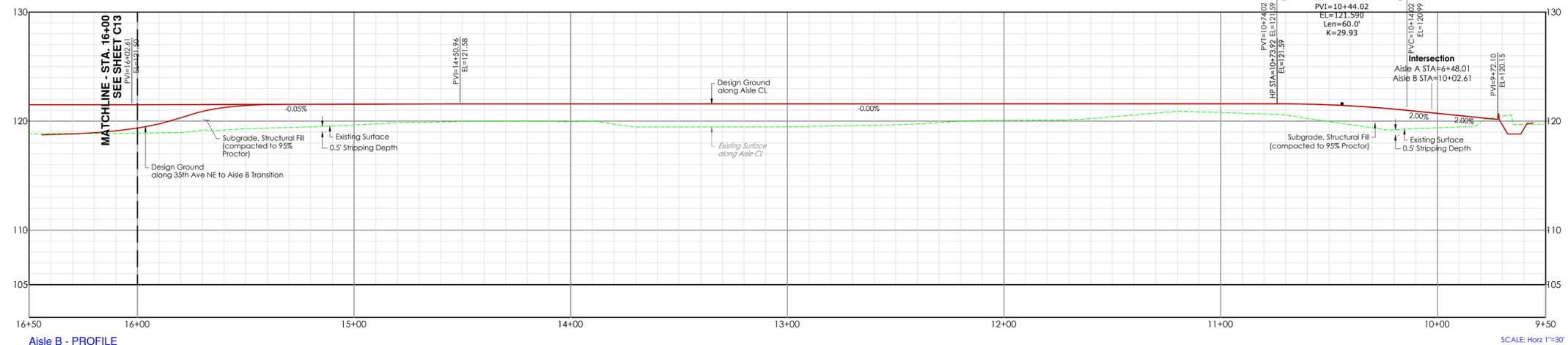
35TH TO AISLE B CENTERLINE TRANSITION - PROFILE

SCALE: Horiz 1"=30'
(5:1) Vert 1"=6'



DRIVE AISLE B

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Aisle B - PROFILE

SCALE: Horiz 1"=30'
(5:1) Vert 1"=6'

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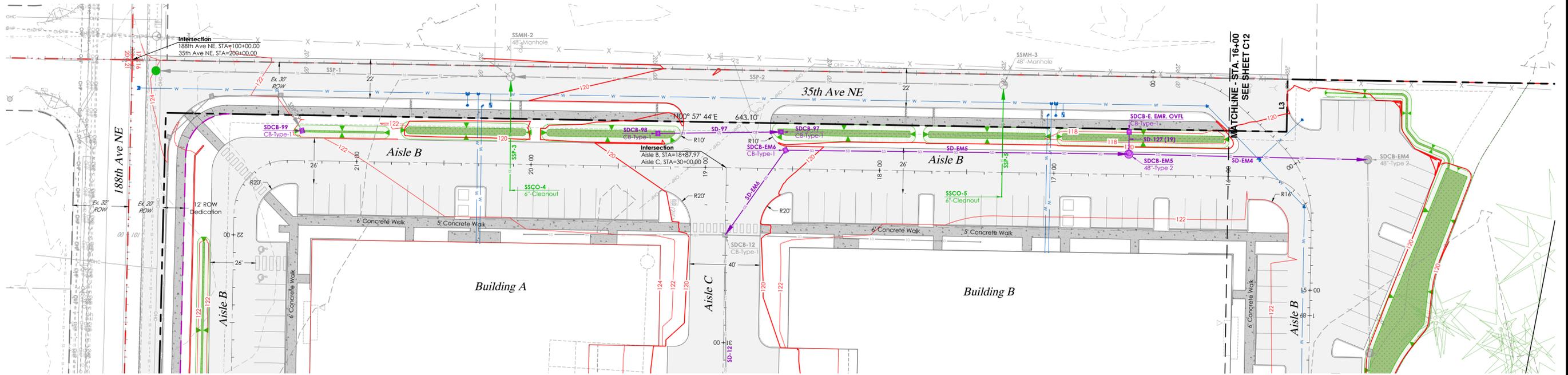
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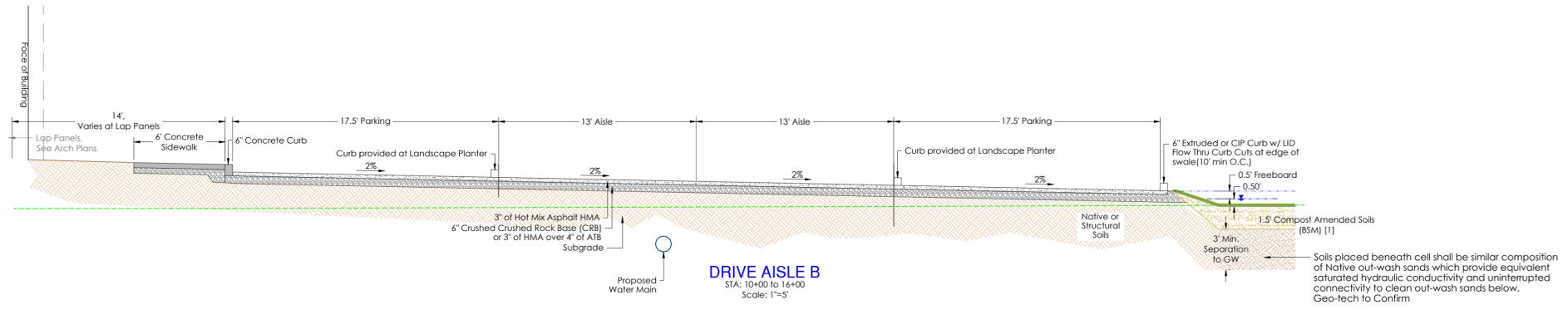
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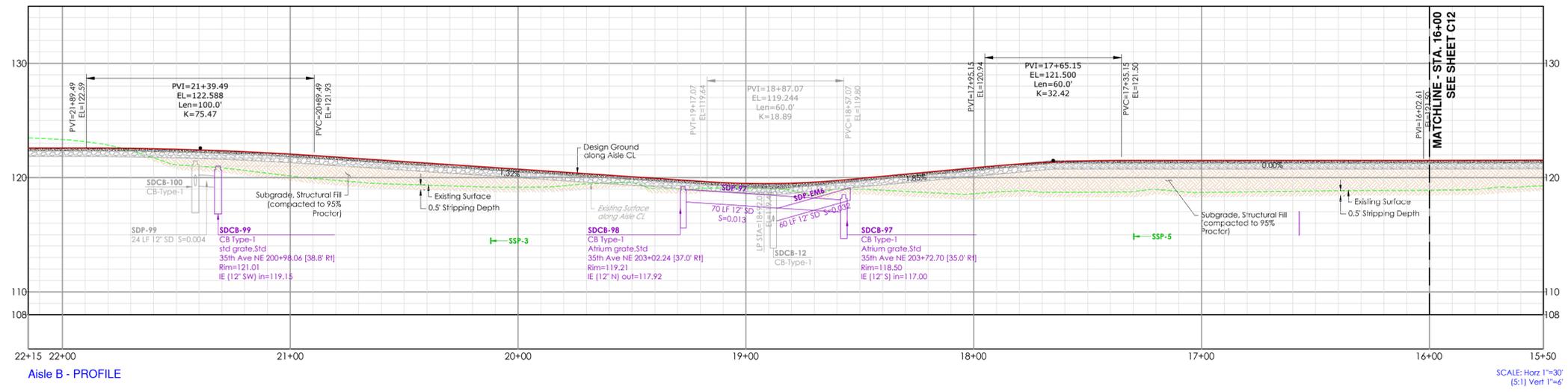
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AISLE B PLAN - STA. 16+00 TO 21+65



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Scale: 1"=5'



Aisle B - PROFILE

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WALTER S. FOSTER
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
53126
07/23/2024

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AISLE B PLAN AND PROFILE - STA. 16+00 TO 21+65

