

ALLEN TOWNHOMES PRELIMINARY UNIT LOT SUBDIVISION

LEGEND AND ABBREVIATIONS

EXISTING SYMBOLS		ABBREVIATIONS	
SYMBOL	DESCRIPTION		
●	SET 1/2" x 24" REBAR W/CAP STAMPED "PCS 37536"	HB	HOSE BIB
○	EXISTING REBAR W/CAP, AS NOTED	GPM	GAS PAINT MARK
⊕	WATER VALVE	TR	TELEPHONE RISER
⊕	FIRE HYDRANT	CB	CATCH BASIN
⊕	BLOWOFF VALVE	CL	CENTERLINE
⊕	MAILBOX	CMP	CORRUGATED METAL PIPE
⊕	SIGN POST	CP	CONCRETE PIPE
⊕	UTILITY/POWER POLE	EL	ELEVATION
⊕	GUY ANCHOR	EXIST.	EXISTING
⊕	POWER VAULT	FL	FLOWLINE
⊕	LUMINAIRE	IE	INVERT ELEVATION
⊕	CONIFEROUS TREE	LCPE	LINE CORRUGATED POLYETHYLENE
⊕	DECIDUOUS TREE	PL	PROPERTY LINE
		PP	POWER POLE
		PVC	POLYVINYL CHLORIDE PIPE
		R/W	RIGHT-OF-WAY
		STA	STATION
		SD	STORM DRAIN
		SS	SANITARY SEWER
		SSMH	SANITARY SEWER MANHOLE
		SWPE	SOLID WALL POLYETHYLENE PIPE
		TYP	TYPICAL
		TBR	TO BE REMOVED

PROPOSED STORM SYMBOLS		PROPOSED WATER SYMBOLS	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
⊕	SD CAP	⊕	WATER CAP
⊕	TYPE 1 CATCH BASIN, GRATED LID	⊕	CONCRETE BLOCKING
⊕	TYPE 1 CATCH BASIN, SOLID LID	⊕	BUTTERFLY VALVE
⊕	TYPE 2 CATCH BASIN, GRATED LID	⊕	11" BEND
⊕	TYPE 2 CATCH BASIN, SOLID LID	⊕	45" BEND
⊕	BEEHIVE MANHOLE COVER	⊕	90° BEND
⊕	SQUARE YARD DRAIN	⊕	22" BEND
⊕	ROUND YARD DRAIN	⊕	VALVE
⊕	STORM CLEAN OUT	⊕	HYDRANT ASSEMBLY
⊕	STORM PIPE	⊕	BLOW-OFF VALVE
		⊕	REDUCER
		⊕	AIR-VAC ASSEMBLY
		⊕	WATER METER
		⊕	WATER PIPE

PROPOSED SEWER SYMBOLS	
SYMBOL	DESCRIPTION
⊕	SEWER CAP
⊕	SEWER CLEANOUT
●	SEWER MANHOLE
⊕	SEWER PIPE

CONTACT LIST

OWNER/APPLICANT:
LAND PRO GROUP
10515 20TH ST SE, SUITE #202
LAKE STEVENS, WASHINGTON 98258
CONTACT: RYAN LARSEN
PHONE: (360) 631-1820
EMAIL: rlarsen@landprogrp.com

CIVIL ENGINEER:
LDC, INC.
20210 142ND AVE NE
WOODINVILLE, WASHINGTON 98072
CONTACT: TOM ABBOTT, PE
PHONE: (425) 806-1869
FAX: (425) 482-2893
EMAIL: tabbott@ldccorp.com

SURVEYOR:
PACIFIC COAST SURVEYS, INC.
P.O. BOX 13619
MILL CREEK, WASHINGTON 98082
CONTACT: DARREN RIDDLE, PLS
PHONE: (425) 512-709
FAX: (425) 357-3577
EMAIL: darren@pcsurveys.net

GEOTECHNICAL ENGINEER:
COBALT GEOSCIENCES, LLC
P.O. BOX 1792
NORTH BEND, WASHINGTON 98045
CONTACT: PHIL HABERMAN, PE
PHONE: (206) 331-1097
EMAIL: phil@cobaltgeo.com

LANDSCAPE ARCHITECT:
ORIGIN DESIGN GROUP
1031 185TH AVENUE NE
SNOHOMISH, WASHINGTON 98290
CONTACT: KRISTAL LOWE
PHONE: (425) 346-9105
EMAIL: origindg@gmail.com

PROJECT INFORMATION

TAX PARCELS: 31052400301000, 31052400300900
SITE ADDRESS: 8927 172ND STREET NE, ARLINGTON, WA 98223

SITE AREA: 213,367 SF (4.89 AC)
CURRENT ZONING: RESIDENTIAL HIGH CAPACITY
ZONING: RESIDENTIAL HIGH CAPACITY
USE: 36 TOWNHOMES
NET DEVELOPABLE AREA: 96,778 SF (2.22 AC)
PROPOSED NET DENSITY: 16.22 DU/AC
MINI-PARK AREA PROVIDED: 11,049 SF (0.25 AC)
WATER: CITY OF ARLINGTON
SEWER: CITY OF ARLINGTON
POWER: SNOHOMISH COUNTY PUD
GAS: CASCADE NATURAL GAS
TELEPHONE: COMCAST
CABLE: COMCAST
SCHOOL DISTRICT: ARLINGTON SCHOOL DISTRICT NO. 16
FIRE DISTRICT: NORTH COUNTY FIRE & EMS
AIRPORT PROTECTION DISTRICT: SUB-DISTRICT D
REQUIRED MINIMUM SETBACKS:
FRONT: 20'
REAR: 15'

TABLE OF CONTENTS

- 1-2 COVER SHEET
- 3 PRELIMINARY UNIT LOT SUBDIVISION

NOTES

1. SEE SHEET PP-02 FOR SURVEY INFORMATION.

EARTHWORK QUANTITIES

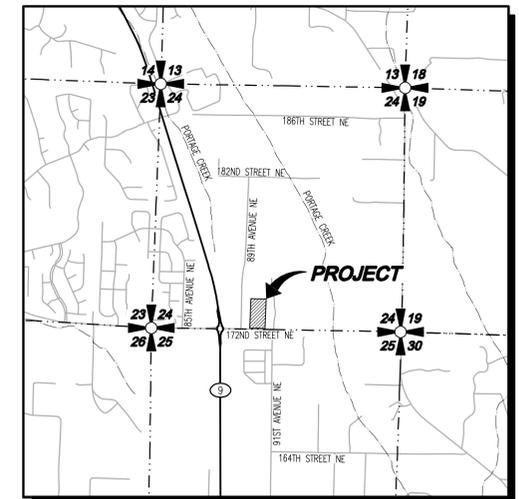
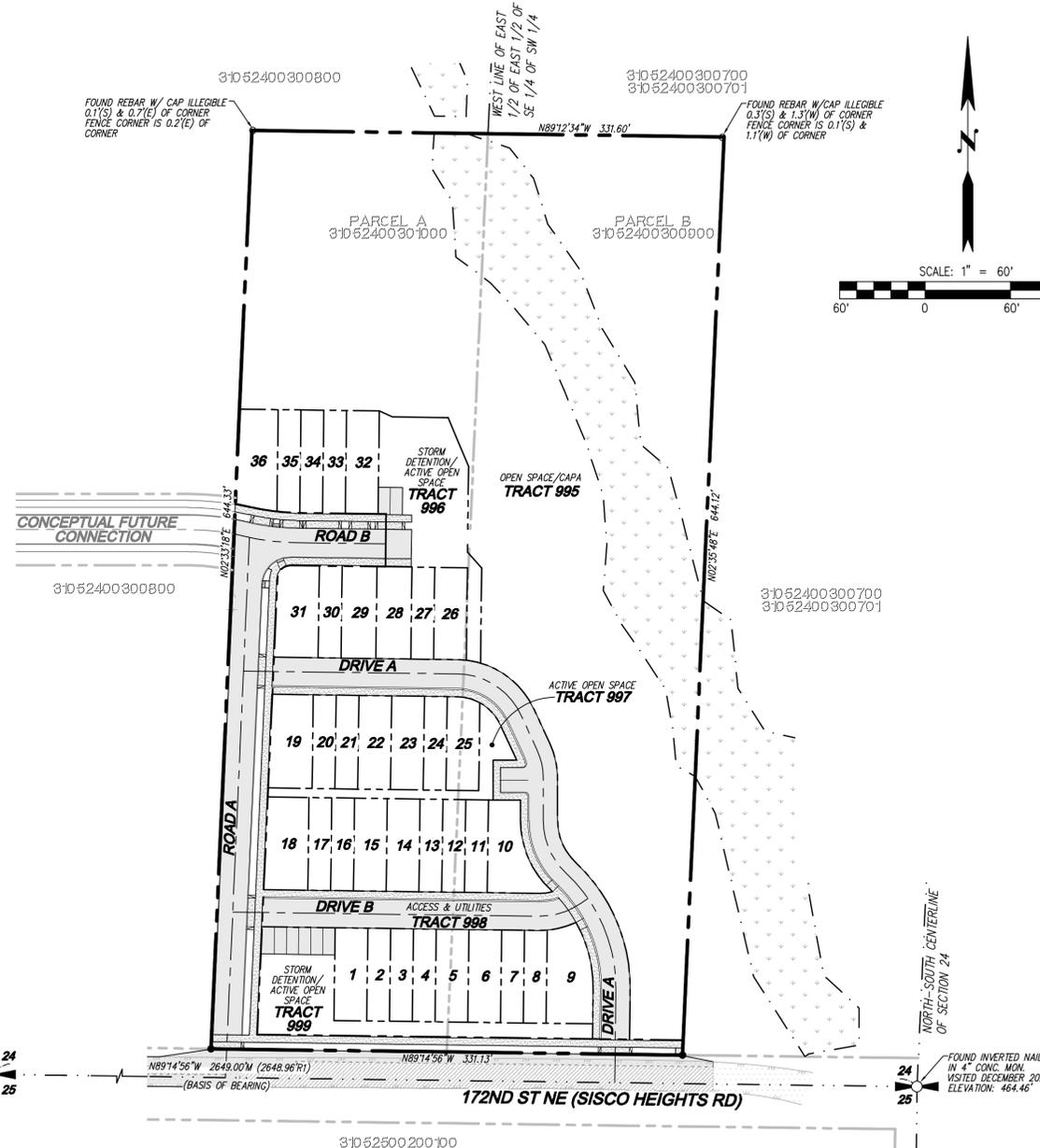
CUT: 5,000 CY
FILL: 8,000 CY
DISTURBED/CLEARING AREA: 128,512 SF (2.95 AC)

UTILITY NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

DISCLAIMER

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VICINITY MAP
SCALE: 1" = 2000'

MINI-PARK AND OPEN SPACE

MINI PARK REQUIREMENT 20.52.010
UNIT COUNT: 36 UNITS
3.2 PERSONS PER UNIT: 115.2 PERSONS
MINI-PARK AREA (115.2 x 65 SF/PERSON): 7,488 SF REQUIRED
MINI-PARK AREA PROVIDED: 8,249 SF

