

HARMONY AT ARLINGTON

CITY OF ARLINGTON

ZONING AND DESIGN STANDARDS		
ARCHITECTURAL STANDARD	REQUIREMENT	COMPLIANCE STRATEGY
BUILDING FORM (T4-MS) (AMC 20.110.014(c))	C: MAIN BLDG. HEIGHT: 20' MIN., 3 STORIES MAX.	3 STORIES ARE PROPOSED
	E: CEILING HEIGHT, GROUND FLOORS - RESIDENTIAL: 10' MIN. CLEAR F: CEILING HEIGHT, UPPER FLOORS: 8' MIN. CLEAR	APPLICANT REQUESTS A DEPARTURE FROM THIS STANDARD. 9' GROUND FLOOR CEILINGS ARE PROPOSED. AS 10' CEILINGS DO NOT PROVIDE AN APPARENT PUBLIC OR PRIVATE BENEFIT, AND INCREASE THE SEISMIC LOAD OF THE BUILDING. UPPER STORIES ALL PROVIDE 8' OR GREATER CLEAR HEIGHT.
	D: GROUND FLOOR FINISH LEVEL - RESIDENTIAL: 18" MIN.	APPLICANT REQUESTS A DEPARTURE FROM THIS STANDARD. WHILE MANY UNITS WILL BE ELEVATED ABOVE ADJACENT GRADE BY THE NATURE OF THE PROPOSED SITE GRADING, ELEVATIONS ARE CONTROLLED BY REASONABLE GARAGE AND DRIVEWAY SLOPING AND EXISTING TOPOGRAPHY.
	GROUND FLOOR SPACE DEPTH: 40' MIN.	UNITS ARE GREATER THAN 40' DEPTH
	DISTANCE BETWEEN FRONT ENTRIES, GROUND FLOOR: 50' MAX.	ALL UNIT ENTRIES ARE SPACED AT AN INTERVAL FAR LESS THAN 50'.
	BUILD TO LINES, FRONT: 0' MIN., 10' MAX.	UNITS ON WEST PROPERTY LINE, WHICH FRONT ON FUTURE R.O.W., ARE PROPOSED WITHIN 10' OF BACK OF SIDEWALK.
PRIVATE FRONTAGE TYPE (AMC 20.110.014(d))	ALL PROPOSED UNITS UTILIZE THE ENGAGED PORCH FRONTAGE TYPE, WITH 8' x 10' MINIMUM DIMENSIONS AND FURNITURE AND PATH OF TRAVEL CLEARANCES AS REQUIRED BY CODE.	
	ALL PROPOSED BUILDINGS COMPLY WITH THE 'ROWHOUSE / TOWNHOUSE' BUILDING TYPE.	
BUILDING TYPE (AMC 20.110.014(e))	B: 2 MIN./8 MAX. UNITS PER BUILDING	NO MORE THAN 8 UNITS ARE PROPOSED PER BUILDING.
	C: 18' MIN. / 36' MAX WIDTH	PROPOSED UNITS ARE 18' WIDE
	D: ALLOWED FRONTAGE TYPES, PORCH OR STOOP	PROPOSED UNITS INCORPORATE ENGAGED PORCHES
	E: PEDESTRIAN ACCESS - FRONT STREET	ENTRIES FRONT ON PUBLIC STREETS WHERE ADJACENCY OCCURS, ALL OTHERS ARE ORIENTED TO INTERNAL PEDESTRIAN OPEN SPACE.
COMPATIBILITY WITH SURROUNDING DEVELOPMENTS (AMC 20.110.014(f)(1))	BUILDINGS SHALL BE FINISHED IN MUTED, NATURAL-HUED COLORS AND NATURAL FINISHES.	BUILDING CLADDING MATERIALS WILL FEATURE LAP AND PANEL SIDING IN MUTED AND NATURAL HUES WITH SMOOTH OR WOOD GRAIN APPEARANCE.
	BUILDINGS SHALL PROVIDE PROTECTION FROM THE ELEMENTS AT A MINIMUM AT PUBLIC ENTRIES.	NO PUBLIC ENTRIES; ALL TOWNHOUSE UNITS INCLUDE ENGAGED PORCH PRIVATE ENTRY DESIGNS THAT INCORPORATE WEATHER PROTECTION.
	BUILDINGS SHALL COMPLEMENT ESTABLISHED ARCHITECTURAL CHARACTER OF NEIGHBORHOOD.	BUILDING DESIGNS INCORPORATE MASSING, SCALE, AND MATERIALS SIMILAR TO THAT USED IN NEIGHBORING STRUCTURES.
COMPATIBILITY WITH A MULTIPLE BUILDING DEVELOPMENT (AMC 20.110.014(f)(2))	ALL BUILDINGS IN A MULTIPLE-BUILDING DEVELOPMENT SHALL BE CONSTRUCTED OF BUILDING MATERIALS AND COLORS APPROVED AS PART OF THE DEVELOPMENT APPLICATION.	ALL PROPOSED BUILDINGS ARE DESIGNED WITH THE SAME DESIGN CONCEPTS AND MATERIALS IN ORDER TO CREATE A COHESIVE PROJECT. COLOR SCHEMES WILL LIKELY BE VARIED BETWEEN BUILDINGS TO CREATE VARIETY AND INTEREST.
	DESIGN OF BUILDING SHALL PROVIDE CONSISTENT ARCHITECTURAL DETAILS AND AVOID MONOTONOUS BUILDING MASSING AND DESIGN. DETAILS AND COLORS SHALL BE CONSISTENT ON ALL WALLS.	EACH FACADE OF ALL PROPOSED BUILDINGS INCORPORATES STRATEGIES IN MASSING, MATERIAL, TRIM, AND COLOR THAT AVOID LONG STRETCHES OF BLANK WALL OR OTHERWISE MONOTONOUS DESIGN.
FOUR SIDED DESIGN (AMC 20.110.014(f)(3))	ROOF EQUIPMENT SHALL BE SCREENED FROM VIEW OF PEDESTRIANS AND VEHICLES ON ALL SIDES.	OUTDOOR MECHANICAL EQUIPMENT WILL GENERALLY BE VERY LIMITED, MOST LIKELY A SINGLE OUTDOOR HEAT PUMP CONDENSER UNIT FOR EACH RESIDENCE. THE PREFERRED LOCATION FOR THESE WILL BE CONCEALED AT RESIDENT DECKS AS ALLOWED, WITH A POTENTIAL ALTERNATE LOCATION OUTDOORS AT BUILDING SIDE-YARDS. IF LOCATED AT GROUND LEVEL OR VISIBLE AT ROOF, APPROPRIATE SCREENING WILL BE PROVIDED, THE DESIGN OF WHICH WOULD BE INCLUDED IN THE BUILDING PERMIT DRAWINGS.
	SIGNAGE & DESIGN ELEMENTS (AMC 20.110.014(f)(4))	N/A; NO SIGNAGE PROPOSED.
BUILDING HEIGHT AND TRANSITION (AMC 20.110.014(f)(5))	BUILDING HEIGHT TO COMPLY WITH SECTION 20.110.014(C)	3 STORIES PROPOSED AND PERMISSIBLE PER 20.110.014(C)(3) T4-MS.
	ANY BUILDING CLOSER THAN 80' FROM COMMON PROPERTY LINE WITH EXISTING RESIDENTIAL OR MIXED USE SHALL BE NO HIGHER THAN 12' ABOVE THE CLOSEST EXISTING STRUCTURE.	PARCELS TO WEST, SOUTH, AND EAST ARE SIMILARLY ZONED 'COMMERCIAL CORRIDOR' AND DO NOT CONTAIN RESIDENTIAL STRUCTURES. PARCELS TO NORTH ARE ZONED 'GENERAL INDUSTRIAL' AND DO NOT CONTAIN RESIDENTIAL STRUCTURES.