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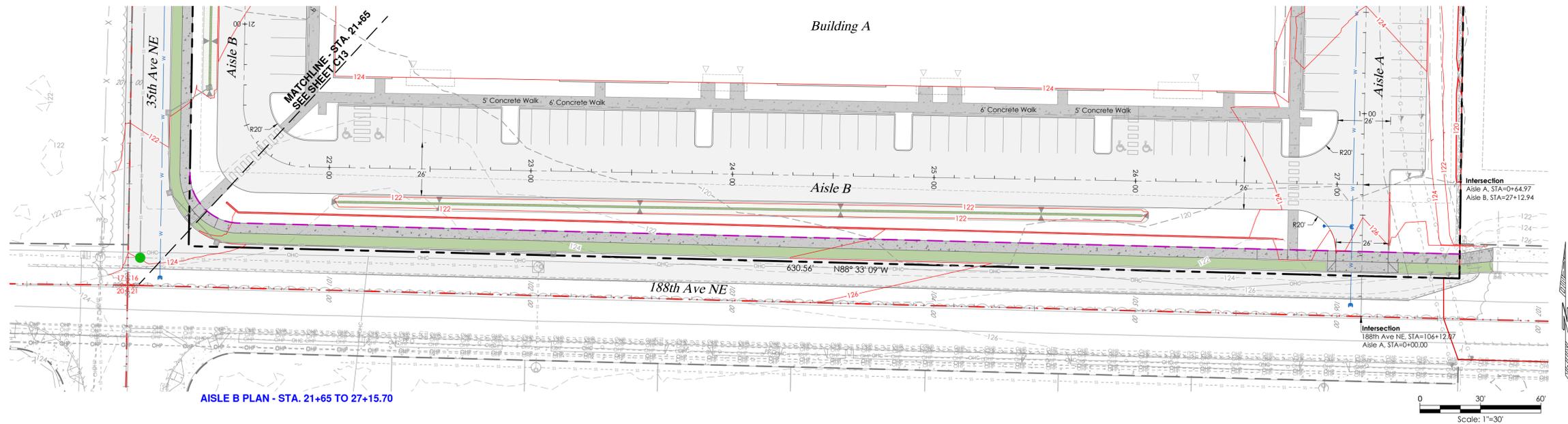
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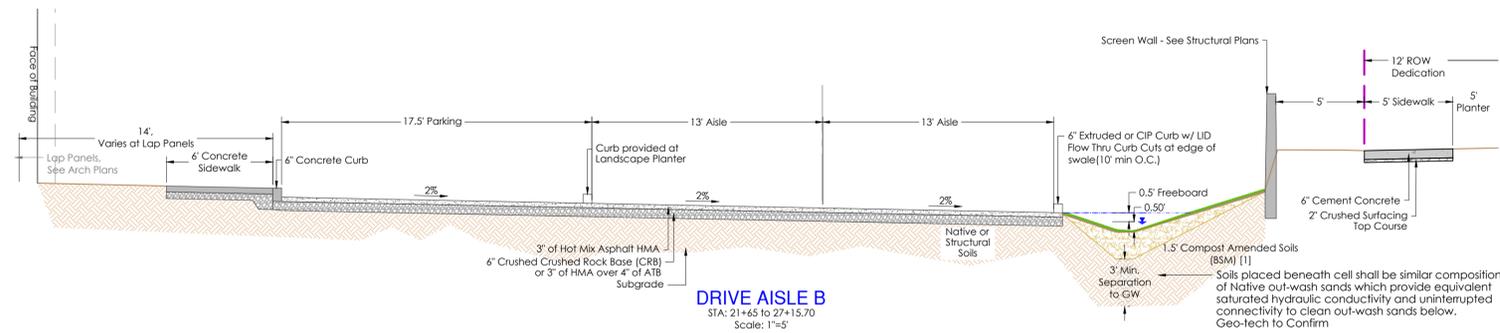
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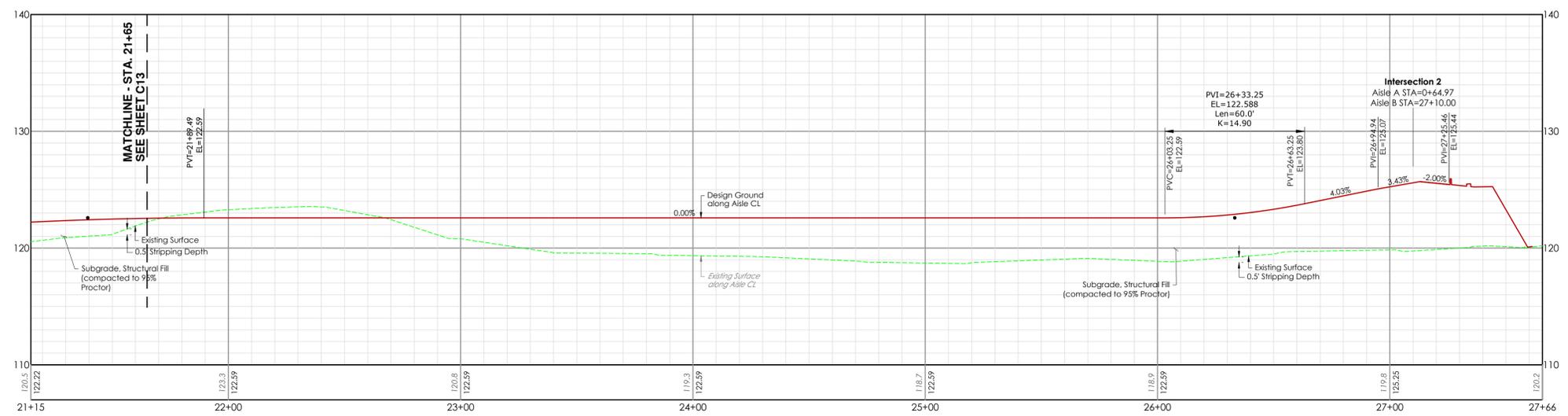
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AISLE B PLAN - STA. 21+65 TO 27+15.70