USABLE OPEN SPACE REQUIREMENT 20.52.030
5.0% TOTAL DEVELOPMENT AREA REQUIRED: 96,778 SF (PRIOR TO BUFFER AVERAGING)
DEVELOPMENT AREA: 4,839 SF
TOTAL USABLE OPEN SPACE REQUIRED: 9,816 SF (10.1%)
OPEN SPACE PROVIDED:

PARKING SPACE REQUIREMENTS

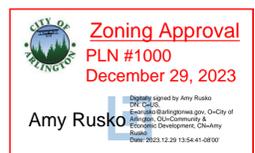
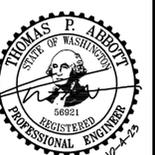
REQUIRED SPACES: 81 (2 SPACES PER UNIT PLUS 1 ADDITIONAL SPACE EVERY 4 UNITS)
PROVIDED UNIT SPACES: 72
PROVIDED GUESTS SPACES: 10
PROVIDED TOTAL SPACES: 82

LDC

Surveying
Engineering
Planning
Kent
Woodinville
20210 142nd Avenue NE
Woodinville, WA 98072
T 425.806.1869 www.LDCcorp.com F 425.482.2893

JM1 HOLDINGS, LLC.
ALLEN TOWNHOMES

COVER SHEET



JOB NUMBER: C21-213
DRAWING NAME: C21213P-CS-ASP
DESIGNER: TPA
DRAFTING BY: BJN
DATE: 10-10-22
SCALE: 1" = 60"
JURISDICTION: ARLINGTON

PP-01

SURVEY INFORMATION

LEGAL DESCRIPTION

EXISTING PARCEL A:
THE SOUTH HALF OF THE EAST HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M. EXCEPT ANY PORTION IN SISCO HEIGHTS ROAD.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

EXISTING PARCEL B:
THE SOUTH HALF OF THE WEST HALF OF THE EAST HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M. EXCEPT ANY PORTION IN SISCO HEIGHTS ROAD.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

TRACT 996:
THAT PORTION OF SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER SECTION 24, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.;

DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SUBDIVISION; THENCE NORTH 89°14'56" WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION A DISTANCE OF 496.68 FEET; THENCE NORTH 02°33'18" EAST A DISTANCE OF 30.01 FEET TO THE POINT OF BEGINNING; THENCE NORTH 02°33'18" EAST A DISTANCE OF 62.20 FEET; THENCE SOUTH 87°26'42" EAST A DISTANCE OF 70.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 60.00 FEET; THENCE NORTH 89°14'56" WEST A DISTANCE OF 70.03 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE COUNTY ON SNOHOMISH, STATE OF WASHINGTON.

TRACT 997:
THAT PORTION OF SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER SECTION 24, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.;

DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SUBDIVISION; THENCE NORTH 89°14'56" WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION A DISTANCE OF 165.56 FEET; THENCE NORTH 02°35'48" EAST A DISTANCE OF 30.01 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 02°35'48" EAST A DISTANCE OF 75.72 FEET TO A POINT ON A NON-TANGENT WITH A CURVE CONCAVE TO THE NORTH AND HAVING A RADIUS THAT BEARS NORTH 02°24'50" EAST A DISTANCE OF 110.00 FEET AND HAVING A CENTRAL ANGLE OF 26°04'46"; THENCE ALONG SAID CURVE TO THE RIGHT AN ARC DISTANCE OF 50.07 FEET; THENCE NORTH 61°30'24" WEST A DISTANCE OF 14.70 FEET TO A POINT ON A CURVE CONCAVE TO THE NORTHEAST WITH A CENTRAL ANGLE OF 11°56'36" AND A RADIUS OF 110.00 FEET; THENCE ALONG SAID CURVE TO THE RIGHT AN ARC DISTANCE OF 22.93 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 67.27 FEET; THENCE SOUTH 87°26'42" EAST A DISTANCE OF 19.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 18.00 FEET; THENCE NORTH 87°26'42" WEST A DISTANCE OF 19.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 22.59 FEET; THENCE SOUTH 89°14'16" EAST A DISTANCE OF 81.02 FEET; TO THE POINT OF BEGINNING.

SITUATE IN THE COUNTY ON SNOHOMISH, STATE OF WASHINGTON.

TRACT 998:
THAT PORTION OF SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER SECTION 24, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.;

DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SUBDIVISION; THENCE NORTH 89°14'56" WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION A DISTANCE OF 165.56 FEET; THENCE NORTH 02°35'48" EAST A DISTANCE OF 30.01 FEET; THENCE NORTH 89°14'16" WEST A DISTANCE OF 81.02 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89°17'06" WEST A DISTANCE OF 25.01 FEET; THENCE NORTH 02°33'18" EAST A DISTANCE OF 140.41 FEET; THENCE SOUTH 87°26'42" EAST A DISTANCE OF 25.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 99.02 FEET; THENCE SOUTH 87°26'42" EAST A DISTANCE OF 19.00 FEET; THENCE NORTH 02°33'18" WEST A DISTANCE OF 18.00 FEET; THENCE NORTH 87°26'42" WEST A DISTANCE OF 19.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 22.59 FEET; TO THE POINT OF BEGINNING.

SITUATE IN THE COUNTY ON SNOHOMISH, STATE OF WASHINGTON.

TRACT 999:
THAT PORTION OF SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER SECTION 24, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.;

DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SUBDIVISION; THENCE NORTH 89°14'56" WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION A DISTANCE OF 165.56 FEET; THENCE NORTH 02°35'48" EAST A DISTANCE OF 30.01 FEET; THENCE NORTH 89°14'56" WEST A DISTANCE OF 236.09 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89°14'56" WEST A DISTANCE OF 25.01 FEET; THENCE NORTH 02°33'18" EAST A DISTANCE OF 336.58 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST WITH A CENTRAL ANGLE OF 56°26'34" AND A RADIUS THAT BEARS SOUTH 58°59'52" WEST A DISTANCE OF 30.00 FEET; THENCE ALONG SAID CURVE TO THE LEFT AN ARC DISTANCE OF 29.55 FEET; THENCE NORTH 87°26'42" WEST A DISTANCE OF 45.00 FEET; THENCE NORTH 02°33'18" EAST A DISTANCE OF 20.00 FEET; THENCE SOUTH 87°26'42" EAST A DISTANCE OF 45.00 FEET TO A POINT ON A CURVE CONCAVE TO THE NORTHWEST WITH A CENTRAL ANGLE OF 56°26'34" AND A RADIUS OF 30.00 FEET; THENCE ALONG SAID CURVE TO THE LEFT AN ARC DISTANCE OF 29.55 FEET; THENCE NORTH 02°33'18" EAST A DISTANCE OF 92.58 FEET; THENCE SOUTH 87°26'42" EAST A DISTANCE OF 25.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 7.59 FEET; THENCE SOUTH 87°26'42" EAST A DISTANCE OF 19.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 81.00 FEET; THENCE NORTH 87°26'42" WEST A DISTANCE OF 19.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 386.62 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE COUNTY ON SNOHOMISH, STATE OF WASHINGTON.

VERTICAL DATUM

NORTH AMERICAN VERTICAL DATUM-1988

BENCHMARK

FOUND INVERTED NAIL IN 4" CONC. MON.

ELEVATION = 464.46 FEET.

BASIS OF BEARING

THE MONUMENTED CENTERLINE OF 172ND STREET NORTHEAST, AS THE BEARING OF NORTH 89°14'56" WEST, ALSO BEING THE SOUTH LINE OF SECTION 24, PER THE ARLINGTON ROUNDABOUT PLAZA BINDING SITE PLAN, RECORDED UNDER AUDITOR'S FILE NUMBER 201808315011.

EQUIPMENT & PROCEDURES

METHOD OF SURVEY:
SURVEY PERFORMED BY FIELD TRAVERSE
INSTRUMENTATION:
LEICA TS16 ROBOTIC ELECTRONIC TOTAL STATION
PRECISION:
MEETS OR EXCEEDS STATE STANDARDS WAC 332-130-090

REFERENCES

(R1) ARLINGTON ROUNDABOUT PLAZA BINDING SITE PLAN, AFN 201808315011

(R2) VERIZON BINDING SITE PLAN NO. 002-05 AF NO. 200705085171

SURVEY NOTES

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF PARTIES WHOSE NAMES APPEAR HEREON ONLY, AND DOES NOT EXTEND TO ANY UNNAMED THIRD PARTIES WITHOUT EXPRESS RECERTIFICATION BY THE LAND SURVEYOR OF RECORD.

BOUNDARY LINES SHOWN AND CORNERS SET REPRESENT DEED LOCATIONS; OWNERSHIP LINES MAY VARY. NO GUARANTEE OF OWNERSHIP IS EXPRESSED OR IMPLIED. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, AND OCCUPATION WHICH MAY ENCUMBER TITLE OR USE OF SUBJECT PROPERTY.

UTILITY NOTE

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DISCLAIMER

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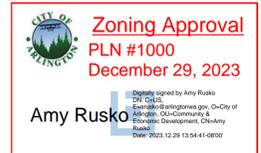
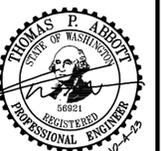


Table with 3 columns: NO., DATE, DESCRIPTION. Row 1: 1, 9-18-23, REVISED PER CITY LIST COMMENTS. Row 2: 2, 10-4-23, REVISED PER 2ND CITY COMMENTS.

LDC logo and contact information for LDC Corp. in Kent, WA. Includes address: 20210 142nd Avenue NE, Woodinville, WA 98072. Phone: 425.806.1869. Website: www.LDCcorp.com.

JM1 HOLDINGS, LLC. ALLEN TOWNHOMES

COVER SHEET



JOB NUMBER: C21-213
DRAWING NAME: C21213P-CS-ASP
DESIGNER: TPA
DRAFTING BY: BJN
DATE: 10-10-22
SCALE: AS NOTED
JURISDICTION: ARLINGTON

PP-02

PRIVATE OPEN SPACE TABLE

Table with 5 columns: Lot, Lot Area SF, Private Open Space (Yard) SF, Total Private Open Space SF, Private Open Space % of Lot. Rows 1-36.