BUILDING MATERIALS (AMC 20.110.014(f)(6))	HEAVY MATERIALS SHALL BE LOCATED BELOW LIGHT/MEDIUM MATERIALS AND SHALL EXTEND TO GRADE.	HEAVY MATERIALS ARE TYPICALLY LOCATED AT THE GROUND FLOOR AND EXTEND TO GRADE IN ORDER TO CREATE A RECOGNIZABLE BUILDING 'BASE'. PER ELEVATIONS, LIGHT AND MEDIUM MATERIALS ARE LOCATED ABOVE HEAVY MATERIALS.
	AT LEAST 50% OF TOTAL EXTERIOR WALL AREA OF EACH ELEVATION SHALL BE COMPOSED OF HEAVY MATERIALS.	EACH ELEVATION IS COMPRISED OF AT LEAST 50% HEAVY MATERIALS AS IS DEMONSTRATED THROUGH CALCULATIONS SHOWN ON BUILDING ELEVATION SHEETS A2, A4, AND A6.
	A VERTICAL CHANGE OF MATERIALS SHALL OCCUR AT AN INTERIOR CORNER OR SHALL NOT OCCUR WITHIN 4' OF AN EXTERIOR CORNER.	TYPICALLY, VERTICAL MATERIAL CHANGES OCCUR WHERE APPROPRIATE WITH CHANGES IN THE BUILDING WALL PLANE AND MASSING. OTHERWISE, ALL VERTICAL MATERIAL CHANGES DO NOT OCCUR WITHIN 4' OF AN EXTERIOR CORNER.
	VISUALLY HEAVY COLUMNS SHALL BE A MINIMUM OF 16" IN ANY DIRECTION. FINISHED SYNTHETIC WOOD SHALL BE A MINIMUM OF 5 1/2" TO 7" IN ANY DIRECTION, DEPENDING ON IF COLUMN SUPPORTS LOAD BEYOND THAT OF ONLY A ROOF.	PROPOSED COLUMNS ARE PROPORTIONAL TO THERE HEIGHT, AND EXCEED 5-12".
BUILDING MODULATION & ARTICULATION (AMC 20.110.014(f)(7))	STONE AND BRICK USED ON EXTERIOR WALLS SHALL NOT TERMINATE AT EXTERIOR COLUMNS.	NO STONE OR BRICK IS PROPOSED.
	ANY FACADE EXCEEDING 30' IN LENGTH SHALL INCLUDE AT LEAST ONE CHANGE IN WALL PLANE HAVING A DEPTH OF AT LEAST 3% OF THE ENTIRE LENGTH OF THE FACADE; THIS PROJECTION OR RECESS SHALL EXTEND OVER AT LEAST 20% OF THE ENTIRE LENGTH OF THE FACADE.	NO PROPOSED FACADE EXCEEDS 30' IN LENGTH WITHOUT MODULATION OF AT LEAST 11'-2" HORIZONTAL LENGTH BY 1'-6" DEPTH.
	ALL BUILDING FACADES SHALL CONSIST OF VERTICAL BUILDING BAYS THAT ARE A MAXIMUM OF 30' WIDE. THE BAY SHALL PROJECT OR RECESS A MINIMUM OF 8".	NO PROPOSED FACADE EXCEEDS 30' IN LENGTH WITHOUT MODULATION OF AT LEAST 11'-2" HORIZONTAL LENGTH BY 1'-6" DEPTH.
BUILDING SCALE (AMC 20.110.014(f)(8))	BUILDINGS SHALL HAVE RECOGNIZABLE BASE AND TOP	BUILDINGS INCORPORATE MASSING, MATERIALS, AND ARCHITECTURAL FEATURES TO PROVIDE HUMAN-SCALE AND VISUAL INTEREST WHICH HELP TO CREATE A RECOGNIZABLE BASE AND TOP.
	BUILDING WALLS SHALL BE SUBDIVIDED USING ARCHITECTURAL FEATURES THAT COVER AT LEAST 90% OF THE BUILDING FRONT WALL LENGTH AND AT LEAST 60% OF ALL OTHER BUILDING WALL LENGTHS.	BUILDINGS INCORPORATE MASSING, MATERIALS, AND ARCHITECTURAL FEATURES THAT COVER 90% OF THE FACADE OF THE BUILDING, AS DEMONSTRATED IN BUILDING ELEVATION SHEETS A2, A4, AND A6.
PITCHED ROOFS & EAVES (AMC 20.110.014(f)(9))	PITCHED ROOFS SHALL BE GABLE, HIP, OR SHED CONFIGURATIONS WITH OVERHANGING EAVES.	ALL ROOFS ARE CONFIGURED IN GABLE OR HIPPED FORMS WITH OVERHANGING BUILT UP EAVES.
	ROOFS VISIBLE FROM PEDESTRIANS AND VEHICLES SHALL BE SLOPED WITH A PITCH OF 3:12 (OR 4:12 ELSEWHERE) 10:12. ANY PORTION OF VISIBLE SLOPED ROOF EXCEEDING 80' (OR 90' ELSEWHERE) IN LENGTH SHALL INCLUDE SCALING ELEMENTS.	PROPOSED ROOF PITCHES VARY FROM 5:12 TO 7:12. THE PROPOSED DESIGN DOES NOT INCLUDE SPANS OF UNINTERRUPTED ROOF MORE THAN 80'-0" LONG.
GUTTERS, DOWNSPOUTS & SCUPPERS (AMC 20.110.014(f)(10))	GUTTERS, DOWNSPOUTS, AND SCUPPERS SHALL BE CONSTRUCTED OF HIGH-QUALITY METAL AND SHALL BE INTEGRATED INTO DESIGN OF ELEVATION.	GUTTERS AND DOWNSPOUTS HAVE BEEN INCORPORATED INTO THE BUILDING ELEVATIONS TO FACILITATE PROPER DRAINAGE. GUTTERS WILL BE COMPOSED OF ALUMINUM OR OTHER METAL TO BE CONFIRMED IN BUILDING PERMIT PLANS.
	CUSTOMER & PUBLIC ENTRANCES (AMC 20.110.014(f)(11))	N/A; NO COMMERCIAL AREAS PROPOSED.
WINDOWS (AMC 20.110.014(f)(12))	WINDOW PANES SHALL BE VERTICALLY PROPORTIONED.	ALL PROPOSED WINDOWS PANES ARE VERTICALLY PROPORTIONED.
	WINDOW OPENINGS ON BRICK OR STONE SHALL NOT BE TRIMMED. WINDOWS OPENINGS WITHOUT TRIM SHALL HAVE FRAMES AT LEAST 2" WIDE.	NO WINDOW OPENINGS ARE PROPOSED AT BRICK OR STONE. ALL WINDOWS SHALL BE TRIMMED UNLESS AT FIBER CEMENT PANEL, IN WHICH ALL WINDOWS SHALL HAVE FRAMES AT LEAST 2" WIDE.
GLAZING (AMC 20.110.014(f)(12))	WINDOWS LOCATED ABOVE THE GROUND FLOOR SHALL ALIGN WITH GROUND FLOOR WINDOWS, DOORS, AND BUILDING MODULATION.	WINDOWS HAVE BEEN THOUGHTFULLY DESIGNED THROUGHOUT THE PROJECT TO ALIGN WITH OTHER WINDOWS OR DOORS OR BUILDING MODULATION.
	AT GROUND LEVEL, 75% OF PEDESTRIAN VIEW PLANE (2'-10" ABOVE GRADE) SHALL BE TRANSPARENT.	APPLICANT REQUESTS A DEPARTURE FROM THIS STANDARD: 75% TRANSPARENCY IS NOT PRACTICALLY ACHIEVABLE WITH CONVENTIONAL WOOD-FRAME CONSTRUCTION, AND NOT DESIRABLE FOR RESIDENTIAL USE. GROUND LEVEL OCCUPABLE SPACES INCLUDE PRIVATE GARAGES AND DEN AREAS. FOR SECURITY, FEASIBILITY AND FUNCTIONALITY AT PRIMARY FACADES OF THE PROPOSED STRUCTURES, FACADES ARE AT LEAST 25% TRANSPARENT.
	AT SECOND FLOOR AND ABOVE, 25% - 60% OF FACADE SHALL BE TRANSPARENT	AS PROPOSED, ALL PRIMARY FACADES ARE AT LEAST 25% TRANSPARENT.