DRIVE AISLE B
 STA: 21+65 to 27+15.70
 Scale: 1\"/>



AISLE B - PROFILE

SCALE: Horiz 1\"/>

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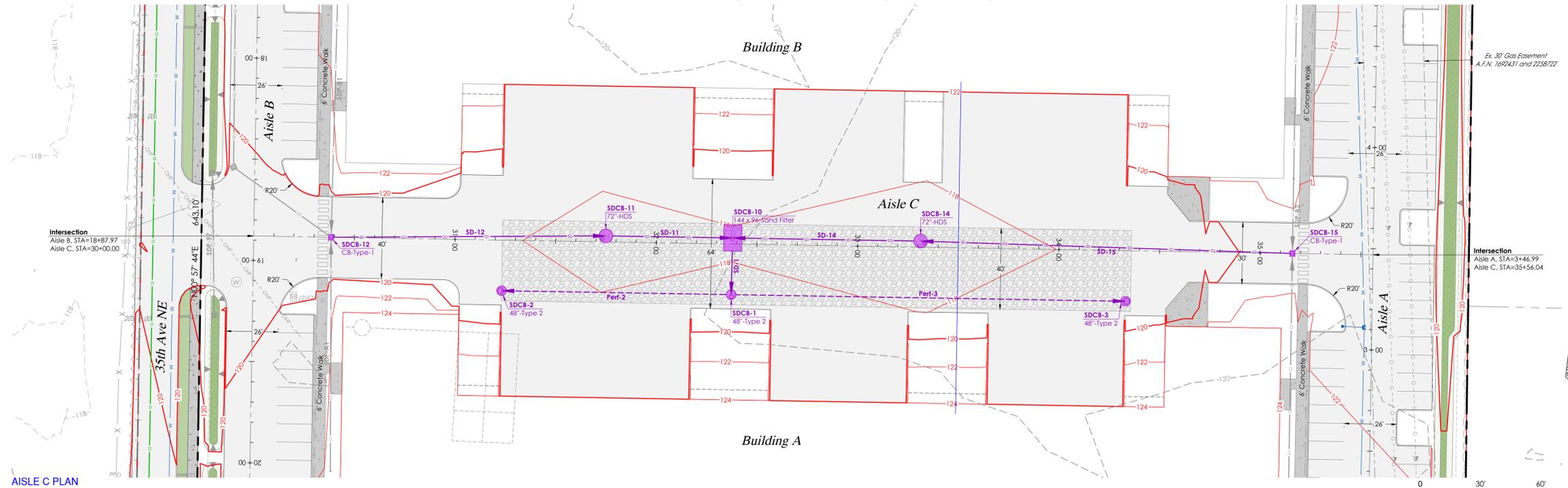
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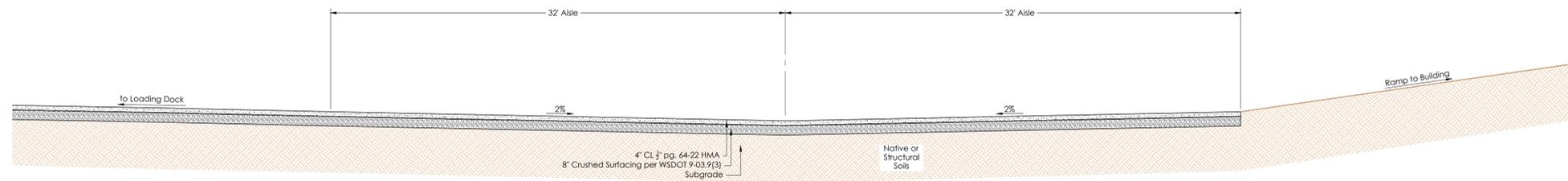
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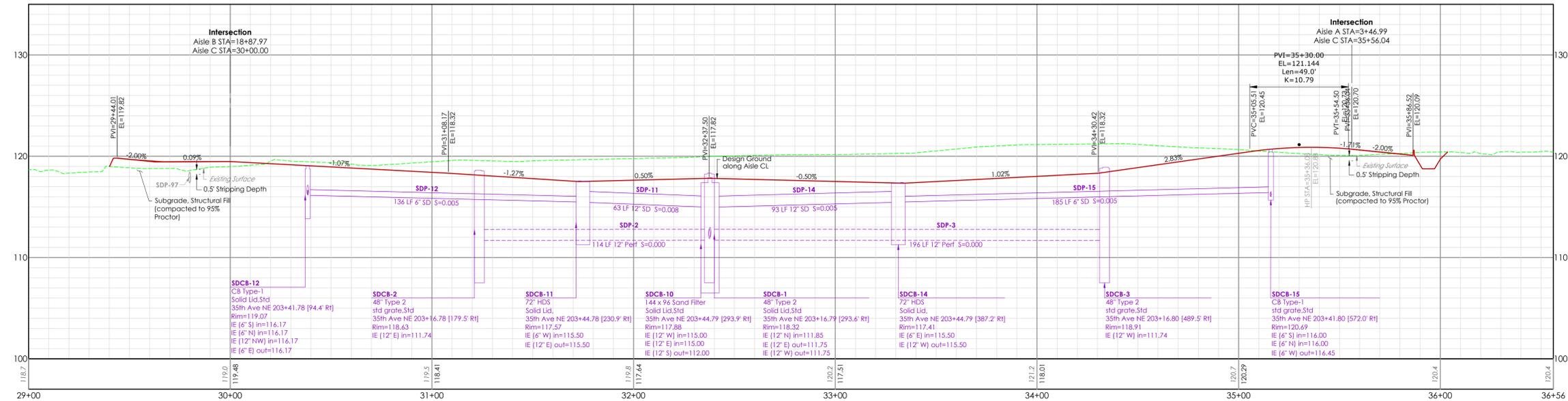
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AISLE C PLAN



DRIVE AISLE C
STA: 30+00 to 35+56.04
Scale: 1"=5'



AISLE C - PROFILE

SCALE: Horiz 1"=30'
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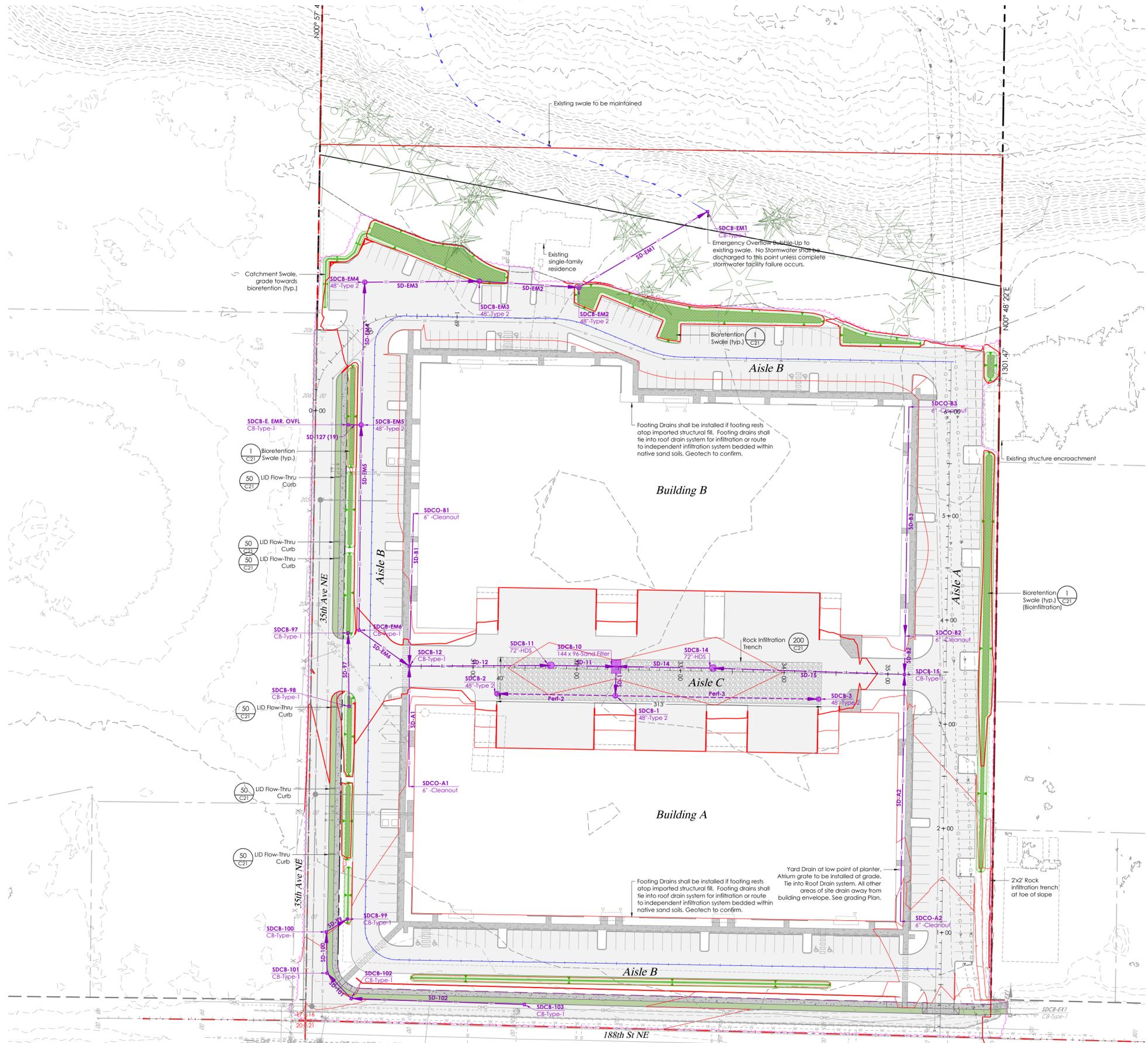
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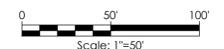