PROJECT INFORMATION

TAX PARCELS: 31052400301000, 31052400300900
SITE ADDRESS: 8927 172ND STREET NE
ARLINGTON, WA 98223
SITE AREA: 213,367 SF (4.89 AC)
CURRENT ZONING: RESIDENTIAL HIGH CAPACITY
ZONING: RESIDENTIAL HIGH CAPACITY
USE: 36 TOWNHOMES
NET DEVELOPABLE AREA: 96,778 SF (2.22 AC)
PROPOSED NET DENSITY: 16.22 DU/AC
MINI-PARK AREA PROVIDED: 11,049 SF (0.25 AC)
CITY OF ARLINGTON
SEWER: CITY OF ARLINGTON
POWER: SNOHOMISH COUNTY PUD
GAS: CASCADE NATURAL GAS
TELEPHONE: COMCAST
CABLE: COMCAST
SCHOOL DISTRICT: ARLINGTON SCHOOL DISTRICT NO. 16
FIRE DISTRICT: NORTH COUNTY FIRE & EMS
AIRPORT PROTECTION DISTRICT: SUB-DISTRICT D
REQUIRED MINIMUM SETBACKS:
FRONT: 20'
REAR: 15'

MINI-PARK AND OPEN SPACE

MINI PARK REQUIREMENT 20.52.010
UNIT COUNT: 36 UNITS
3.2 PERSONS PER UNIT: 115.2 PERSONS
MINI-PARK AREA (115.2 X 65 SF/PERSON): 7,488 SF REQUIRED
MINI-PARK AREA PROVIDED: 8,249 SF

USABLE OPEN SPACE REQUIREMENT 20.52.030

5.0% TOTAL DEVELOPMENT AREA REQUIRED
DEVELOPMENT AREA: 96,778 SF (PRIOR TO BUFFER AVERAGING)
TOTAL USABLE OPEN SPACE REQUIRED: 4,839 SF
OPEN SPACE PROVIDED: 9,816 SF (10.1%)

PARKING SPACE REQUIREMENTS

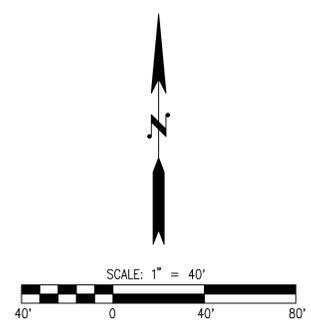
REQUIRED SPACES: 81 (2 SPACES PER UNIT PLUS 1 ADDITIONAL SPACE EVERY 4 UNITS)
PROVIDED UNIT SPACES: 72
PROVIDED GUESTS SPACES: 10
PROVIDED TOTAL SPACES: 82

ROW DEDICATION

ROW DEDICATION AREA: 18,067 SF (0.41 AC)

LEGEND

- STORM PIPE
SEWER PIPE
WATER PIPE
NGPA FENCING AND SIGNAGE
MONUMENT
"NO-PARKING FIRE LANE" SIGN
STREET LIGHT
CONCRETE
FULL DEPTH ASPHALT PAVEMENT
GRIND AND OVERLAY

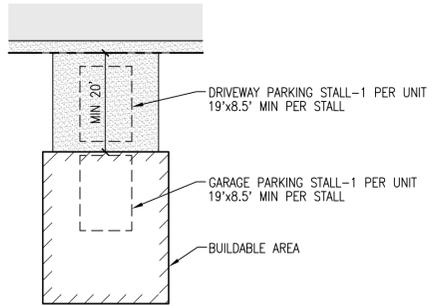


PARKING NOTE:

TANDEM STALLS ARE PROPOSED TO MEET PARKING COUNTS. ONE STALL PER UNIT IS TO BE LOCATED WITHIN THE PROPOSED GARAGE AND ONE STALL IS TO BE LOCATED ON THE PROPOSED DRIVEWAY.

PRIVATE OPEN SPACE NOTE:

PRIVATE OPEN SPACE INCLUDES 5'x6' FRONT PORCH AREA. SEE BUILDING PERMIT PLANS FOR DETAILS OF PORCH AREA.



PARKING SPACE DETAIL NOT TO SCALE



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Zoning Approval PLN #1000 December 29, 2023 Any Rusko

Call 2 Business Days Before You Dig 811 or 1-800-424-5555 Utilities Underground Location Center

Revisions table with columns: NO., DATE, DESCRIPTION.

JM1 HOLDINGS, LLC. ALLEN TOWNHOMES PERLMINARY UNIT LOT SUBDIVISION

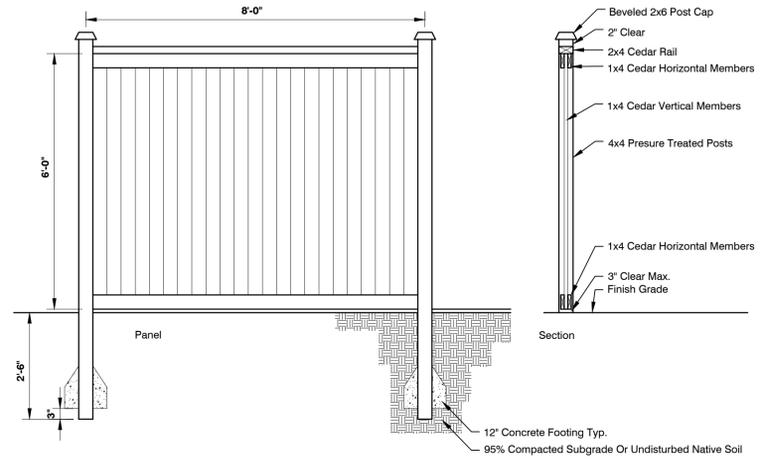


JOB NUMBER: C21-213
DRAWING NAME: C21213P-ASP-PL
DESIGNER: TPA
DRAFTING BY: BJN
DATE: 10-10-22
SCALE: 1"=40'
JURISDICTION: ARLINGTON
PP-03 SHEET 3 OF 3

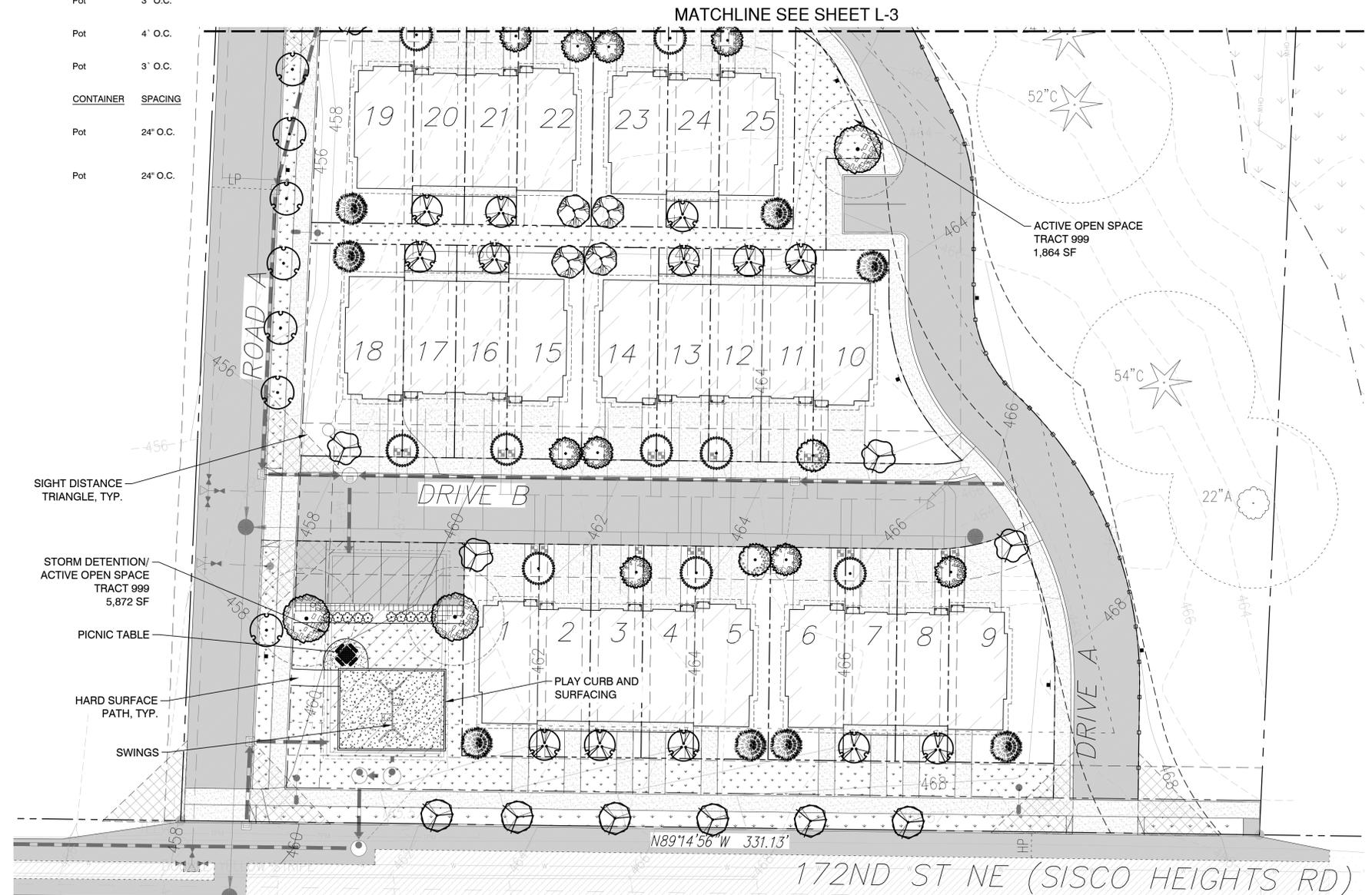
SE 1/4, SW 1/4, SEC 24, TWN 31 N, RGE 5 E, W.M.,
CITY OF ARLINGTON, SNOHOMISH COUNTY, WASHINGTON

PLANT SCHEDULE

NATIVE TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	18	Acer circinatum	Vine Maple	4'-6" ht	B&B	SPACING AS SHOWN
	4	Amelanchier alnifolia	Serviceberry	4'-6" ht	Pot	SPACING AS SHOWN
	17	Thuja plicata 'Excelsa'	Excelsa Western Red Cedar	6' Ht.	B&B	SPACING AS SHOWN
PARKING SHADE TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	4	Pyrus calleryana 'Aristocrat'	Aristocrat Callery Pear	1.5' Cal.	B&B	SPACING AS SHOWN
STREET TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	6	Acer griseum	Paperbark Maple	2" Cal. Branched at 8' Min.	B&B	30' O.C.
	3	Acer rubrum 'Bowhall'	Bowhall Red Maple	2" Cal. Branched at 8' Min.	B&B	SPACING AS SHOWN
	6	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	2" Cal. Branched at 8' Min.	B&B	30' O.C.
	15	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	2" Cal. Branched at 8' Min.	B&B	SPACING AS SHOWN
	9	Cornus kousa	Kousa Dogwood	2" Cal. Branched at 8' Min.	B&B	30' O.C.
	13	Pyrus calleryana 'Autumn Blaze'	Autumn Blaze Callery Pear	2" Cal. Branched at 8' Min.	B&B	SPACING AS SHOWN
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	2	Abelia x grandiflora 'Kaleidoscope'	Glossy Abelia	2 gal.	Pot	3' O.C.
	3	Miscanthus sinensis 'Morning Light'	Eulalia Grass	2 gal.	Pot	5' O.C.
	10	Nandina domestica 'Gulf Stream' TM	Gulf Stream Heavenly Bamboo	2 gal.	Pot	3' O.C.
	9	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	2 gal.	Pot	4' O.C.
	11	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	2 gal.	Pot	3' O.C.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	34	Arctostaphylos uva-ursi	Kinnikinnick	1 gal.	Pot	24" O.C.
	75	Erica carnea 'Springwood White'	White Spring Winter Heath	1 gal.	Pot	24" O.C.
	10,552 sf	Turf Hydroseed	Drought Tolerant Pacific Northwest Blend	---	---	---
SITE WORK	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	432 sf	5/8" GRAVEL	---	---	---	---
	1,536 sf	PLAY CHIPS	---	---	---	---