PROJECT DATA:

ADDRESS: 7417 204TH ST NE ARLINGTON, WA 98223

ZONE: CC (COMMERCIAL CORRIDOR), KENT PRARIE NEIGHBORHOOD, T4-MS MIXED USE OVERLAY

AIRPORT PROTECTION: N/A

DISTRICT SUBDISTRICT: N/A

USE CLASSIFICATION: 'TOWNHOUSE' (AMC 20.40)

OCCUPANCY CLASSIFICATION: I.R.C. 'TOWNHOUSE'

LEGAL DESCRIPTION: Section 11 Township 31 Range 05 Quarter SW TR B PER CITY ARL BSP PFN 577 REC AFN 202107165005 BEING PTN SD SEC

PARCEL NO.: 31051100304000

DENSITY & DIMENSIONAL CALCULATIONS:

SITE AREA: 139,828 SF (3.21 Ac) (PER COUNTY GIS)

PROPOSED RESIDENTIAL DENSITY: 60 D.U.'s

BUILDING SETBACKS: 10' MAX. BUILD TO LINE 0' BUILDING SETBACK

BUILDING HEIGHT (STORIES): 3 STORIES MAX. ALLOWABLE 3 STORIES PROPOSED

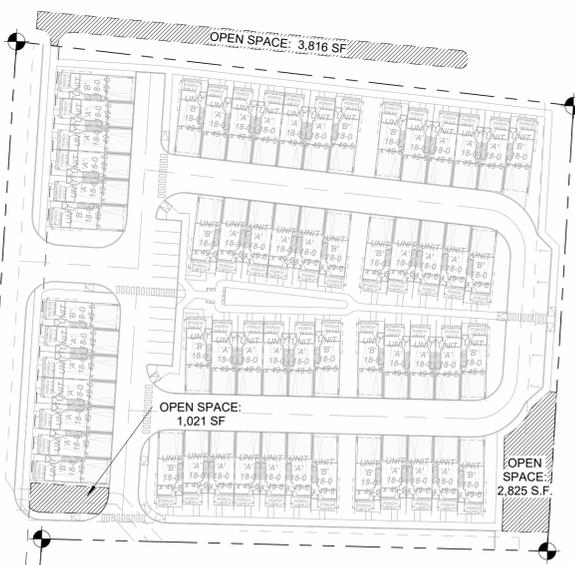
TOTAL LOT COVERAGE: 30%

TOTAL UNIT COUNT **GROSS AREA**

NAME	COUNT	TYPE	UNIT A
UNIT A	40	3 BDRM / 2.5 BATH	2,082 Sfx 40 UNITS = 83,280 SF
UNIT B	20	3 BDRM / 2.5 BATH	2,141 Sfx 20 UNITS = 42,820 SF
TOTAL:	60		126,100 SF

10 BUILDINGS; (4) 5-PLEX, (3)-PLEX, (3) 7-PLEX

OPEN SPACE CALCULATIONS



REQUIRED: +/-140,000 SF TOTAL x 5% REQUIRED = **7,000 SF REQUIRED**

PROPOSED: 3,816 SF + 1,021 SF + 2,825 SF = **7,662 SF PROPOSED**

REQUIRED PARKING:

VEHICLE: REQUIRED (2 STALLS/UNIT) x 60 UNITS = **120 STALLS REQUIRED**

PROPOSED (2 STALLS/UNIT) x 60 UNITS ± 16 GUEST STALLS = **136 STALLS PROPOSED**

BICYCLE: REQUIRED (1 STALL/4 BEDROOMS) x 180 BEDROOMS = **45 STALLS REQUIRED**

PROPOSED (1 STALL/UNIT) x 60 UNITS = **60 STALLS PROPOSED**

UTILITY PROVIDER: SEWER/WATER: CITY OF ARLINGTON

CONSTRUCTION TYPE: TYPE VB

FIRE SPRINKLER: YES, NFPA 13d

DWELLING UNIT SEPARATION: 1-HR RESISTANT RATED COMMON PARTY WALL



FRONT



REAR

PROJECT TEAM:

OWNER
 SAEED ABTAHI
 4012 148TH ST SE, PMB #30
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 EMAIL: msabtahi@outlook.com
 CONTACT: SAEED ABTAHI

ARCHITECT
 WATTENBARGER ARCHITECTS
 40 LAKE BELLEVUE DRIVE, SUITE 350
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 EMAIL: travism@wattenbarger.com
 CONTACT: TRAVIS MCDANOLD, A.I.A.

CIVIL ENGINEER
 LAND TECHNOLOGIES, INC.
 18820 3RD AVE NE
 ARLINGTON, WA 98223
 PHONE: (360) 652-9727
 EMAIL: merle@landtechway.com
 CONTACT: MERLE ASH

SHEET INDEX

SHT. NO.	SHEET NAME	ISSUE DATE
GA1	ARCHITECTURAL OVERVIEW	06/10/2024
GA2	OUTDOOR LIGHTING PLAN	06/10/2024
A3	TYPICAL 5-PLEX - PLANS	06/10/2024
A4	TYPICAL 5-PLEX - ELEVATIONS	06/10/2024
A1	TYPICAL 6-PLEX - PLANS	06/10/2024
A2	TYPICAL 6-PLEX - ELEVATIONS	06/10/2024
A5	TYPICAL 7-PLEX - PLANS	06/10/2024
A6	TYPICAL 7-PLEX - ELEVATIONS	06/10/2024