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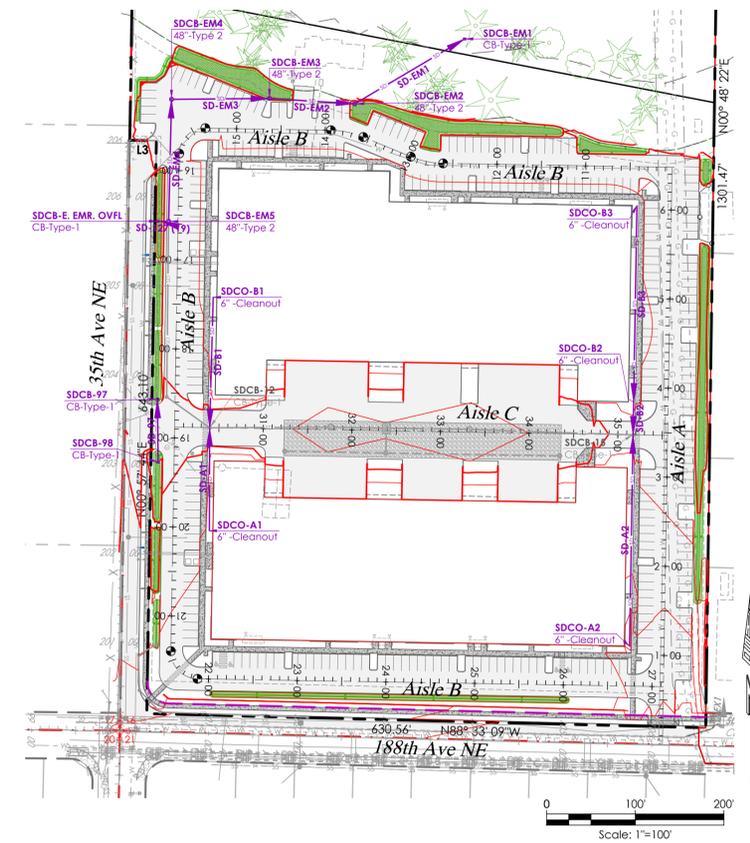
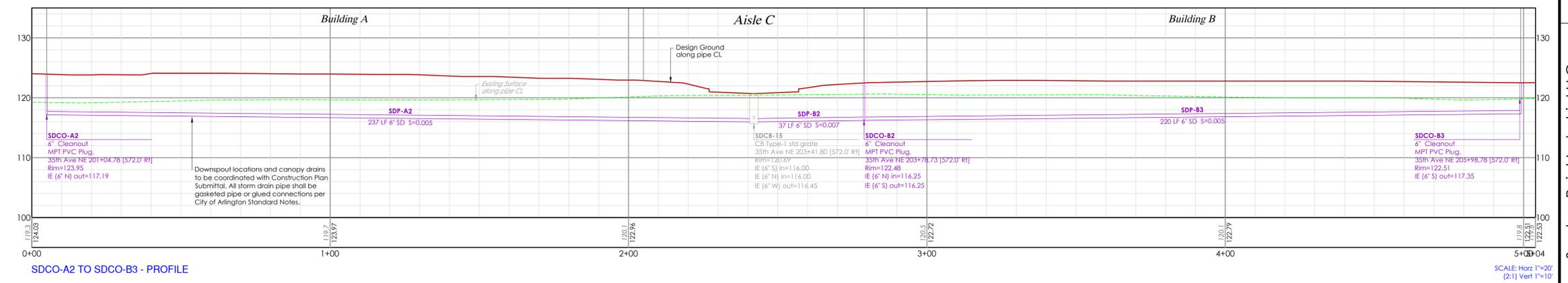
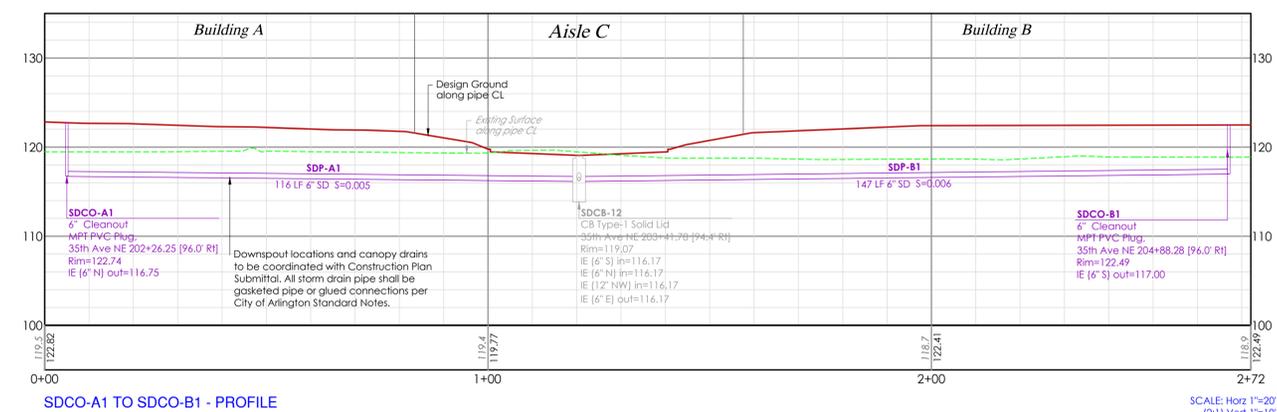
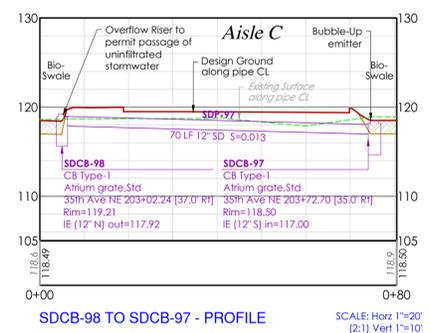
STORMWATER MANAGEMENT OVERVIEW PLAN