1 6' SOLID BOARD FENCE
NTS



ORIGIN
DESIGN GROUP
1031 185TH AVE NE
SNOHOMISH, WA 98290
TEL: 425.346.1905

STATE OF WASHINGTON
LICENSED
LANDSCAPE ARCHITECT
KRISTAL LOWE
LICENCE NO. 1206

REVISIONS

#	DESCRIPTION	DATE
1	CITY COMMENTS	9/18/2023
2	SITE PLAN CHANGES/COMMENTS	10/4/2023

ALLEN TOWNHOMES
PARCELS: 31052400301000
& 31052400300900
PLN#1000

DRAWING TITLE:
LANDSCAPE PLAN
APPLICANT:
JM1 HOLDINGS, LLC
c/o LAND PRO GROUP, INC.
10515 20TH ST SE, SUITE 202
LAKE STEVENS, WA 98258

DRAWING INFORMATION
ODG PROJECT #: 22-442
DRAWN BY: MY
CHECKED BY: KL
DATE:
SEPTEMBER 20, 2022

SHEET NO:
L-4
OF 5

Zoning Approval
PLN #1000
December 29, 2023
Amy Rusko
City of Arlington

SURVEY INFORMATION

LEGAL DESCRIPTION

EXISTING PARCEL A: THE SOUTH HALF OF THE EAST HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M. EXCEPT ANY PORTION IN SISCO HEIGHTS ROAD.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

EXISTING PARCEL B: THE SOUTH HALF OF THE WEST HALF OF THE EAST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M. EXCEPT ANY PORTION IN SISCO HEIGHTS ROAD.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

TRACT 996: THAT PORTION OF SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER SECTION 24, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.;

DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SUBDIVISION; THENCE NORTH 89°14'56" WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION A DISTANCE OF 496.88 FEET; THENCE NORTH 02°33'18" EAST A DISTANCE OF 30.01 FEET TO THE POINT OF BEGINNING; THENCE NORTH 02°33'18" EAST A DISTANCE OF 62.20 FEET; THENCE SOUTH 87°26'42" EAST A DISTANCE OF 70.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 60.00 FEET; THENCE NORTH 89°14'56" WEST A DISTANCE OF 70.03 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE COUNTY ON SNOHOMISH, STATE OF WASHINGTON.

TRACT 997: THAT PORTION OF SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER SECTION 24, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.;

DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SUBDIVISION; THENCE NORTH 89°14'56" WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION A DISTANCE OF 165.56 FEET; THENCE NORTH 02°35'48" EAST A DISTANCE OF 30.01 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 02°35'48" EAST A DISTANCE OF 75.72 FEET TO A POINT ON A NON-TANGENT WITH A CURVE CONCAVE TO THE NORTH AND HAVING A RADIUS THAT BEARS NORTH 02°24'50" EAST A DISTANCE OF 110.00 FEET AND HAVING A CENTRAL ANGLE OF 26°04'46"; THENCE ALONG SAID CURVE TO THE RIGHT AN ARC DISTANCE OF 50.07 FEET; THENCE NORTH 61°30'24" WEST A DISTANCE OF 14.70 FEET TO A POINT ON A CURVE CONCAVE TO THE NORTHEAST WITH A CENTRAL ANGLE OF 11°56'36" AND A RADIUS OF 110.00 FEET; THENCE ALONG SAID CURVE TO THE RIGHT AN ARC DISTANCE OF 22.93 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 67.27 FEET; THENCE SOUTH 87°26'42" EAST A DISTANCE OF 19.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 18.00 FEET; THENCE NORTH 87°26'42" WEST A DISTANCE OF 19.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 22.59 FEET; THENCE SOUTH 89°14'16" EAST A DISTANCE OF 81.02 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE COUNTY ON SNOHOMISH, STATE OF WASHINGTON.

TRACT 998: THAT PORTION OF SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER SECTION 24, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.;

DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SUBDIVISION; THENCE NORTH 89°14'56" WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION A DISTANCE OF 165.56 FEET; THENCE NORTH 02°35'48" EAST A DISTANCE OF 30.01 FEET; THENCE NORTH 89°14'16" WEST A DISTANCE OF 81.02 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89°17'06" WEST A DISTANCE OF 25.01 FEET; THENCE NORTH 02°33'18" EAST A DISTANCE OF 140.41 FEET; THENCE SOUTH 87°26'42" EAST A DISTANCE OF 25.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 99.02 FEET; THENCE SOUTH 87°26'42" EAST A DISTANCE OF 19.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 18.00 FEET; THENCE NORTH 87°26'42" WEST A DISTANCE OF 19.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 22.59 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE COUNTY ON SNOHOMISH, STATE OF WASHINGTON.

TRACT 999: THAT PORTION OF SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER SECTION 24, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.;

DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SUBDIVISION; THENCE NORTH 89°14'56" WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION A DISTANCE OF 165.56 FEET; THENCE NORTH 02°35'48" EAST A DISTANCE OF 30.01 FEET; THENCE NORTH 89°14'56" WEST A DISTANCE OF 236.09 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89°14'56" WEST A DISTANCE OF 25.01 FEET; THENCE NORTH 02°33'18" EAST A DISTANCE OF 336.58 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST WITH A CENTRAL ANGLE OF 36°28'34" AND A RADIUS THAT BEARS SOUTH 58°28'34" WEST A DISTANCE OF 30.00 FEET; THENCE ALONG SAID CURVE TO THE LEFT AN ARC DISTANCE OF 29.55 FEET; THENCE NORTH 87°26'42" WEST A DISTANCE OF 45.00 FEET; THENCE NORTH 02°33'18" EAST A DISTANCE OF 20.00 FEET; THENCE SOUTH 87°26'42" EAST A DISTANCE OF 45.00 FEET TO A POINT ON A CURVE CONCAVE TO THE NORTHWEST WITH A CENTRAL ANGLE OF 36°28'34" AND A RADIUS OF 30.00 FEET; THENCE ALONG SAID CURVE TO THE LEFT AN ARC DISTANCE OF 29.55 FEET; THENCE NORTH 02°33'18" EAST A DISTANCE OF 92.58 FEET; THENCE SOUTH 87°26'42" EAST A DISTANCE OF 25.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 7.59 FEET; THENCE SOUTH 87°26'42" EAST A DISTANCE OF 19.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 81.00 FEET; THENCE NORTH 87°26'42" WEST A DISTANCE OF 19.00 FEET; THENCE SOUTH 02°33'18" WEST A DISTANCE OF 386.62 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE COUNTY ON SNOHOMISH, STATE OF WASHINGTON.

VERTICAL DATUM

NORTH AMERICAN VERTICAL DATUM-1988

BENCHMARK

FOUND INVERTED NAIL IN 4" CONC. MON.

ELEVATION = 464.46 FEET.

BASIS OF BEARING

THE MONUMENTED CENTERLINE OF 172ND STREET NORTHEAST, AS THE BEARING OF NORTH 89°14'56" WEST, ALSO BEING THE SOUTH LINE OF SECTION 24, PER THE ARLINGTON ROUNDABOUT PLAZA BINDING SITE PLAN, RECORDED UNDER AUDITOR'S FILE NUMBER 201808315011.

EQUIPMENT & PROCEDURES

METHOD OF SURVEY: SURVEY PERFORMED BY FIELD TRAVERSE INSTRUMENTATION: LEICA TS16 ROBOTIC ELECTRONIC TOTAL STATION PRECISION: MEETS OR EXCEEDS STATE STANDARDS WAC 332-130-090

REFERENCES

- (R1) ARLINGTON ROUNDABOUT PLAZA BINDING SITE PLAN, AFN 201808315011 (R2) VERIZON BINDING SITE PLAN NO. 002-05 AF NO. 200705085171

SURVEY NOTES

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF PARTIES WHOSE NAMES APPEAR HEREON ONLY, AND DOES NOT EXTEND TO ANY UNNAMED THIRD PARTIES WITHOUT EXPRESS RECERTIFICATION BY THE LAND SURVEYOR OF RECORD.

BOUNDARY LINES SHOWN AND CORNERS SET REPRESENT DEED LOCATIONS; OWNERSHIP LINES MAY VARY. NO GUARANTEE OF OWNERSHIP IS EXPRESSED OR IMPLIED. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, AND OCCUPATION WHICH MAY ENCUMBER TITLE OR USE OF SUBJECT PROPERTY.

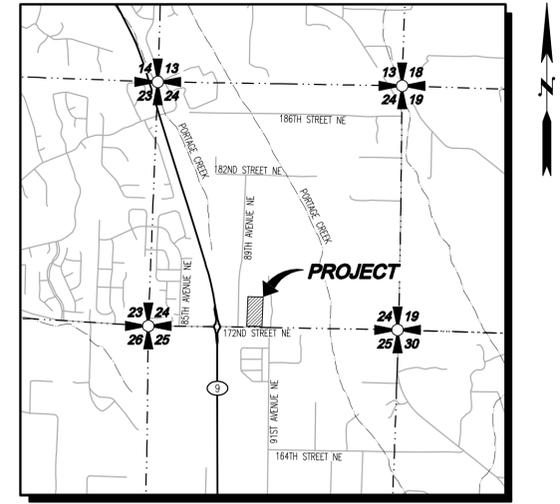
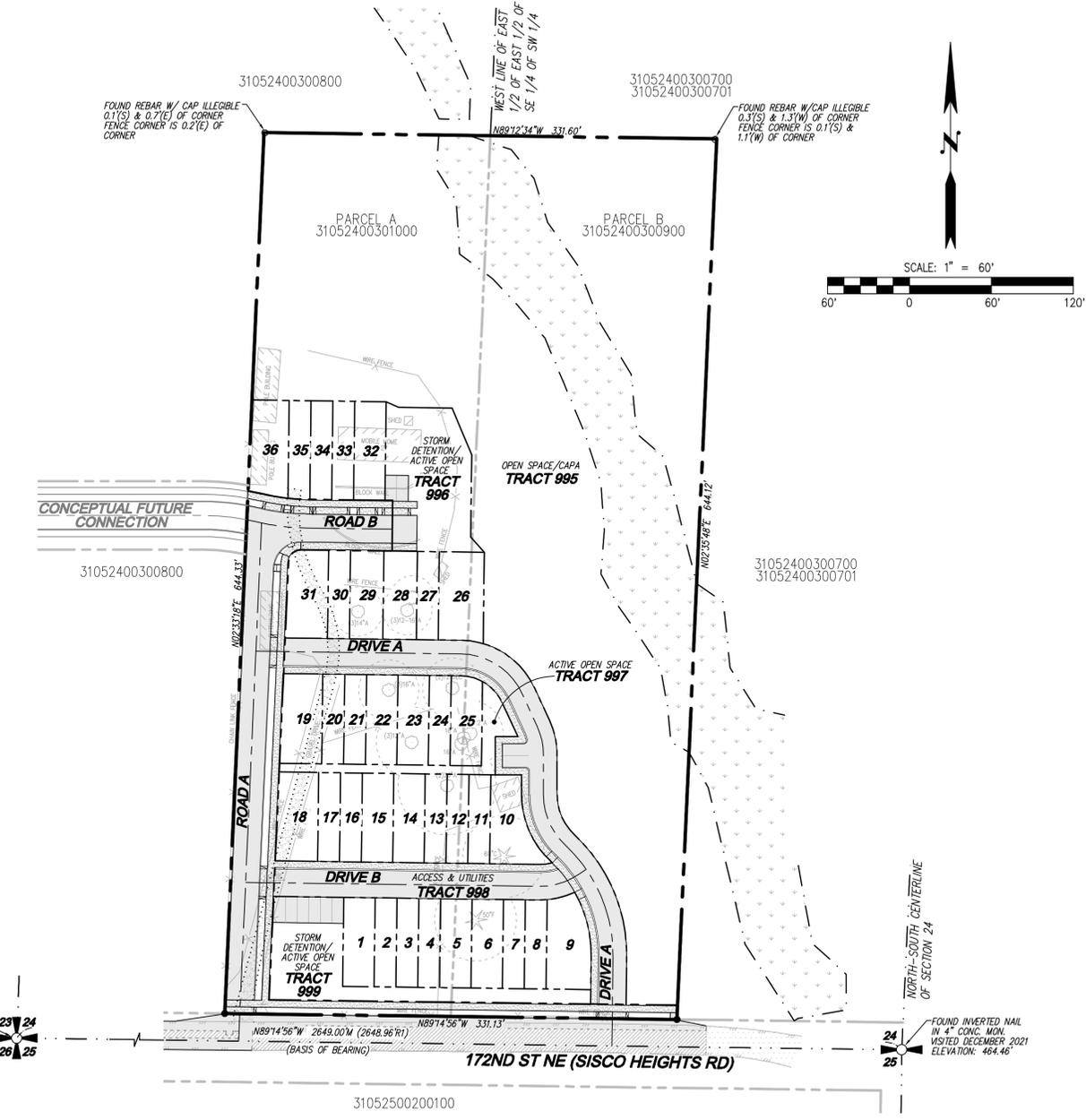
PROJECT INFORMATION