VICINITY MAP



Revision Schedule

#	DESCRIPTION	DATE

ARCHITECTURAL OVERVIEW

Harmony at Arlington

7417 204th St. NE, Arlington, WA 98223

JOB NO.: 22314

PLOT DATE: 6/10/2024 3:00:55 PM

DATE: 06/10/2024

SCALE: As indicated

DRAWN: JM

CHKCD: TM

SHEET NO.: GA1



LIGHTING PLAN LEGEND

SYMBOL	DESCRIPTION
□	WALL MOUNT LIGHT FIXTURE
□	SURFACE MOUNT LIGHT FIXTURE
○	BOLLARD LIGHT FIXTURE

LUMINAIRE SCHEDULE

#	DESCRIPTION	LAMP	MODEL	INPUT WATTS	VOLTS
F1	EXTERIOR WALL MOUNTED 10.2" x 4.9" x 4.9" SCNCE	(1) 15 W LED 4000K	NOVUS DECOR 'MODERN LED OUTDOOR LAMP' - HORIZONTAL STYLE	18	85-265V
F2	EXTERIOR WALL MOUNTED 10.2" x 4.9" x 4.9" SCNCE	(1) 15 W LED 4000K	NOVUS DECOR 'MODERN LED OUTDOOR LAMP' - VERTICAL STYLE	18	85-265V
F3	6" SURFACE MOUNTED LED PUCK LIGHT	(1) 15 W LED 4000K	COOPER / HALO SLIM SURFACE LED	15	120V



Example of typical exterior lighting: Novus Modern LED exterior wall sconce (horizontal and vertical orientations) or similar as selected by Owner.