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 C18 of C23
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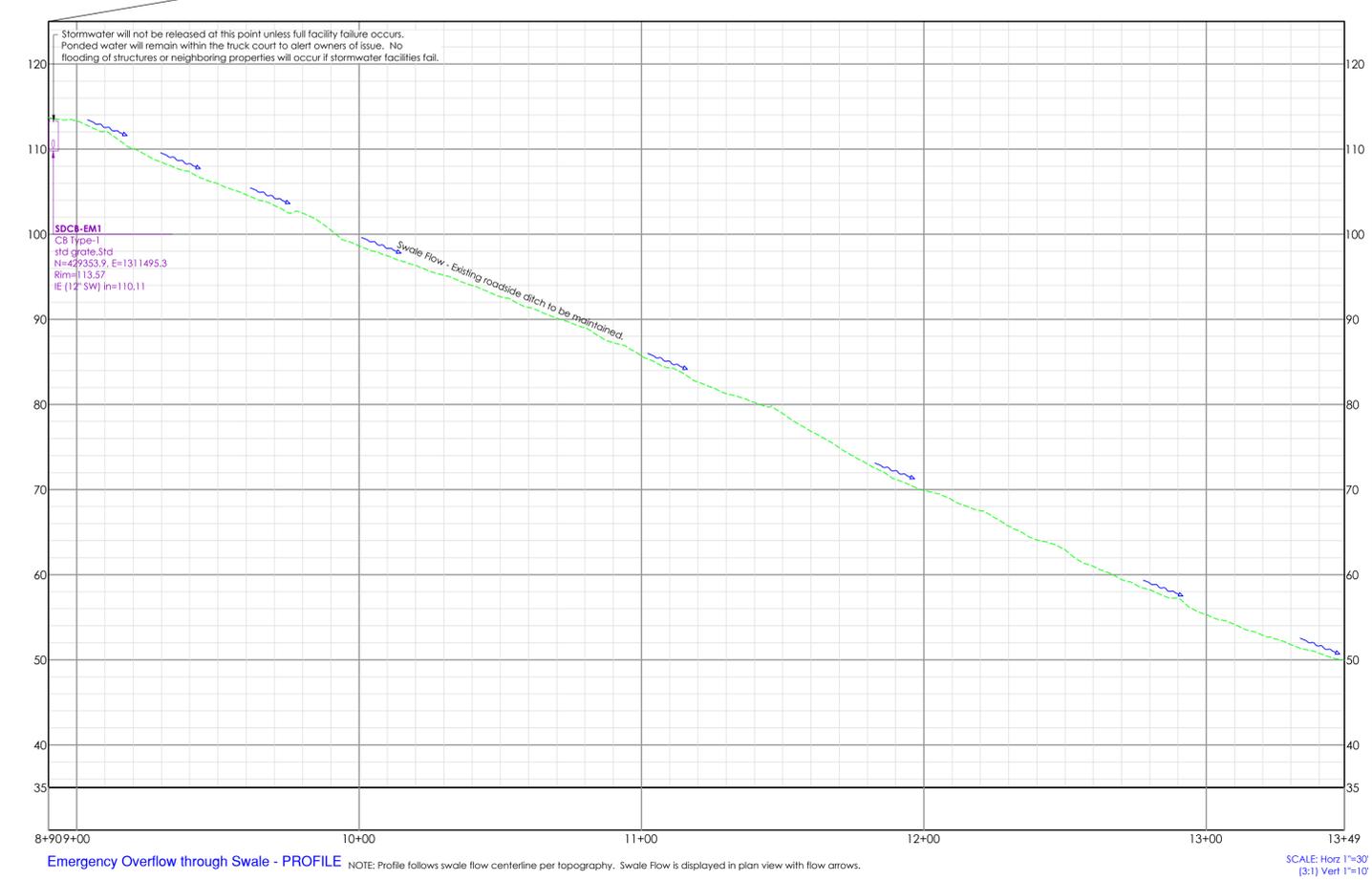
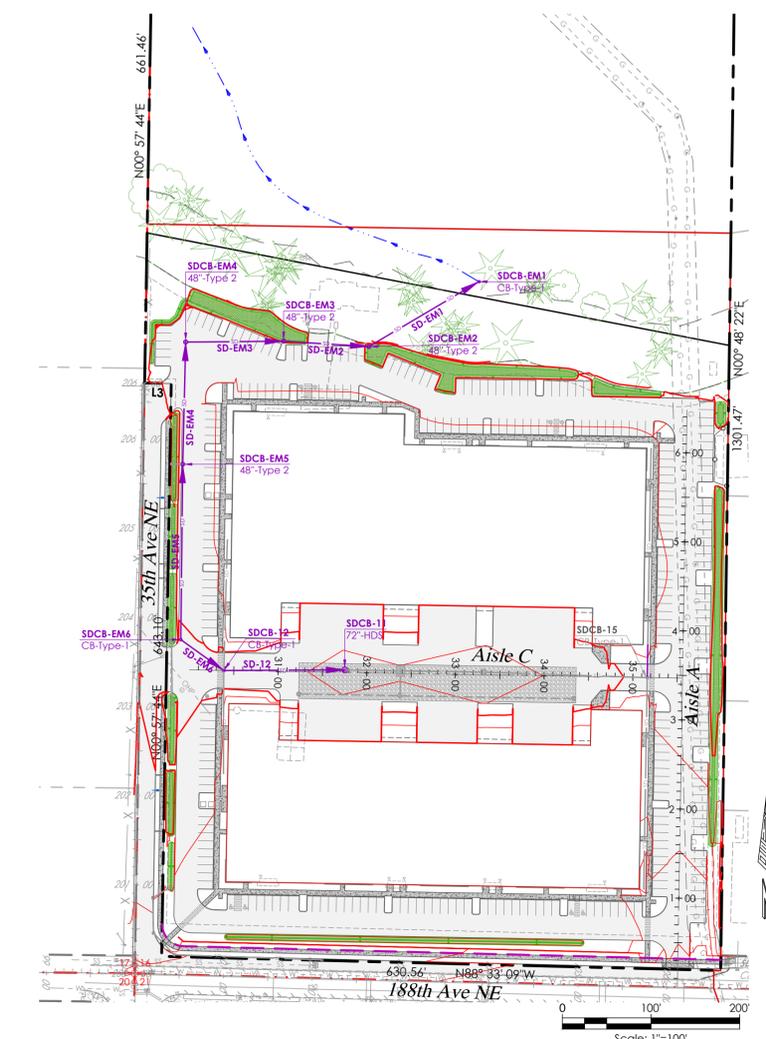
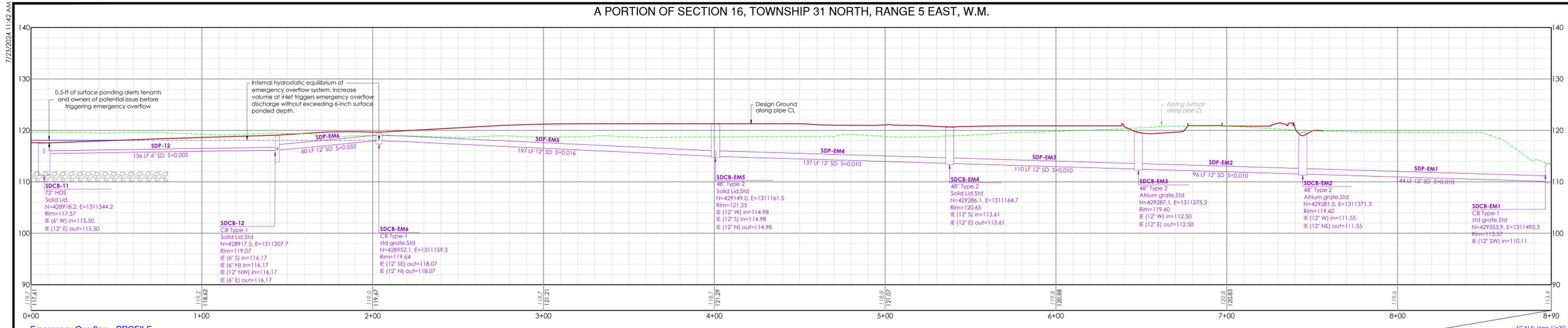
STORMWATER MANAGEMENT PLAN AND PROFILE

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EMERGENCY OVERFLOW PLAN AND PROFILE

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BIORETENTION SOIL MEDIA PROCEDURE NOTE:

- Two acceptable criteria for Bioretention Soil Media (BSM or CAS):
 - Default Bioretention Soil Media
 - Custom Bioretention Soil Mix

Default Bioretention Soil Media

Projects which use the following requirements for the bioretention soil media do not have to test the media for its saturated hydraulic conductivity

Mineral Aggregate

Percent Fines: A range of 2 to 4 percent passing the #200 sieve is ideal and fines should not be above 5 percent for a proper functioning specification according to ASTM D422.

Aggregate Gradation

The aggregate portion of the BSM should be well-graded. According to ASTM D 2487-98 (Classification of Soils for Engineering Purposes (Unified Soil Classification System)), well-graded sand should have the following gradation coefficients:

- Coefficient of Uniformity (Cu = D60/D10) equal to or greater than 4, and
- Coefficient of Curve (Cc = (D30)²/D60 x D10) greater than or equal to 1 and less than or equal to 3.

The sand gradation below is often supplied as a well-graded utility or screened. With compost this blend provides enough fines for adequate water retention, hydraulic conductivity within recommended range (see below), pollutant removal capability, and plant growth characteristics for meeting design guidelines and objectives. Where existing soils meet the aggregate gradation below, those soils may be amended rather than importing mineral aggregate.

General Guideline for Mineral Aggregate Gradation	
Sieve Size	Percent Passing
3/8"	100
#4	95-100
#10	75-90
#40	25-40
#100	4-10
#200	2-5

Compost to Aggregate Ratio, Organic Matter Content, Cation Exchange Capacity

- Compost to aggregate ratio: 60-65 percent mineral aggregate, 35 - 40 percent compost.
 - Organic matter content: 5 - 8 percent by weight.
 - Cation Exchange Capacity (CEC) must be > 5 milliequivalents/100 g dry soil
- Note: Soil mixes meeting the above specifications do not have to be tested for CEC. They will readily meet the minimum CEC.