TAX PARCELS: 31052400301000, 31052400300900 SITE ADDRESS: 8927 172ND STREET NE ARLINGTON, WA 98223 SITE AREA: 213,367 SF (4.89 AC) CURRENT ZONING: RESIDENTIAL HIGH CAPACITY ZONING: RESIDENTIAL HIGH CAPACITY USE: 36 TOWNHOMES NET DEVELOPABLE AREA: 96,778 SF (2.22 AC) PROPOSED NET DENSITY: 16.22 DU/AC MINI-PARK AREA PROVIDED: 11,049 SF (0.25 AC) WATER: CITY OF ARLINGTON SEWER: SNOHOMISH COUNTY PUD POWER: CASCADE NATURAL GAS GAS: COMCAST TELEPHONE: COMCAST CABLE: COMCAST SCHOOL DISTRICT: ARLINGTON SCHOOL DISTRICT NO. 16 FIRE DISTRICT: NORTH COUNTY FIRE & EMS AIRPORT PROTECTION DISTRICT: SUB-DISTRICT D REQUIRED MINIMUM SETBACKS FRONT: 20' REAR: 15'

CONTACT LIST

OWNER/APPLICANT: LAND PRO GROUP 10515 20TH ST SE, SUITE #202 LAKE STEVENS, WASHINGTON 98258 CONTACT: RYAN LARSEN PHONE: (360) 631-1820 EMAIL: rlarsen@landprogrp.com SURVEYOR: PACIFIC COAST SURVEYS, INC. P.O. BOX 13619 MILL CREEK, WASHINGTON 98082 CONTACT: DARREN RIDDLE, PLS PHONE: (425) 512-709 FAX: (425) 357-3577 EMAIL: darren@pcsurveys.net CIVIL ENGINEER: LDC, INC. 20210 142ND AVE NE WOODINVILLE, WASHINGTON 98072 CONTACT: TOM ABBOTT, PE PHONE: (425) 806-1869 FAX: (425) 482-2893 EMAIL: tabbott@ldccorp.com GEOTECHNICAL ENGINEER: COBALT GEOSCIENCES, LLC P.O. BOX 1792 NORTH BEND, WASHINGTON 98045 CONTACT: PHIL HABERMAN, PE PHONE: (206) 331-1097 EMAIL: phil@cobaltgeo.com LANDSCAPE ARCHITECT: ORIGIN DESIGN GROUP 1031 185TH AVENUE NE SNOHOMISH, WASHINGTON 98290 CONTACT: KRISTAL LOWE PHONE: (425) 346-9105 EMAIL: originldg@gmail.com

ALLEN TOWNHOMES PRELIMINARY PLANS



Legend and Abbreviations table with columns for Existing Symbols, Proposed Storm Symbols, Proposed Sewer Symbols, and Abbreviations.

Zoning Approval PLN #1000 December 29, 2023. Amy Rusko, City of Arlington.

TABLE OF CONTENTS

- 1 COVER SHEET 2 EXISTING CONDITIONS MAP 3 PRELIMINARY TESC PLAN 4 PRELIMINARY TESC NOTES AND DETAILS 5 PRELIMINARY SITE PLAN 6 PRELIMINARY ROAD, STORM AND GRADING PLAN 7-9 PRELIMINARY ROAD PROFILES 10 PRELIMINARY ROAD SECTIONS 11 PRELIMINARY UTILITY PLAN L-1 - L-4 LANDSCAPE PLANS

EARTHWORK QUANTITIES

CUT: 5,000 CY FILL: 8,000 CY DISTURBED/CLEARING AREA: 128,512 SF (2.95 AC)

UTILITY NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

DISCLAIMER

TOPOGRAPHIC SURVEY INFORMATION CONTAINED ON THESE PLANS HAS BEEN PROVIDED BY PACIFIC COAST SURVEYS, INC. LDC, INC. (LAND DEVELOPMENT CONSULTANTS, INC.) ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

Call 2 Business Days Before You Dig 811 or 1-800-424-5555 Utilities Underground Location Center

Vertical sidebar containing LDC logo, project name, sheet title 'COVER SHEET', and revision table.

Vertical text on the far left edge of the page.

LEGEND AND ABBREVIATIONS

Table with columns: EXISTING SYMBOLS, DESCRIPTION, ABBREVIATIONS. Lists various symbols for rebar, valves, fences, and utilities.

SURVEY INFORMATION

LEGAL DESCRIPTION

EXISTING PARCEL A: THE SOUTH HALF OF THE EAST HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M. EXCEPT ANY PORTION IN SISCO HEIGHTS ROAD.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

EXISTING PARCEL B: THE SOUTH HALF OF THE WEST HALF OF THE EAST HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M. EXCEPT ANY PORTION IN SISCO HEIGHTS ROAD.

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VERTICAL DATUM

NORTH AMERICAN VERTICAL DATUM-1988

BENCHMARK

FOUND INVERTED NAIL IN 4" CONC. MON.

ELEVATION = 464.46 FEET.

BASIS OF BEARING

THE MONUMENT CENTERLINE OF 172ND STREET NORTHEAST, AS THE BEARING OF NORTH 89°14'56" WEST, ALSO BEING THE SOUTH LINE OF SECTION 24, PER THE ARLINGTON ROUNDABOUT PLAZA BINDING SITE PLAN, RECORDED UNDER AUDITOR'S FILE NUMBER 201808315011.

EQUIPMENT & PROCEDURES

METHOD OF SURVEY: SURVEY PERFORMED BY FIELD TRAVERSE. INSTRUMENTATION: LEICA TS16 ROBOTIC ELECTRONIC TOTAL STATION. PRECISION: MEETS OR EXCEEDS STATE STANDARDS WAC 332-130-090.

REFERENCES

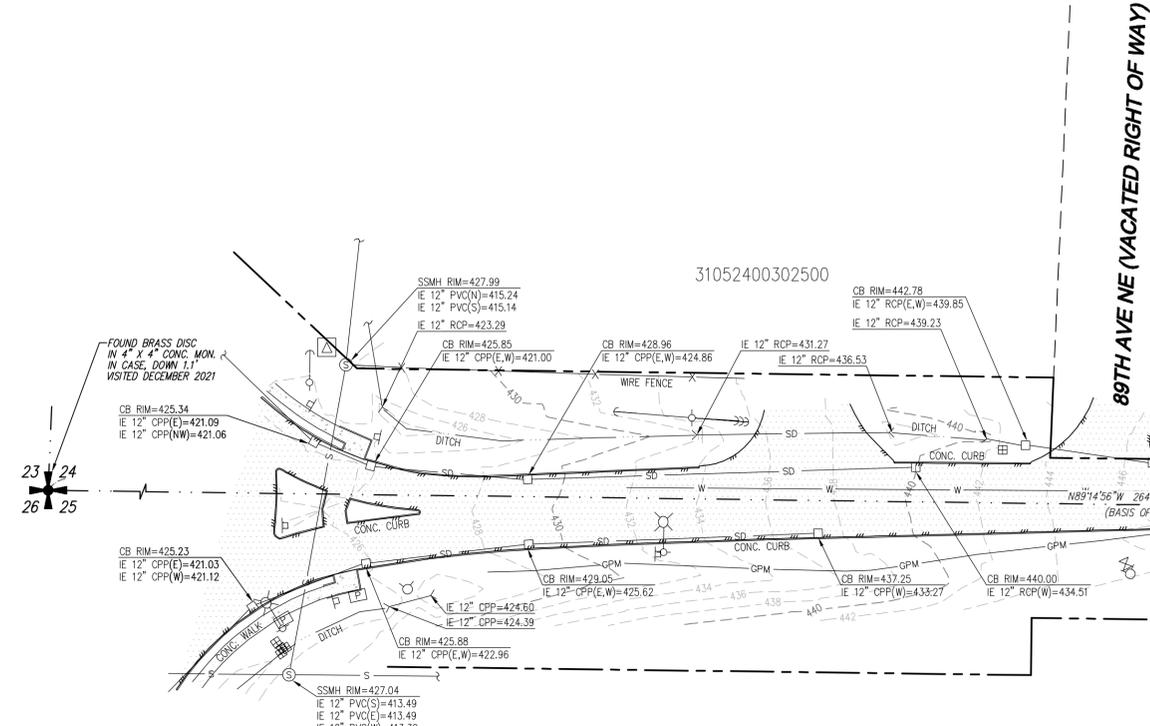
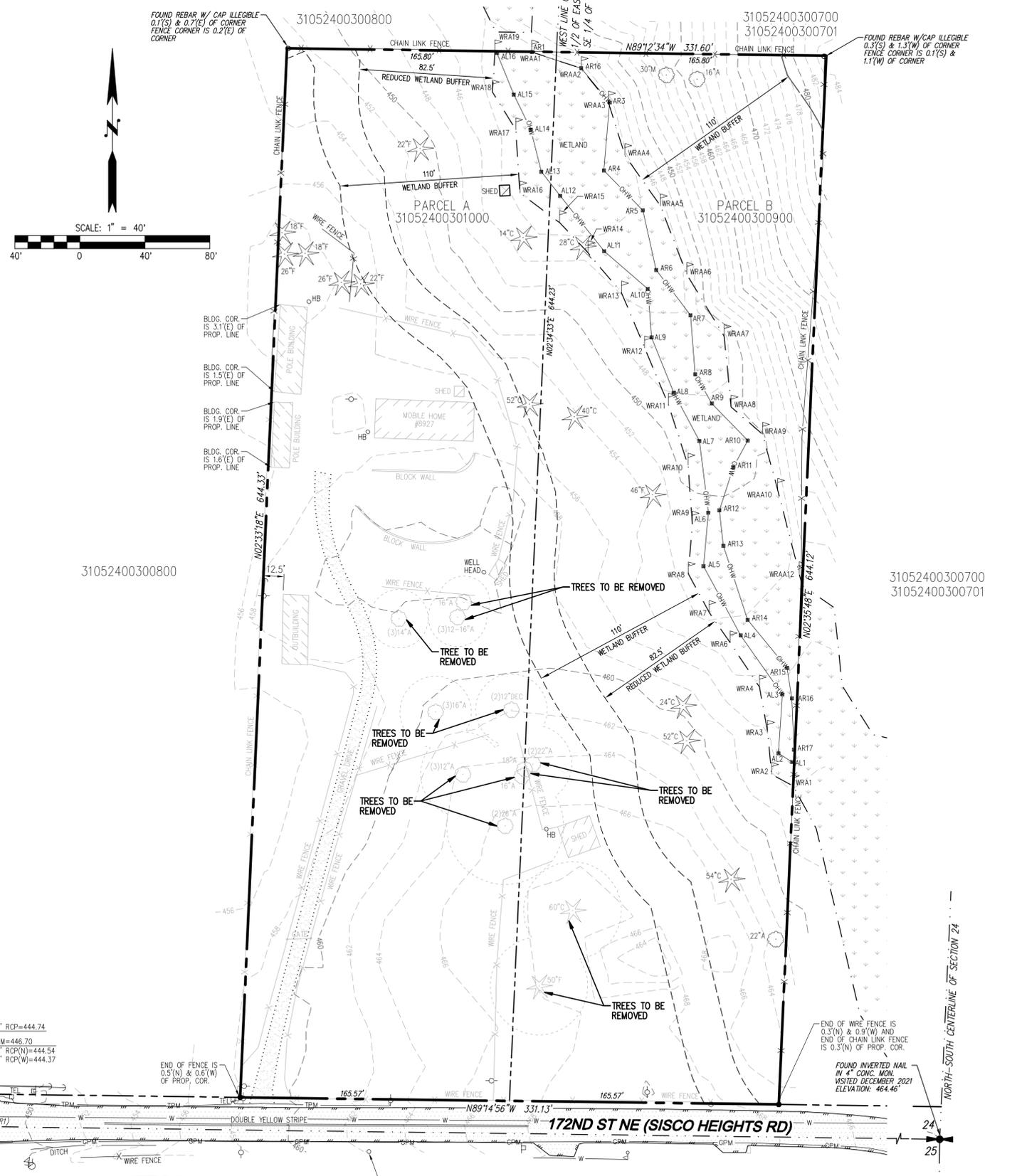
(R1) ARLINGTON ROUNDABOUT PLAZA BINDING SITE PLAN, AFN 201808315011