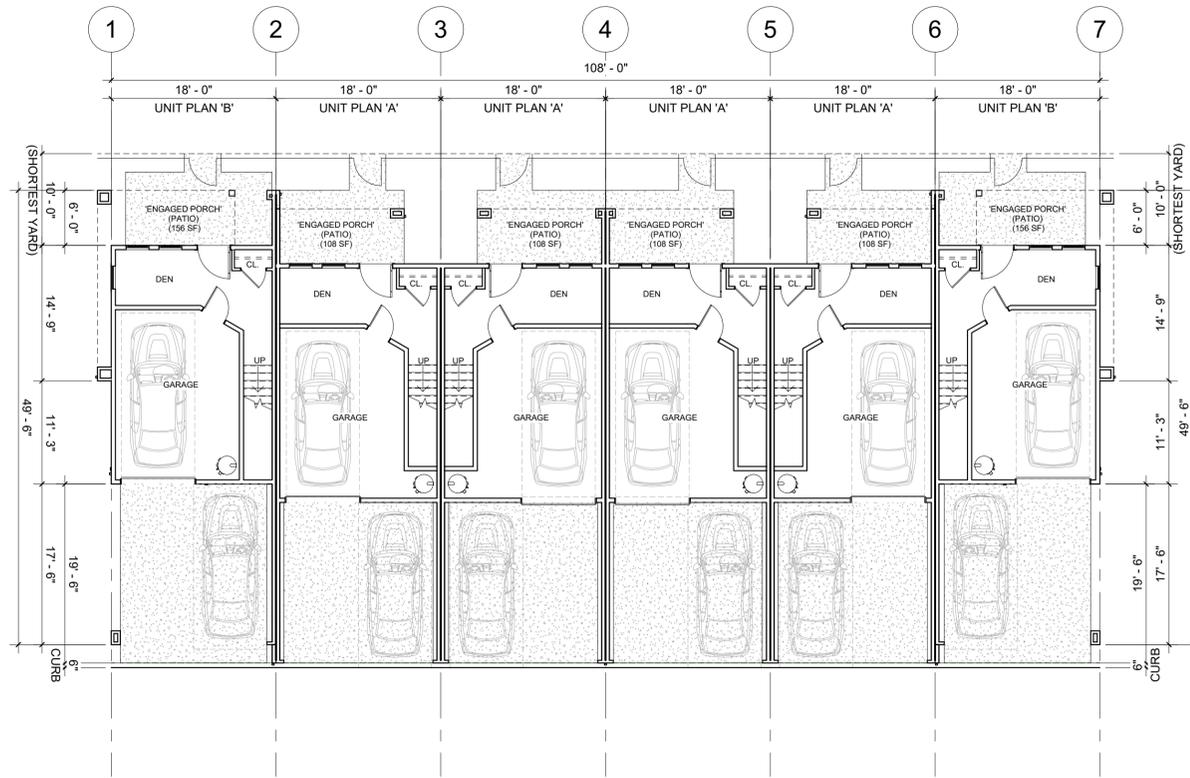
Revision Schedule

#	DESCRIPTION	DATE

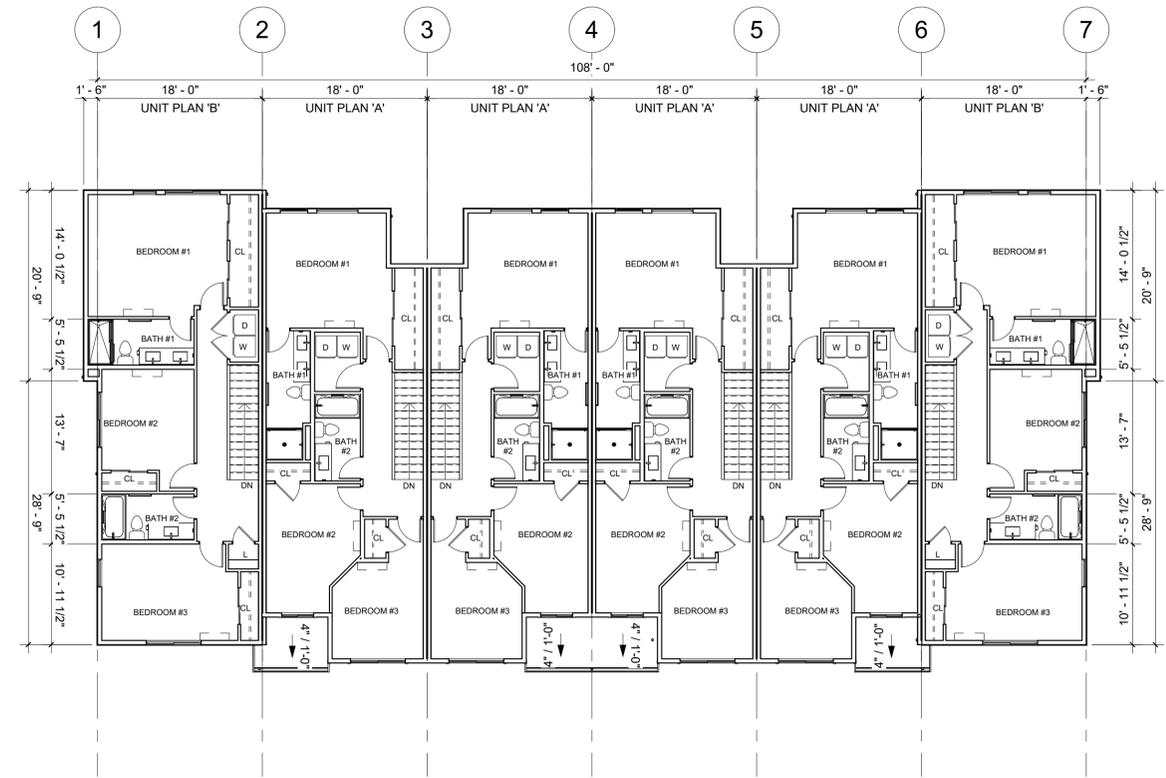
OUTDOOR LIGHTING PLAN

Harmony at Arlington
7417 204th St. NE, Arlington, WA 98223

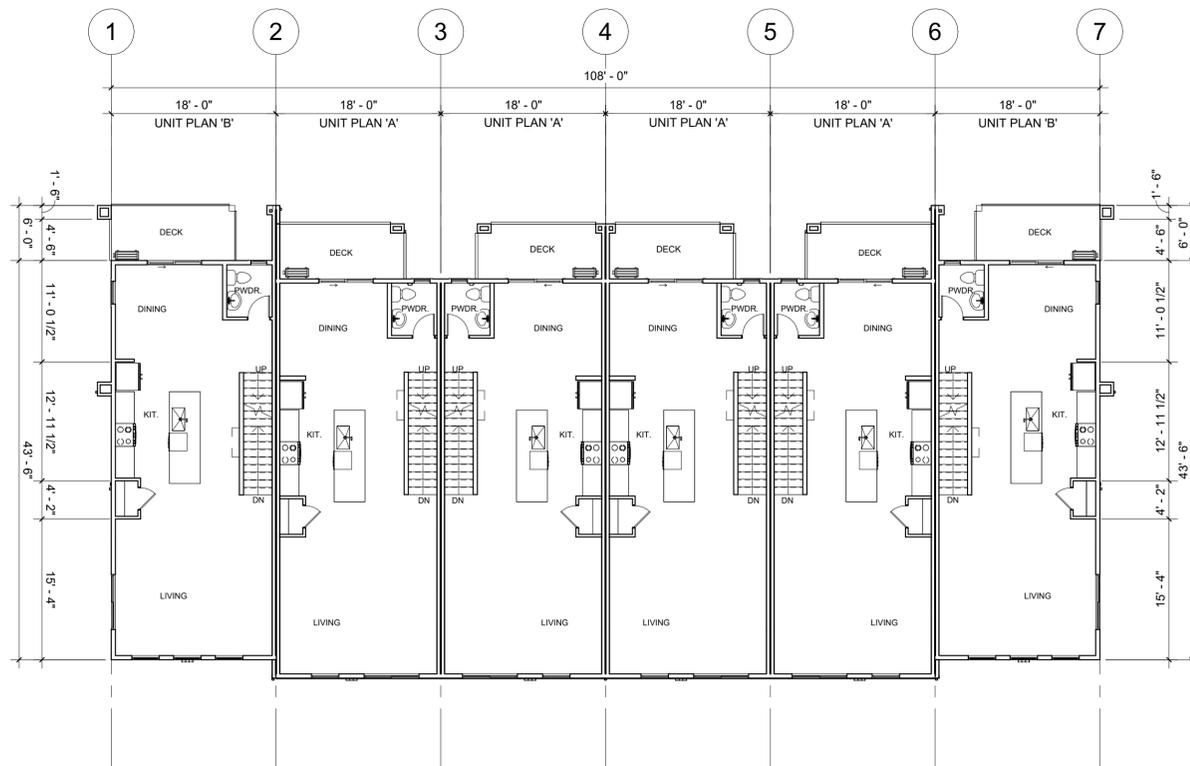
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SHEET NO.: GA2



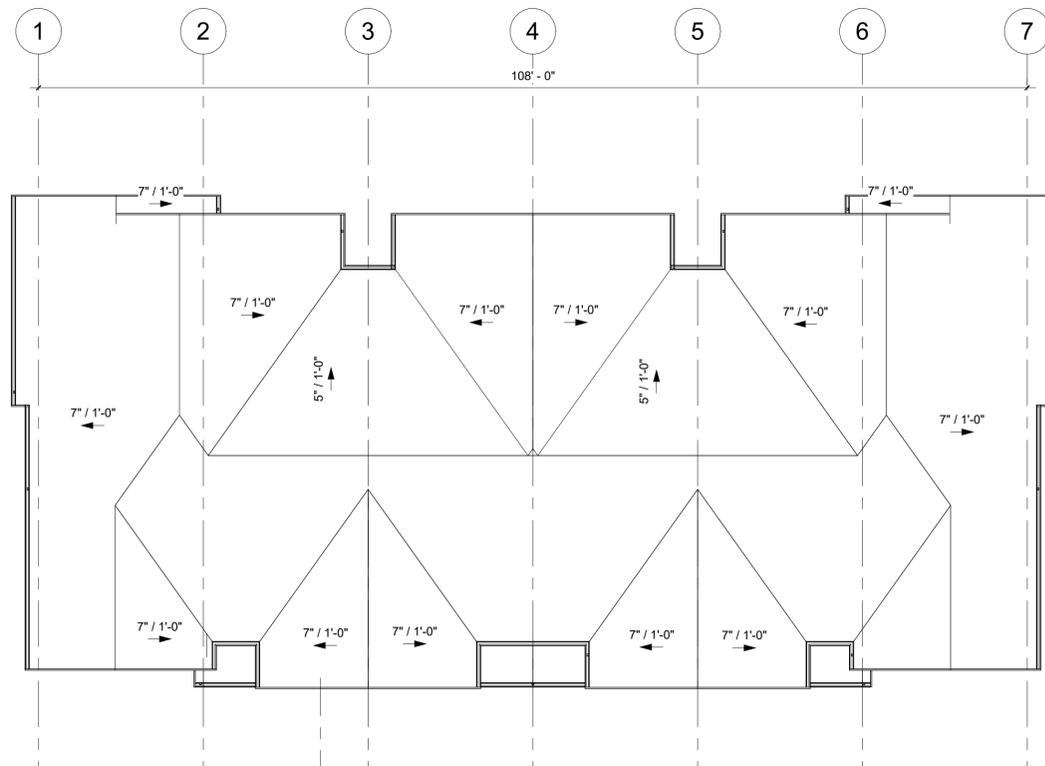
1ST FLOOR
1" = 10'-0"



3RD FLOOR
1" = 10'-0"



2ND FLOOR
1" = 10'-0"



ROOF
1" = 10'-0"

Revision Schedule		
#	DESCRIPTION	DATE

TYPICAL 6-PLEX - PLANS

Harmony at Arlington
7417 204th St. NE, Arlington, WA 98223

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DATE: 06/10/2024
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DRAWN: JM
CHKD: TM

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FRONT ELEVATION
1/8" = 1'-0"

BUILDING MATERIALS
 FACADE AREA = 2,127 SF
 HEAVY MATERIAL AREA REQ. = 1,064 SF (50%) MIN.
 HEAVY MATERIAL AREA SHOWN = 1,802 SF (85%)



SIDE ELEVATION
1/8" = 1'-0"

BUILDING MATERIALS
 FACADE AREA = 1,048 SF
 HEAVY MATERIAL AREA REQ. = 524 SF (50%) MIN.
 HEAVY MATERIAL AREA SHOWN = 551 SF (53%)



REAR ELEVATION
1/8" = 1'-0"

BUILDING MATERIALS
 FACADE AREA = 2,085 SF
 HEAVY MATERIAL AREA REQ. = 1,098 SF (50%) MIN.
 HEAVY MATERIAL AREA SHOWN = 1,168 SF (56%)