Compost

- To ensure that the BSM will support healthy plant growth and root development, contribute to biofiltration of pollutants, and not restrict infiltration when used in the proportions cited herein, the following compost standards are required:
- Meets the definition of "composted materials" in WAC 173-350-220 (including contaminant levels and other standards), available online at <http://www.ecy.wa.gov/programs/swfa/organics/soil.html>
 - Produced at a composting facility permitted by the WA Department of Ecology. A current list of permitted facilities is available at <http://www.ecy.wa.gov/programs/swfa/compost/>
 - The compost product must originate a minimum of 65 percent by volume from recycled plant waste as defined in WAC 173-350-100 as "Type I Feedstocks." A maximum of 35 percent by volume of other approved organic waste as defined in WAC 173-350-100 as "Type III", including post-consumer food waste, but not including biosolids, may be substituted for recycled plant waste. Type II and IV feedstocks shall not be used for the compost going into bioretention facilities or rain gardens.
 - Stable (low oxygen use and CO2 generation) and mature (capable of supporting plant growth) by tests shown below. This is critical to plant success in a bioretention soil mix.
 - Moisture content range: no visible free water or dust produced when handling the material.
 - Tested in accordance with the U.S. Composting Council "Testing Methods for the Examination of Compost and Composting" (TMECC), as established in the Composting Council's "Seal of Testing Assurance" (STA) program. Most Washington compost facilities now use these tests.
 - Screened to the size gradations for Fine Compost under TMECC test method 02.02-8 (gradations are shown in the specification in an appendix of the **Low Impact Development Technical Guidance Manual for Puget Sound**)
 - pH between 6.0 and 8.5 (TMECC 04.11-A). If the pH falls outside of the acceptable range, it may be modified with lime to increase the pH or iron sulfate plus sulfur to lower the pH. The lime or iron sulfate must be mixed uniformly into the soil prior to use in the bioretention area.
 - Manufactured inert content less than 1% by weight (TMECC 03.08-A)
 - Minimum organic matter content of 40% (TMECC 05.07-A)
 - Soluble salt content less than 4.0 mmhos/cm (TMECC 04.10-A)
 - Maturity greater than 80% (TMECC 05.05-A "Germination and Vigor")
 - Stability of 7 or below (TMECC 05.08-B "Carbon Dioxide Evolution Rate")
 - Carbon to nitrogen ratio (TMECC 04.01 "Total Carbon" and 04.02D "Total Kjeldahl Nitrogen") of less than 25:1. The C:N ratio may be up to 35:1 for plantings composed entirely of Puget Sound Lowland native species and up to 40:1 for coarse compost to be used as a surface mulch (not in a soil mix).

100 Bioretention Soil Media
SCALE: NTS

Design Criteria:

Soil Retention: The duff layer and native topsoil should be retained in an undisturbed state to the maximum extent practicable. In any areas requiring grading remove and stockpile the duff layer and topsoil on site in a designated, controlled area, not adjacent to public resources and critical areas, to be reapplied to other portions of the site where feasible.

Soil Quality: The resulting soil should be conducive to the type of vegetation to be established. All areas subject to clearing and grading that have not been covered by impervious surface, incorporated into a drainage facility or engineered as structural fill or slope shall, at project completion, demonstrate the following:

- A topsoil layer with a minimum organic matter content of ten percent dry weight in planting beds, and 5% organic matter content (based on a loss-on-ignition test) in turf areas, and a pH from 6.0 to 8.0 or matching the pH of the original undisturbed soil. The topsoil layer shall have a minimum depth of eight inches except where tree roots limit the depth of incorporation of amendments needed to meet the criteria. Subsoils below the topsoil layer should be scarified at least 4 inches with some incorporation of the upper material to avoid stratified layers, where feasible.
- Planting beds must be mulched with 2 inches of organic material.
- Quality of compost and other materials used to meet the organic content requirements:
 - The organic content for "pre-approved" amendment rates can be met only using compost meeting the compost specification for Bioretention (BMP 17.30), with the exception that the compost may have up to 35% biosolids or manure.
 - Compost used in bioretention areas should be stable, mature and derived from yard debris, wood waste, or other organic materials that meet the intent of the organic soil amendment specification. Biosolids and manure composts can be higher in bioavailable phosphorus than compost derived from yard or plant waste and therefore are not allowed in bioretention areas due to the possibility of exporting bio-available phosphorus in effluent.
 - The compost must also have an organic matter content of 35% to 65%, and a carbon to nitrogen ratio below 25:1.
 - The carbon to nitrogen ratio may be as high as 35:1 for plantings composed entirely of plants native to the Puget Sound Lowlands region.
- Calculated amendment rates may be met through use of composted material meeting the requirements above; or other organic materials amended to meet the carbon to nitrogen ratio requirements, and not exceeding the contaminant limits identified in Table 220-B, Testing Parameters, in WAC 173-350-220.

Implementation Options:

Option 1: Leave native soil undisturbed, and protect from compaction during construction.

Option 1 is only applicable to sites that have the original, undisturbed soil native to the site. This will most often be forested land that is being left undisturbed in the current project.

Option 2: Amend disturbed soil according to the following procedures:

- Scarify subsoil to a depth of one foot.
 - In planting beds, place three inches of compost and fill in to an eight-inch depth.
 - In turf areas, place two inches of compost and fill in to an eight-inch depth.
 - Apply two to four inches of coarse wood chips, coarse bark mulch, or compost mulch to planting beds after final planting.
- (Alternatively, disturbed soil can be amended on a site-customized manner so that it meets the soil quality criteria set forth above, as determined by a licensed engineer, geologist, landscape architect, or other person as approved by Snohomish County).

Option 3: Disturbed Soil.

Stockpile existing topsoil during grading and replace it prior to planting. Stockpiled topsoil must be amended if needed to meet the organic matter and depth requirements by following the procedures in option (4). Remove forest duff layer and topsoil and stockpile separately, in an approved location prior to grading. Cover soil and duff piles with woven weed barrier (available from nursery supply stores) that sheds moisture yet allows airflow.

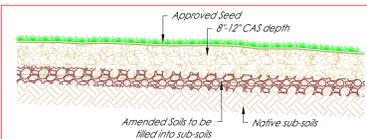
Option 4: Import topsoil mix with 10% min soil organic matter content.

Import topsoil mix of sufficient organic content and depth to meet the organic matter and depth requirements.

NOTE: All yards, landscape areas, or disturbed areas to receive 18 inches of Compost Amended Soils meeting the criteria of BMP 15.13. Careful removal of 9 inches of the onsite Forest Duff** could meet this requirement if properly protected and cared for during the Construction Process.

**Ignition testing of organics shall confirm that forest duff meets BMP 15.13 Specifications by an independent soils lab.

Note: Grading with Heavy Equipment may render this layer unsuitable.



513 Compost Amended Soils
SCALE: NTS

SPECIES	WGT/PERCENT
Primary Option-for Bio-cells	
**PT 799 Microcover*	2 lbs per 1000 sf
Secondary Option-for Bio-cells	
PT 769 R&R Eco-Turf Mix with Microcover	5-7lbs per 1000sf
Quatro Tetraploid Sheep Fescue	
Banfield Perennial Ryegrass	
Eureka II Hard Fescue	
Microcover	
Secondary Option-for swales	
PT 870 Clean Water Services Low Grow Swale Mix	7 lbs per 1000 sf
Turf Type Tall Fescue	
Perennial Ryegrasses	
Creeping Red Fescue	
Colonial Bentgrass	
Then overseed with **Microcover at	1 lb per 1000 sf

101 Bioretention Cell Seed Mix
SCALE: NTS

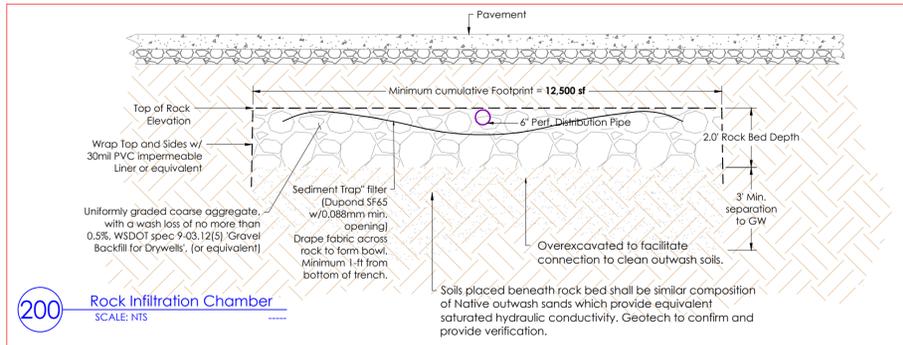
NOTE: Any Substitutions must be approved by Design Engineer before any application is made that deviates from these specifications. Substitutions are allowable but must be pre-approved.