(R2) VERIZON BINDING SITE PLAN NO. 002-05, AF NO. 200705085171

SURVEY NOTES

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Zoning Approval PLN #1000 December 29, 2023. Amy Rusko, City of Arlington.

UTILITY NOTE: THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

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Call 2 Business Days Before You Dig 811 or 1-800-424-5555. Utilities Underground Location Center.

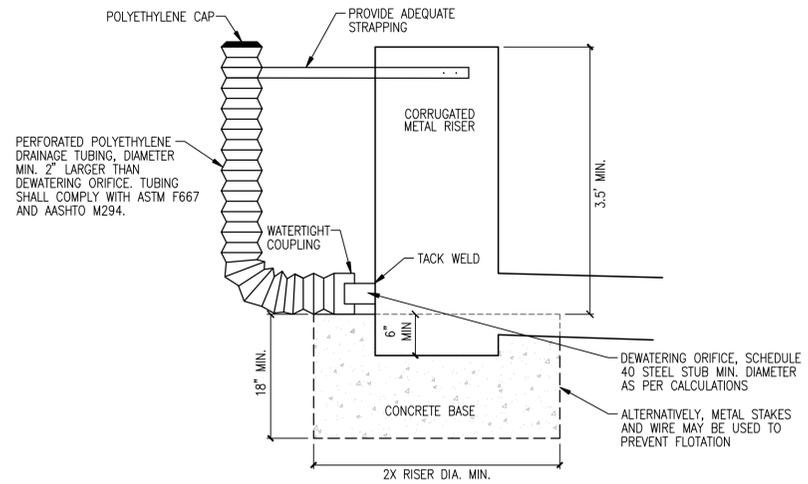
REVISIONS table with columns: NO., DATE, DESCRIPTION.

LDC logo and contact information for JM1 Holdings, LLC.

JM1 HOLDINGS, LLC. ALLEN TOWNHOMES EXISTING CONDITIONS MAP

Table with project details: JOB NUMBER, DRAWING NAME, DESIGNER, DRAFTING BY, DATE, SCALE, JURISDICTION.

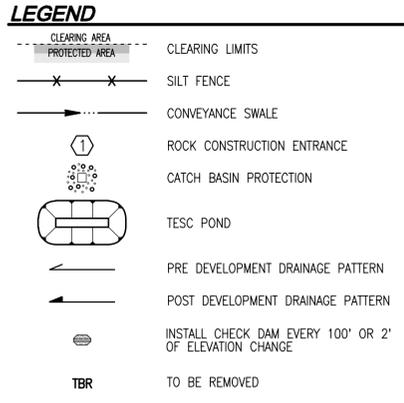
Vertical text on the left edge: Drawing: P:\City\2021\21-213 allen townhomes\Drawings\Verifactory\C21213P-10-PL.dwg



SEDIMENT POND RISER DETAIL
NOT TO SCALE

NORTH TESC SEDIMENTATION POND	
BOTTOM ELEVATION	450.75
BOTTOM AREA (SF)	1 SF
TOP ELEVATION	455.75
TOP AREA (SF)	961 SF
SIDE SLOPES	3H : 1V
OVERFLOW ELEV.	454.75
OUTLET INVERT ELEV.	451.25
ORIFICE INVERT ELEV.	451.25
ORIFICE SIZE	1-1/8" Ø

SOUTH TESC SEDIMENTATION POND	
BOTTOM ELEVATION	447.40
BOTTOM AREA (SF)	56 SF
TOP ELEVATION	452.40
TOP AREA (SF)	1,541 SF
SIDE SLOPES	3H : 1V
OVERFLOW ELEV.	451.40
OUTLET INVERT ELEV.	447.90
ORIFICE INVERT ELEV.	447.90
ORIFICE SIZE	1-3/8" Ø

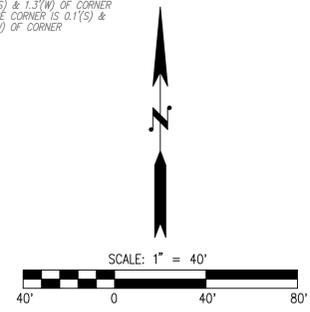
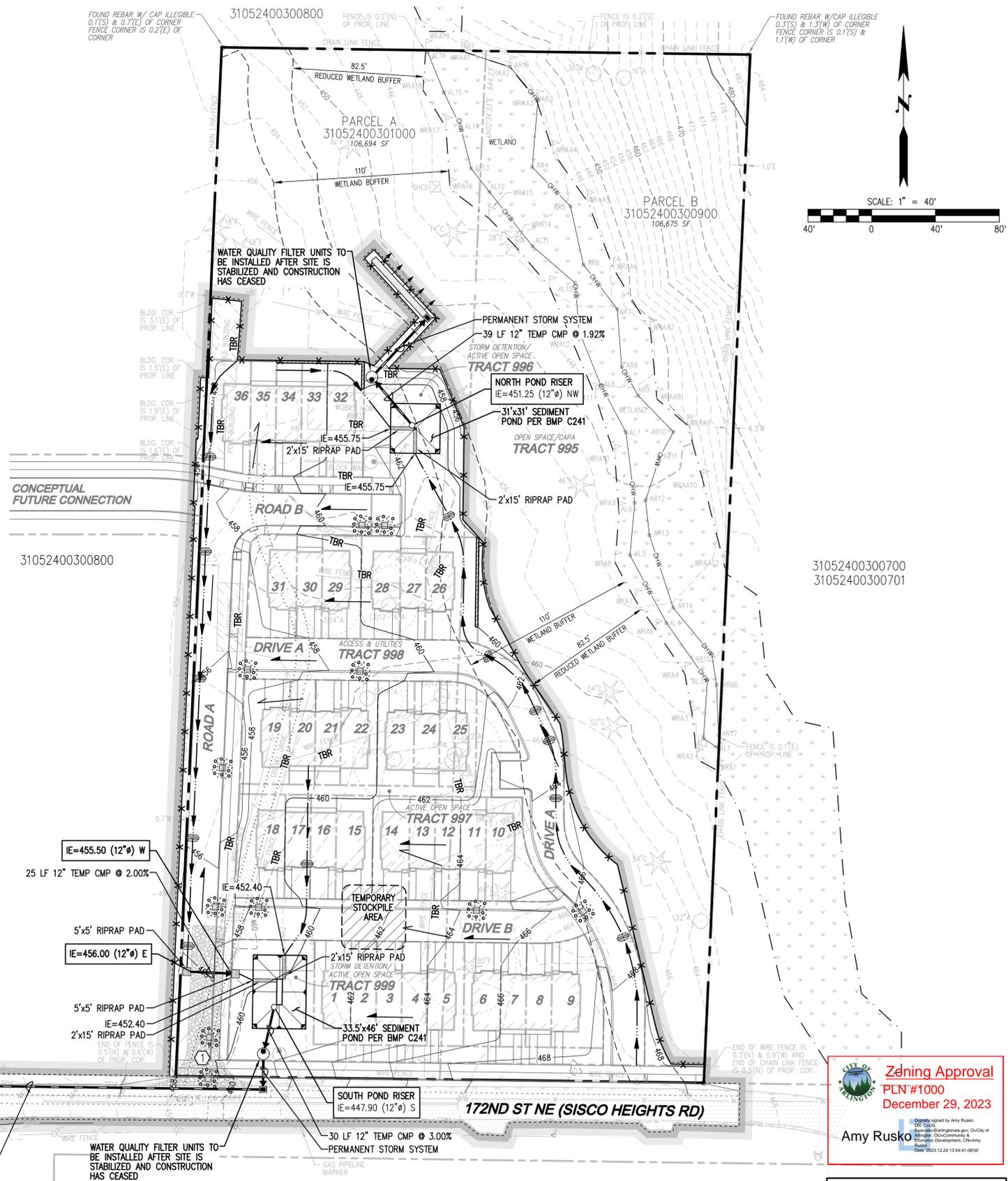


CONSTRUCTION SEQUENCE

- PRIOR TO ANY CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY STAFF. CESCL SHALL ATTEND CONFERENCE.
- INSTALL INTERIM CATCH BASIN PROTECTION.
- INSTALL ROCK CONSTRUCTION ENTRANCE.
- INSTALL SEDIMENT PONDS.
- INSTALL DISCHARGE LINE WITHIN 172ND ST ROW. STOCKPILE ALL EROSION MATERIALS ON SITE.
- FLAG CLEARING LIMITS.
- ARRANGE FOR CITY TO INSPECT AND APPROVE CLEARING LIMIT FLAGGING PRIOR TO CLEARING.
- INSTALL FILTER FABRIC FENCE AND CONSTRUCTION FENCES AS SHOWN.
- BEGIN CLEARING AND GRADING.
- CLEAR FOR UTILITIES AND INSTALL ALL BURIED UTILITIES.
- INSTALL ALL OTHER UTILITIES.
- FINAL GRADE DRIVEWAYS.
- FULLY INSTALL DRIVEWAYS.
- INSTALL FINAL PAVING, CURBING AND SIDEWALK.
- STABILIZE UNPAVED AREAS WITH LANDSCAPING OR HYDROSEEDING AS PERMANENT COVER AND AS REQUIRED PER BMP 15.13.
- CLEAN OUT STORM SYSTEM AND STRUCTURES WHEN CONSTRUCTION IS COMPLETE.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED. TRAPPED SEDIMENT BMP'S ARE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED.