**CODE COMPLIANCE -
TRANSPARENCY - FRONT**
1/16" = 1'-0"

GLAZING
 FACADE AREA = 3,151 SF (DASHED)
 TRANS. AREA REQ. = 788 SF (25%)
 TRANS. AREA SHOWN = 809 SF (26%)(SHADED)



**CODE COMPLIANCE -
TRANSPARENCY - REAR**
1/16" = 1'-0"

GLAZING
 FACADE AREA = 3,066 SF (DASHED)
 TRANS. AREA REQ. = 767 SF (25%)
 TRANS. AREA SHOWN = 827 SF (27%)(SHADED)

MATERIALS

- 01**
Fiber Cement Lap Siding, 10.75" Exposure
- 02**
Fiber Cement Lap Siding, 4" Exposure
- 03**
Fiber Cement Panel Siding w/Aluminum Channel Reveal System

PAINT COLORS

- A - Light Body Color**
Aagreeable Gray SW 7029
- B - Medium Body Color**
Cyberspace SW 7076
- C - Accent Color**
Antiquarian Brown SW 0045
- D - Trim Color**
Iron Ore SW 7069

NOTE: Color selections indicated are preliminary; Owner reserves the option to modify color scheme provided that color scheme modifications are consistent with the requirements of AMC 20.110.14(j)(1).

- TRIM & DETAILS**
- 1 BUILT UP FASCIA
 - 2 5/4 x 4 TRIM BAND
 - 3 BUILT UP TRIM BAND
 - 4 5/4 x 4 CORNER BOARD TRIM
 - 5 WINDOW & DOOR TRIM
 - 6 FACE MOUNTED DECK RAILING
 - 7 FULLY GLAZED GARAGE DOOR
 - 8 DOWNSPOUT

Revision Schedule	
#	DESCRIPTION

**TYPICAL 6-PLEX -
ELEVATIONS**

Harmony at Arlington
 7417 204th St. NE, Arlington, WA 98223

JOB NO.:	22314
PLOT DATE	6/7/2024 4:25:32 PM
DATE:	06/10/2024
SCALE:	As indicated
DRAWN:	JM
CHKD:	TM



FRONT ELEVATION
1/8" = 1'-0"

BUILDING MATERIALS	
FAÇADE AREA	= 1,780 SF
HEAVY MATERIAL AREA REQ.	= 890 SF (50%) MIN.
HEAVY MATERIAL AREA SHOWN	= 1,528SF (86%)



SIDE ELEVATION
1/8" = 1'-0"

BUILDING MATERIALS	
FAÇADE AREA	= 1,048 SF
HEAVY MATERIAL AREA REQ.	= 524 SF (50%) MIN.
HEAVY MATERIAL AREA SHOWN	= 551 SF (53%)

MATERIALS

- 01** Fiber Cement Lap Siding, 10.75" Exposure
- 02** Fiber Cement Lap Siding, 4" Exposure
- 03** Fiber Cement Panel Siding w/Aluminum Channel Reveal System

PAINT COLORS

- A - Light Body Color**
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Cyberspace SW 7076
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Iron Ore SW 7069

NOTE: Color selections indicated are preliminary; Owner reserves the option to modify color scheme provided that color scheme modifications are consistent with the requirements of AMC 20.110.14(f)(1).



REAR ELEVATION
1/8" = 1'-0"

BUILDING MATERIALS	
FAÇADE AREA	= 1,745 SF
HEAVY MATERIAL AREA REQ.	= 873 SF (50%) MIN.
HEAVY MATERIAL AREA SHOWN	= 1,180SF (68%)



CODE COMPLIANCE - TRANSPARENCY - FRONT
1/16" = 1'-0"

GLAZING	FAÇADE AREA = 2,640 SF (DASHED)
TRANS. AREA REQ.	= 660 SF (25%)
TRANS. AREA SHOWN	= 680 SF (26%)(SHADED)



CODE COMPLIANCE - TRANSPARENCY - REAR
1/16" = 1'-0"

GLAZING	FAÇADE AREA = 2,555 SF (DASHED)
TRANS. AREA REQ.	= 639 SF (25%)
TRANS. AREA SHOWN	= 683 SF (27%)(SHADED)