APPLICATION: Evenly disperse seed mix by hand-operated Spreader at the rate specified for the seed mix being spread. Hydro-mulch at the rate of 50 lbs. per 1000 sf over the seed. Hydroseed tanks and equipment to be cleaned of all prior seed and other materials before use.

Microcover must be coated with Rhizobium leguminosarum by Trifolli. (Seed by ProTime comes pre-coated.)

SOURCE: Pro Time Lawn Seed, Portland Oregon 503-239-7518 www.plawnseed.com

200 Rock Infiltration Chamber
SCALE: NTS



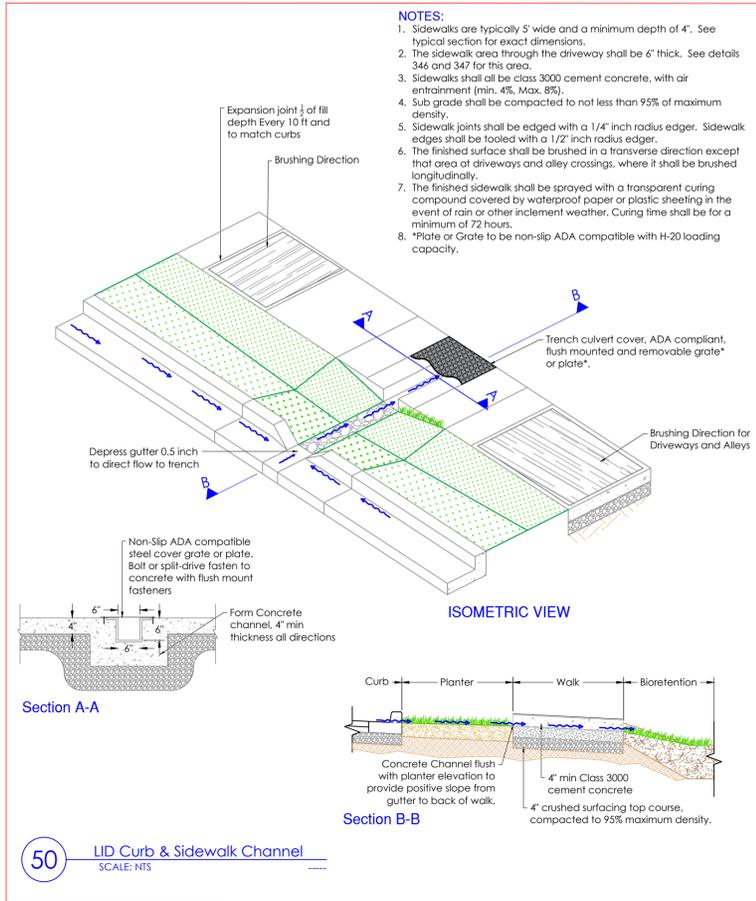
200 Rock Infiltration Chamber
SCALE: NTS

NOTE: Any Substitutions must be approved by Design Engineer before any application is made that deviates from these specifications. Substitutions are allowable but must be pre-approved.

APPLICATION: Evenly disperse seed mix by hand-operated Spreader at the rate specified for the seed mix being spread. Hydro-mulch at the rate of 50 lbs. per 1000 sf over the seed. Hydroseed tanks and equipment to be cleaned of all prior seed and other materials before use.

Microcover must be coated with Rhizobium leguminosarum by Trifolli. (Seed by ProTime comes pre-coated.)

SOURCE: Pro Time Lawn Seed, Portland Oregon 503-239-7518 www.plawnseed.com



50 LID Curb & Sidewalk Channel
SCALE: NTS

- NOTES:**
- Sidewalks are typically 5' wide and a minimum depth of 4". See typical section for exact dimensions.
 - The sidewalk area through the driveway shall be 6" thick. See details 344 and 347 for this area.
 - Sidewalks shall all be class 3000 cement concrete, with air entrainment (min. 4%, Max. 8%).
 - Sub grade shall be compacted to not less than 95% of maximum density.
 - Sidewalk joints shall be edged with a 1/4" inch radius edger. Sidewalk edges shall be tooled with a 1/2" inch radius edger.
 - The finished surface shall be brushed in a transverse direction except that area of driveways and alley crossings, where it shall be brushed longitudinally.
 - The finished sidewalk shall be sprayed with a transparent curing compound covered by waterproof paper or plastic sheeting in the event of rain or other inclement weather. Curing time shall be for a minimum of 72 hours.
 - *Plate or Grate to be non-slip ADA compatible with H-20 loading capacity.

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THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: _____
DEVELOPMENT SERVICES MANAGER

DATE: _____
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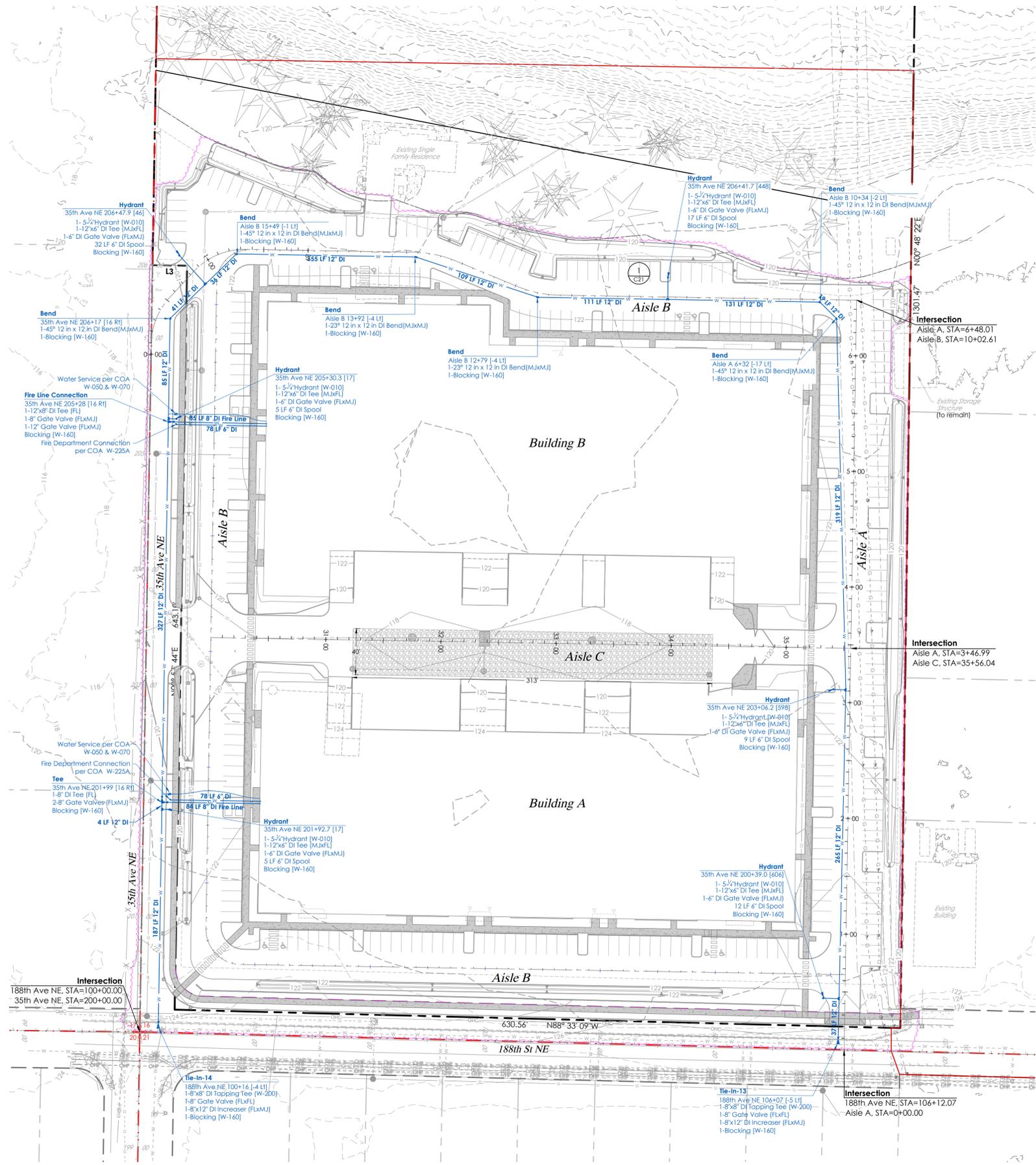
07/23/2024