EARTHWORK QUANTITIES

CUT: 5,000 CY
 FILL: 8,000 CY
 DISTURBED/CLEARING AREA: 128,512 SF (2.95 AC)



Drawing: P:\City\2021\21-213 allen_townhomes\Drawings\Preliminary\21213P-ER-PL.dwg Plotfile: Sep 16, 2023 - 8:34am

NO.	DATE	DESCRIPTION
1	9-18-23	REVISED PER CITY COMMENTS

LDC | Surveying Engineering Planning
 Kent
 Woodinville 20210 142nd Avenue NE Woodinville, WA 98072
 T 425.806.1869 www.LDCcorp.com F 425.482.2893

JM1 HOLDINGS, LLC.
ALLEN TOWNHOMES
 PRELIMINARY TESC PLAN



Zoning Approval
 PLN #1000
 December 29, 2023
 Amy Rusko

UTILITY NOTE
 THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

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Call 2 Business Days Before You Dig
 811 or 1-800-424-5555
 Utilities Underground Location Center

JOB NUMBER: C21-213
 DRAWING NAME: C21213P-ER-PL
 DESIGNER: TPA
 DRAFTING BY: BJN
 DATE: 10-10-22
 SCALE: 1"=40'
 JURISDICTION: ARLINGTON
ER-01
 SHEET 3 OF 11

PROJECT NAME: ALLEN TOWNHOMES

SE 1/4, SW1/4, SEC 24, TWN 31 N, RGE 5 E, W.M., CITY OF ARLINGTON, SNOHOMISH COUNTY, WASHINGTON

PERMIT NUMBER: PLN #1000

GRADING AND EROSION CONTROL NOTES:

CITY OF ARLINGTON TESC NOTES:

- APPROVAL OF THE TEMPORARY EROSION/SEDIMENT CONTROL (TESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR STORM DRAINAGE DESIGN.
- A TESC PLAN MEETING THE DOE STORM WATER MANAGEMENT MANUAL ADOPTED BY THE CITY SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO ANY WORK ON THE SITE. AN APPROVED COPY MUST BE MAINTAINED ON-SITE AND BE READILY AVAILABLE TO THE CITY INSPECTOR AT THEIR REQUEST.
- THE TESC BMP'S SHOWN ON THE PLAN MUST BE INSTALLED PRIOR TO ALL OTHER CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM, LEAVE THE SITE, OR VIOLATE APPLICABLE WATER QUALITY STANDARDS. MAINTENANCE, REPLACEMENT, AND UPGRADE OF THE TESC PLAN IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETE AND APPROVED BY THE CITY.
- THE BOUNDARIES OF THE CLEARING LIMITS, SHOWN ON THE TESC PLAN, SHALL BE CLEARLY FENCED OR FLAGGED IN THE FIELD PRIOR TO STARTING CONSTRUCTION. NO DISTURBANCE BEYOND THE FENCED OR FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FENCING AND/OR FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE CONSTRUCTION PROJECT.
- THE TESC FACILITIES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITE CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, THESE TESC FACILITIES SHALL BE UPGRADED AND ADDED TO AS NEEDED, FOR UNEXPECTED STORM EVENTS AND TO REFLECT CHANGED CONDITIONS, AS REQUIRED BY THE CITY.
- THE CONTRACTOR SHALL PROVIDE THE CITY A 24-HOUR EMERGENCY CONTACT PHONE NUMBER OF THE CONTRACTOR'S CERTIFIED EROSION CONTROL SUPERVISOR PRIOR TO STARTING CONSTRUCTION.
- THE TESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE CONTINUED FUNCTION AND OPERATION.
- BETWEEN OCTOBER 1 AND APRIL 30, DISTURBED AREAS THAT ARE TO BE LEFT UNWORKED FOR MORE THAN TWO (2) DAYS SHALL BE IMMEDIATELY COVERED BY MULCH, SOD OR PLASTIC COVERING. BETWEEN MAY 1 AND SEPTEMBER 30, DISTURBED AREAS THAT ARE TO BE LEFT UNWORKED FOR MORE THAN SEVEN (7) DAYS SHALL BE IMMEDIATELY COVERED BY SEEDING OR OTHER APPROVED METHODS.
- SEDIMENT DEPOSITS SHALL BE REMOVED FROM ALL CATCH BASINS, PRE-TREATMENT/SEDIMENT POND, AND SEDIMENT TRAPS UPON REACHING A DEPTH OF 12 INCHES.
- ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES, SHALL PROVIDE ADEQUATE STORAGE CAPACITY, AND SHALL BE CLEANED OUT ENTIRELY ONCE THE SITE IS STABILIZED. IF THE PERMANENT FACILITY IS TO ULTIMATELY FUNCTION AS AN INFILTRATION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN.
- WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROXIMATE RATE OF 120 LBS PER ACRE.
- WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 3 INCHES, OR 3,000 POUNDS PER ACRE.
- SOIL STOCKPILES SHALL BE STABILIZED WITHIN 24 HOURS, WHEN ACTIVELY WORKING WITH THE SOIL STOCKPILE, STABILIZATION BY GROUND COVER BMP'S SHALL OCCUR AT THE END OF EACH WORK DAY.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- MAINTENANCE AND REPAIR OF TESC FACILITIES AND STRUCTURES SHALL BE CONDUCTED IMMEDIATELY UPON RECOGNITION OF A PROBLEM OR WHEN THE TESC MEASURES BECOME DAMAGED.
- UPON COMPLETION OF THE PROJECT, ALL BMP'S SHALL BE REMOVED FROM THE SITE AND RIGHT OF WAY. IF BMP'S ARE REQUIRED TO REMAIN IN PLACE FOR FURTHER PROTECTION, ARRANGEMENTS FOR REMOVAL SHALL BE MADE WITH THE CITY INSPECTOR.
- THE DUFF LAYER AND NATIVE TOPSOIL SHALL BE RETAINED IN AN UNDISTURBED STATE TO THE MAXIMUM EXTENT PRACTICABLE. ALL AREAS SUBJECT TO CLEARING AND GRADING THAT WILL NOT BE COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT THE PROJECT COMPLETION, DEMONSTRATE THE REQUIREMENTS ESTABLISHED IN 15.13 OF THE 2014 SWMMWW, POST CONSTRUCTION SOIL QUALITY AND DEPTH.

SEED OPTIONS MIX

Table 4.1 represents the standard mix for those areas where just a temporary vegetative cover is required.

TABLE 4.1 Temporary Erosion Control Seed Mix			
	% Weight	% Purity	% Germination
Chewings or annual blue grass festuca rubra var. commutata or poa anna	40	98	90
Perennial rye loium perenne	50	98	90
Redtop or colonial bentgrass Agrostis alba or Agrostis tenuis	5	92	85
White dutch clover Trifolium repens	5	98	90

This turf seed mix in Table 4.3 is for dry situations where there is no need for much water. the advantage is that this mix requires very little maintenance.

TABLE 4.3 Low-Growing Turf Seed Mix			
	% Weight	% Purity	% Germination
Dwarf tall fescue (several varieties) Festuca arundinacea var.	45	98	90
Dwarf perennial rye (Barelay) Loium perenne var. barelay	30	98	90
Red fescue Festuca rubra	20	98	90
Colonial bentgrass Agrostis tenuis	5	98	90

Table 4.4 presents a mix recommended for bioswales and other intermittently wet areas.

TABLE 4.4 Bioswale Seed Mix			
	% Weight	% Purity	% Germination
Tall or meadow fescue Festuca arundinacea or festuca elatior	75-80	98	90
Seaside/Creeping bentgrass Agrostis palustris	10-15	92	85
Redtop bentgrass Agrostis alba or Agrostis gigantea	5-10	90	80

EROSION, SEDIMENTATION AND WATER QUALITY SITE INSPECTIONS:

PRIOR TO ANY SITE DEVELOPMENT WORK TAKING PLACE, A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR, OWNER, AND COUNTY INSPECTOR SHALL BE HELD.

THE DEPARTMENT OF ECOLOGY REQUIRES THAT CONSTRUCTION PROJECTS ONE ACRE OR LARGER RETAIN A CESCL TO ENSURE THAT THE PROJECT IS IN COMPLIANCE WITH THE CURRENT EROSION, SEDIMENTATION AND WATER QUALITY STANDARDS. THE OWNER WILL DESIGNATE A CESCL FOR THIS PROJECT. THE 24 HOUR CONTACT IS LEWIS SHAWN HOPKINS, CONTACT NUMBER IS (360) 407-8442.

THE CESCL IS RESPONSIBLE FOR:

- INSPECTING THE CONSTRUCTION SITE TO ENSURE THAT ALL CONSTRUCTION SWPPP MEASURES ARE FUNCTIONING AS INTENDED.
- ALLOCATING RESOURCES TO REPAIR ALL EROSION CONTROL STRUCTURES THAT ARE IN NEED OF MAINTENANCE.
- MONITORING WATER QUALITY FOR ANY STORM DRAINAGE THAT LEAVES THE SITE.
- STOPPING AND/OR REDIRECTING CONSTRUCTION ACTIVITIES DEEMED NECESSARY TO PROTECT THE ENVIRONMENT.

SHOULD BMP PERFORMANCE GOALS NOT BE ACHIEVED, THE ONLY CONSTRUCTION ACTIVITIES THAT SHALL BE ALLOWED ARE THE REPAIR OF EXISTING EROSION CONTROL STRUCTURES, INSTALLATION OF ADDITIONAL BMP'S TO MINIMIZE THE TRANSPORT OF SEDIMENT OFFSITE, OR THOSE ACTIVITIES THAT DO NOT DISTURB EXPOSED EARTH AND DO NOT HAVE THE POTENTIAL TO GENERATE ADDITIONAL SEDIMENT.

THE THIRTEEN ELEMENTS OF A CONSTRUCTION SWPPP:

THE BMP'S REFERENCED BELOW ARE PER THE 2014 STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON.