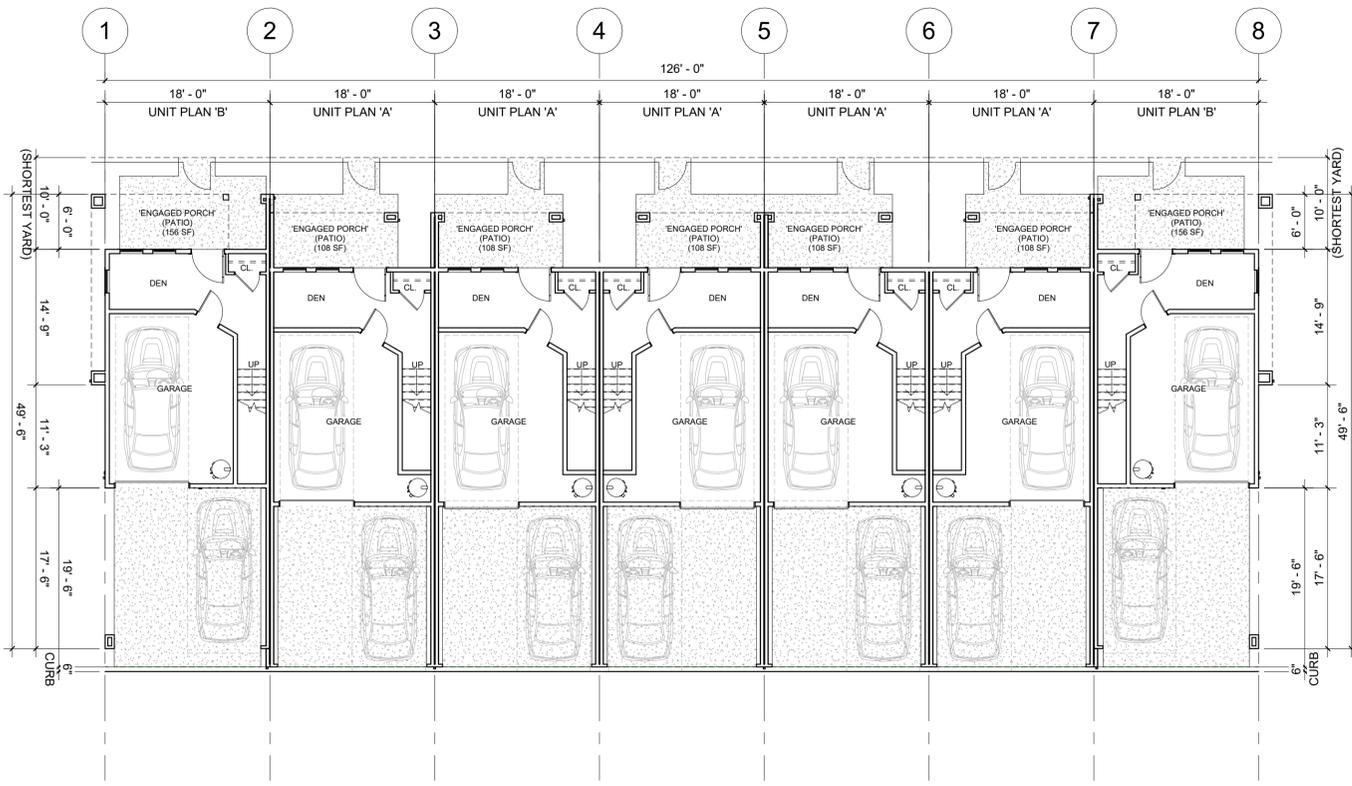
- TRIM & DETAILS**
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Revision Schedule		
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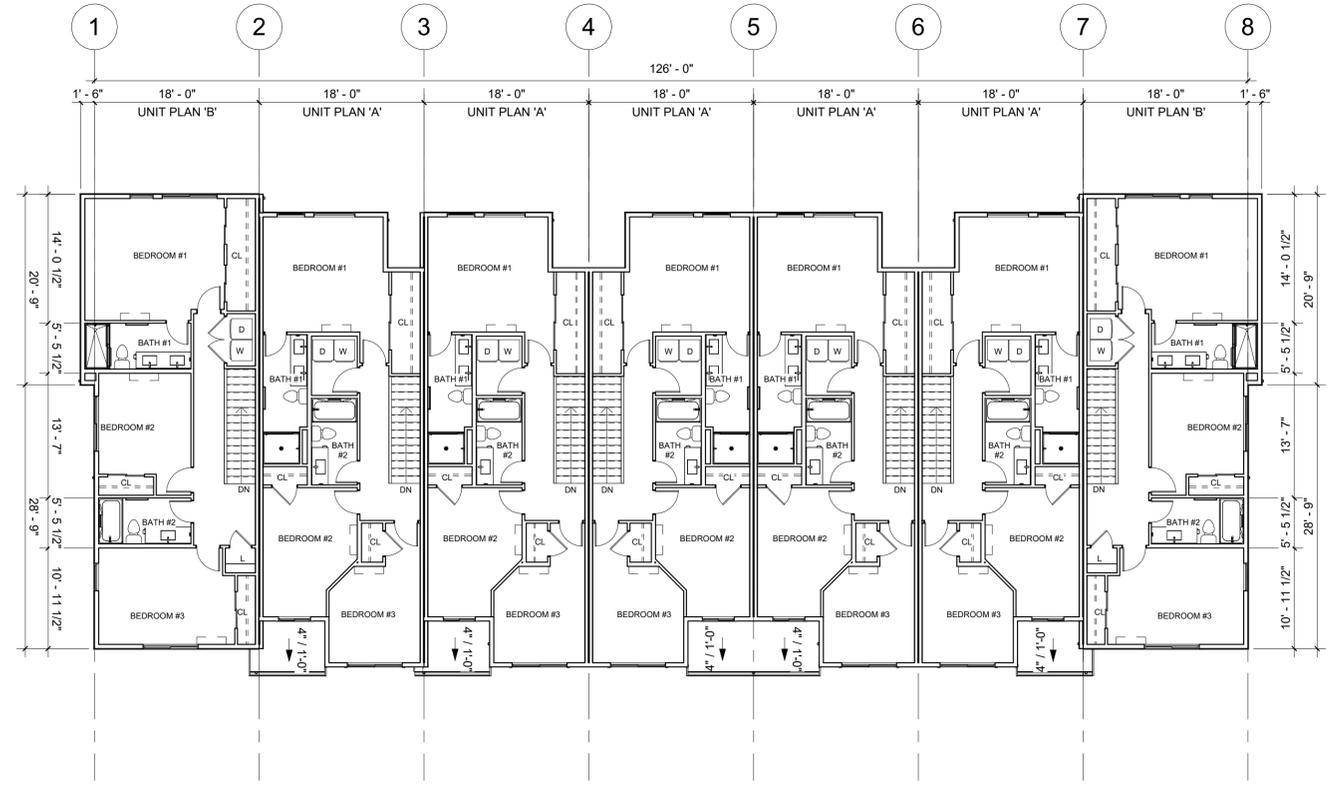
TYPICAL 5-PLEX - ELEVATIONS