PROJECT LEAD: Alex Meier
CHECKED BY: Alex Meier
DRAWN BY: Alex Meier
DATE: July 23, 2024
REVISION 1: July 23, 2024
REVISION 2: July 23, 2024
REVISION 3: July 23, 2024
AS-BUILT: July 23, 2024

Smokey Point Industrial
3505 188th Ave NE, Arlington, WA 98223
A PORTION OF SECTION 16, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Smokey Point Industrial LLC
3505 188th Ave, NE, Arlington, WA 98223
STORMWATER MANAGEMENT DETAILS

SHEET
C21 of C23
22x34
PWD-3701



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WATER PLAN



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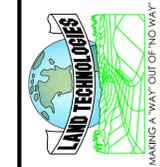
SHEET
C22 of C23
22x34
PWD- 3701

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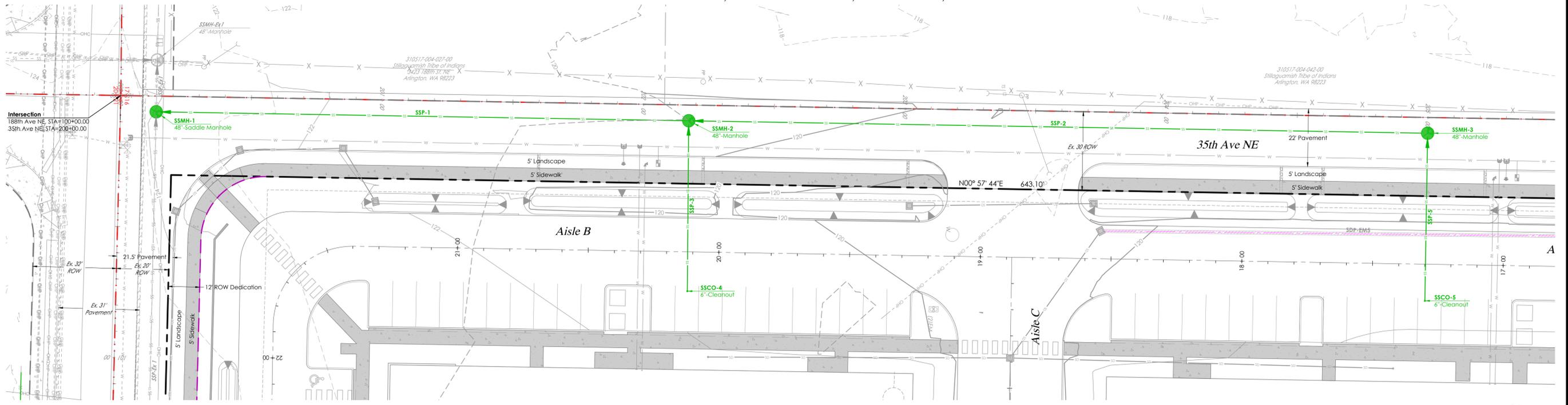
PROJECT LEAD: *Merle*
CHECKED BY: *Tyler*
DRAWN BY: *Alex, Mar*
DATE: _____
REVISION 1: *July 23, 2024*
REVISION 2: _____
REVISION 3: _____
REVISION 4: _____
AS-BUILT: _____

07/23/2024

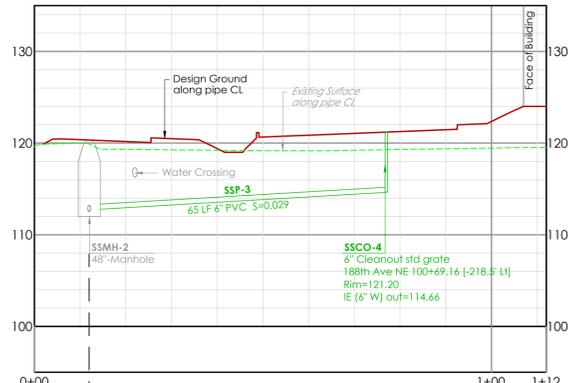


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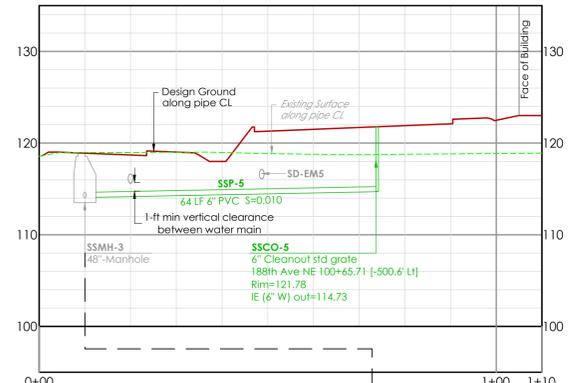
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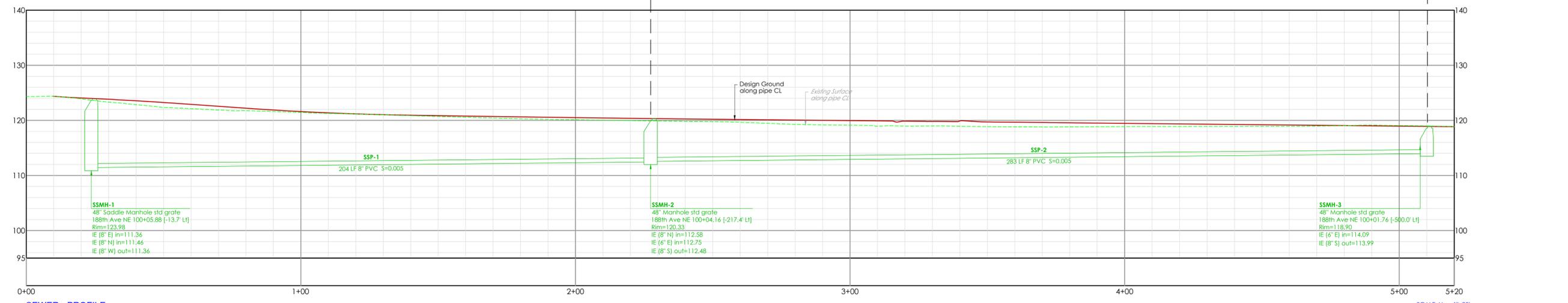
SEWER PLAN



SSMH-2 TO SSCO-4 - PROFILE
SCALE: Horz 1"=20'
(2:1) Vert 1"=10'



SSMH-3 TO SSCO-5 - PROFILE
SCALE: Horz 1"=20'
(2:1) Vert 1"=10'

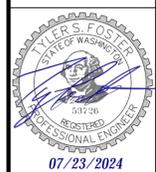


SEWER - PROFILE
SCALE: Horz 1"=20'
(2:1) Vert 1"=10'

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PROJECT LEAD: Merve
CHECKED BY: Tyler
DRAWN BY: Alex, Mier
DATE: 07/23/2024
REVISION 1: July 23, 2024
REVISION 2:
REVISION 3:
REVISION 4:
AS-BUILT:

Smockey Point Industrial
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Smockey Point Industrial LLC
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SEWER PLAN AND PROFILE

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C23 of C23
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