Harmony at Arlington
7417 204th St. NE, Arlington, WA 98223

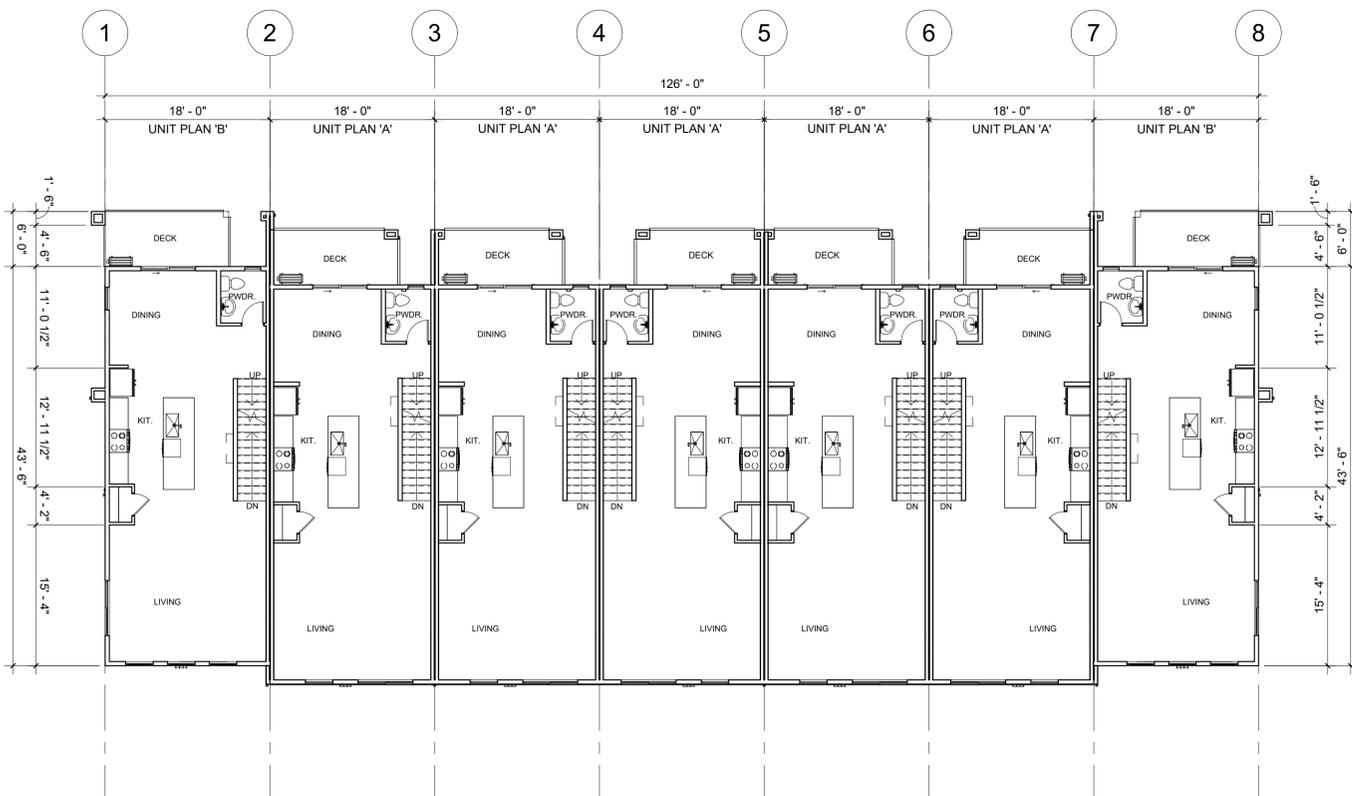
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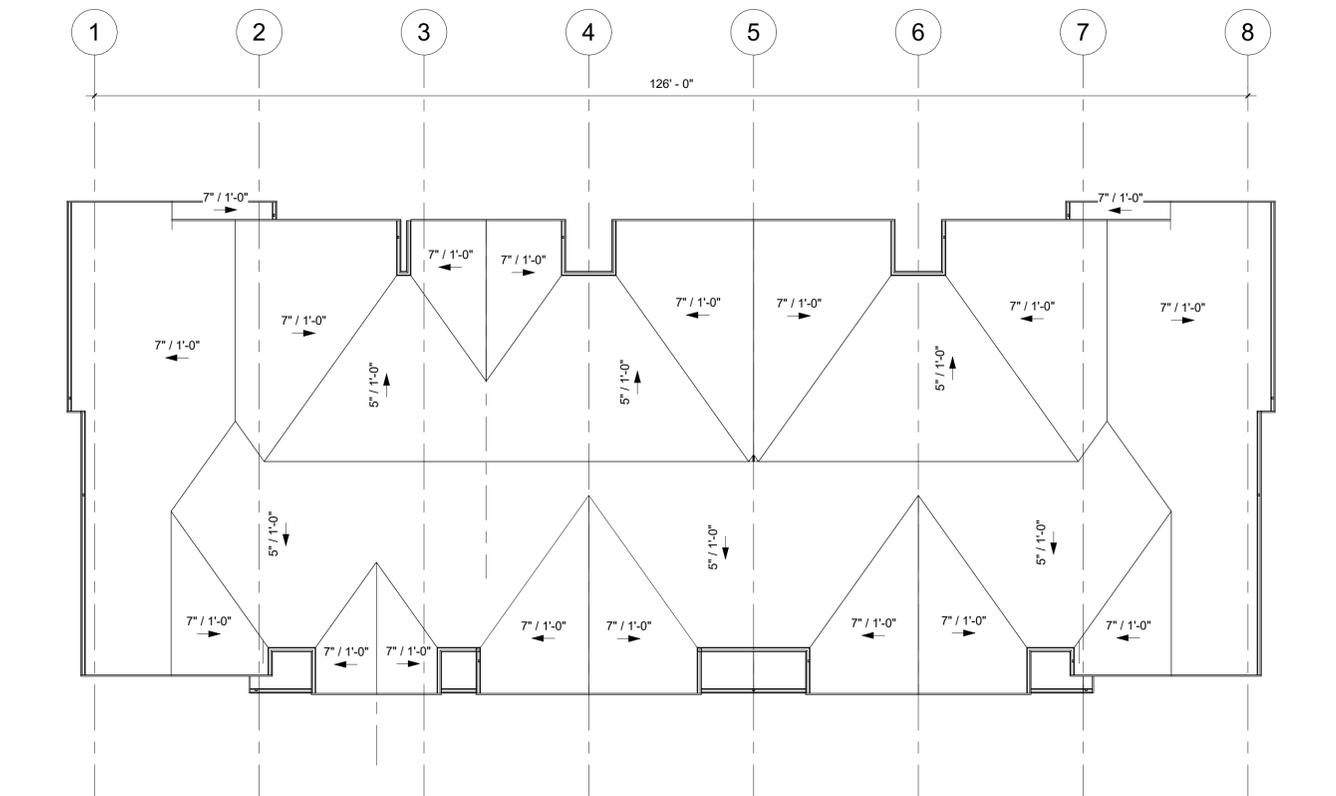
1ST FLOOR
1" = 10'-0"



3RD FLOOR
1" = 10'-0"



2ND FLOOR
1" = 10'-0"



ROOF
1" = 10'-0"

Revision Schedule	DESCRIPTION	DATE

TYPICAL 7-PLEX - PLANS

Harmony at Arlington
7417 204th St. NE, Arlington, WA 98223

JOB NO.: 22314
PLOT DATE: 6/10/2024 9:59:56 AM
DATE: 06/10/2024
SCALE: 1" = 10'-0"
DRAWN: JM
CHKD: TM

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FRONT ELEVATION

1/8" = 1'-0"

BUILDING MATERIALS	
FACADE AREA	= 2,493 SF
HEAVY MATERIAL AREA REQ.	= 1,247 SF (50%) MIN.
HEAVY MATERIAL AREA SHOWN	= 2,137 SF (86%)



SIDE ELEVATION

1/8" = 1'-0"

BUILDING MATERIALS	
FACADE AREA	= 1,048 SF
HEAVY MATERIAL AREA REQ.	= 524 SF (50%) MIN.
HEAVY MATERIAL AREA SHOWN	= 551 SF (53%)



REAR ELEVATION

1/8" = 1'-0"

BUILDING MATERIALS	
FACADE AREA	= 2,428 SF
HEAVY MATERIAL AREA REQ.	= 1,214 SF (50%) MIN.
HEAVY MATERIAL AREA SHOWN	= 1,497 SF (62%)



**CODE COMPLIANCE -
TRANSPARENCY - FRONT**

1/16" = 1'-0"

GLAZING	
FACADE AREA	= 3,662 SF (DASHED)
TRANS. AREA REQ.	= 916 SF (25%)
TRANS. AREA SHOWN	= 938 SF (26%)(SHADED)



**CODE COMPLIANCE -
TRANSPARENCY - REAR**

1/16" = 1'-0"

GLAZING	
FACADE AREA	= 3,577 SF (DASHED)
TRANS. AREA REQ.	= 894 SF (25%)
TRANS. AREA SHOWN	= 971 SF (27%)(SHADED)

MATERIALS

- 01**
Fiber Cement Lap Siding, 10.75" Exposure
- 02**
Fiber Cement Lap Siding, 4" Exposure
- 03**
Fiber Cement Panel Siding w/Aluminum Channel Reveal System

PAINT COLORS

- A - Light Body Color**
Agreeable Gray SW 7029
- B - Medium Body Color**
Cyberspace SW 7076
- C - Accent Color**
Antiquarian Brown SW 0045
- D - Trim Color**
Iron Ore SW 7069

NOTE: Color selections indicated are preliminary; Owner reserves the option to modify color scheme provided that color scheme modifications are consistent with the requirements of AMC 20.110.14(j)(1).

- TRIM & DETAILS**
- 1 BUILT UP FASCIA
 - 2 5/4 x 4 TRIM BAND
 - 3 BUILT UP TRIM BAND
 - 4 5/4 x 4 CORNER BOARD TRIM
 - 5 WINDOW & DOOR TRIM
 - 6 FACE MOUNTED DECK RAILING
 - 7 FULLY GLAZED GARAGE DOOR
 - 8 DOWNSPOUT

WATTENBERGER ARCHITECTURE
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Revision Schedule		
#	DESCRIPTION	DATE

**TYPICAL 7-PLEX -
ELEVATIONS**

Harmony at Arlington
 7417 204th St. NE, Arlington, WA 98223

JOB NO.: 22314

PLOT DATE: 6/7/2024 4:26:06 PM

DATE: 06/10/2024
 SCALE: As indicated
 DRAWN: JM
 CHCKD: TM

SHEET NO.: **A6**