- MARK CLEARING LIMITS: THE CLEARING LIMITS ARE INDICATED ON THE PLAN SHEET. CLEARING AND GRADING WILL BE LIMITED TO ONLY AREAS THAT NEED TO BE DISTURBED FOR GRADING, AND PLACING OR STOCK PILING FILL AND TO PRESERVE AS MUCH NATURAL VEGETATION AS POSSIBLE. FIELD MARKING THE CLEARING LIMITS SHALL BE COMPLETED PRIOR TO ANY CLEARING OR DISTURBING THE SITE.
BMP'S:
C103 HIGH VISIBILITY PLASTIC OR METAL FENCE
C233 SILT FENCE
- ESTABLISH CONSTRUCTION ACCESS: ACCESS TO THE CONSTRUCTION SITE SHALL BE LIMITED TO THE ROCK CONSTRUCTION ENTRANCES.
BMP'S:
C105 STABILIZED CONSTRUCTION ENTRANCE
- CONTROL FLOW RATES: A SEDIMENT TRAP WILL BE USED TO COLLECT AND RETAIN RUNOFF ONSITE TO PROTECT DOWNSTREAM DRAINAGE FEATURES.
BMP'S:
C240 SEDIMENT TRAP
- INSTALL SEDIMENT CONTROLS: SEDIMENT CONTROL WILL BE PROVIDED THROUGH THE USE OF SILT FENCE, INTERCEPTOR SWALE, INLET PROTECTION AND A SEDIMENT TRAP.
BMP'S:
C200 INTERCEPTOR DIKE AND SWALE
C220 STORM DRAIN INLET PROTECTION
C233 SILT FENCE
C240 SEDIMENT TRAP
- STABILIZE SOILS: TEMPORARY AND PERMANENT SOIL STABILIZATION WILL BE PROVIDED. TEMPORARY STABILIZATION WILL BE PROVIDED TO EXPOSED WORKED EARTH. FROM OCTOBER 1 UNTIL APRIL 30, NO EXPOSED SOIL MAY REMAIN EXPOSED AND UNWORKED FOR MORE THAN TWO DAYS; FROM MAY 1 UNTIL SEPTEMBER 30, NO EXPOSED SOIL MAY REMAIN EXPOSED AND UNWORKED FOR MORE THAN SEVEN DAYS.
BMP'S:
C120 TEMPORARY AND PERMANENT SEEDING
C121 MULCHING
C123 PLASTIC COVERING
- PROTECT SLOPES: SLOPES SHALL BE PROTECTED FROM EROSION THROUGH COVER AND SOIL STABILIZATION.
BMP'S:
C120 TEMPORARY AND PERMANENT SEEDING
C121 MULCHING
C123 PLASTIC COVERING
- PROTECT DRAIN INLETS: INLET PROTECTION SHALL BE INSTALLED FOR EXISTING INLETS PRIOR TO WORK BEGINNING AND ON PROPOSED INLETS AS SOON AS THEY ARE INSTALLED. PROTECTION MEASURES MUST BE MAINTAINED AND CLEANED IN A MANNER THAT COLLECTION SEDIMENT IS NOT ALLOWED TO ENTER THE STORM NETWORK.
BMP'S:
C220 STORM DRAIN INLET PROTECTION
- STABILIZE CHANNELS AND OUTLETS: ALL CHANNEL SLOPES SHALL BE CONSTRUCTED AND PROTECTED AGAINST EROSION.
BMP'S:
C207 CHECK DAMS
- CONTROL POLLUTANTS: POLLUTANTS SHALL BE CONTROLLED PER POLLUTANT CONTROL NOTES. SEE THIS SHEET FOR NOTES.
- CONTROL DE-WATERING: DISPOSAL OPTIONS FOR DE-WATERING WATER ARE AS SPECIFIED IN THE DE-WATERING CONTROL NOTES. SEE THIS SHEET FOR NOTES.
BMP'S:
C151 CONCRETE HANDLING
- MAINTAIN BMP'S: MAINTENANCE OF THE BMP'S IS SPECIFIED IN THE CONSTRUCTION SEQUENCE AND GRADING AND EROSION CONTROL NOTES, SEE SHEET ER-01 AND THIS SHEET.
- PROJECT MANAGEMENT: THE GRADING AND EROSION CONTROL NOTES SPECIFY SEASONAL WORK LIMITATIONS. BMP'S SHALL BE MAINTAINED PER ELEMENT #11.
- PROTECT LID BMP'S: THERE ARE NO LID BMP'S PROPOSED WITH THIS PROJECT

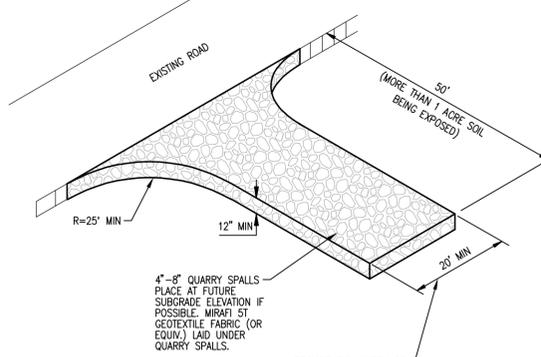
DE-WATERING CONTROL NOTES

ALL TURBID DE-WATERING WATER SHALL BE DISPOSED OF USING ONE OF THE FOLLOWING OPTIONS:

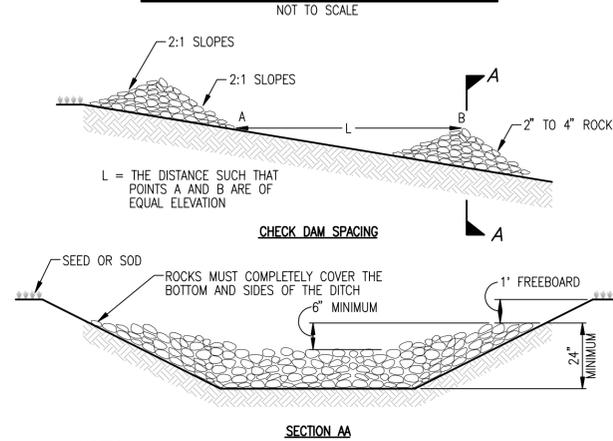
- INFILTRATION.
- TRANSPORT OFFSITE IN A VEHICLE, SUCH AS A VACUUM FLUSH TRUCK, FOR LEGAL DISPOSAL IN A MANNER THAT DOES NOT POLLUTE STATE WATERS.
- ECOLOGY-APPROVED ON-SITE CHEMICAL TREATMENT OR OTHER SUSTAINABLE TECHNOLOGIES.
- SANITARY SEWER DISCHARGE WITH LOCAL SEWER DISTRICT APPROVAL. THERE IS NO OTHER OPTION.
- USE OF A SEDIMENTATION BAG WITH OUTFALL TO A DITCH OR SWALE FOR SMALL VOLUMES OF LOCALIZED DE-WATERING, OR FOUNDATION, VAULT, AND TRENCH DE-WATERING WATER, WHICH HAVE SIMILAR CHARACTERISTICS TO STORMWATER RUNOFF AT THE SITE, SHALL BE DISPERSED TO NATIVE VEGETATION AND/ OR DISCHARGED TO A SEDIMENTATION FACILITY.

POLLUTANT CONTROL NOTES

- ALL POLLUTANTS, INCLUDING WASTE MATERIALS AND DEMOLITION DEBRIS, THAT OCCUR ON-SITE SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. WOODY DEBRIS MAY BE CHOPPED AND SPREAD ON SITE.
- COVER, CONTAINMENT AND PROTECTION FROM VANDALISM SHALL BE PROVIDED FOR ALL CHEMICALS, LIQUID PRODUCTS, PETROLEUM PRODUCTS, AND NON-INERT WASTES PRESENT ON THE SITE (SEE CHAPTER 173-304 WAC FOR THE DEFINITION OF INERT WASTE). ON-SITE FUELING TANKS SHALL INCLUDE SECONDARY CONTAINMENT.
- ALL MAINTENANCE OF HEAVY EQUIPMENT AND VEHICLES SHALL BE DONE OFFSITE.
- ACTIVITIES WHICH MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF MUST BE CONDUCTED USING SPILL PREVENTION MEASURES, SUCH AS DRIP PANS. CONTAMINATED SURFACES SHALL BE CLEANED IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILL INCIDENT. EMERGENCY REPAIRS MAY BE PERFORMED ON-SITE USING TEMPORARY PLASTIC PLACED BENEATH AND, IF RAINING, OVER THE VEHICLE.
- WHEEL WASH OR TIRE BATH WASTEWATER SHALL BE DISCHARGED TO A SEPARATE ON-SITE TREATMENT SYSTEM OR TO THE SANITARY SEWER.
- APPLICATION OF AGRICULTURAL CHEMICALS, INCLUDING FERTILIZERS AND PESTICIDES, SHALL BE CONDUCTED IN A MANNER AND AT APPLICATION RATES THAT WILL NOT RESULT IN LOSS OF CHEMICAL TO STORMWATER RUNOFF. MANUFACTURERS' RECOMMENDATIONS FOR APPLICATION RATES AND PROCEDURES SHALL BE FOLLOWED.
- BMP'S SHALL BE USED TO PREVENT OR TREAT CONTAMINATION OF STORMWATER RUNOFF BY PH MODIFYING SOURCES. THESE SOURCES INCLUDE, BUT ARE NOT LIMITED TO, BULK CEMENT, CEMENT KILN DUST, FLY ASH, NEW CONCRETE WASHING AND CURING WATERS, WASTE STREAMS GENERATED FROM CONCRETE GRINDING AND SAWING, EXPOSED AGGREGATE PROCESSES, AND CONCRETE PUMPING AND MIXER WASHOUT WATERS. STORMWATER DISCHARGES SHALL NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF THE WATER QUALITY STANDARD FOR PH IN THE RECEIVING WATER.

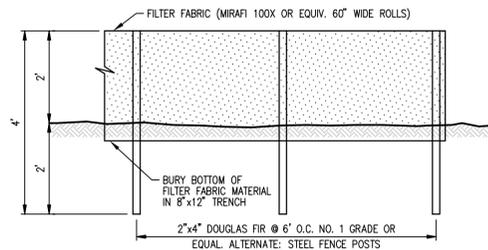
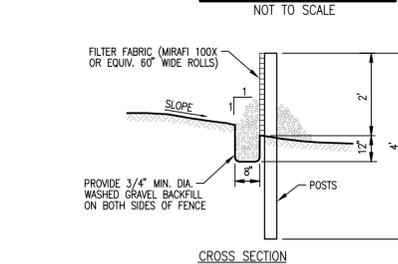


ROCK CONSTRUCTION ENTRANCE



- NOTES:**
- PROVIDE ROCK CHECK DAMS EVERY 100 FT. OR EVERY 2 FT. OF VERTICAL FALL.
 - ANY SEDIMENT DEPOSITION OF MORE THAN 0.5 FT. IN DEPTH SHALL BE REMOVED SO THAT THE CHANNEL IS RESTORED TO ITS ORIGINAL DESIGN CAPACITY.
 - THE CHANNEL SHALL BE EXAMINED FOR SIGNS OF SCOURING AND EROSION OF THE BED AND BANKS. IF SCOURING OR EROSION HAS OCCURRED, AFFECTED AREAS SHALL BE PROTECTED BY RIP-RAP OR AN EROSION CONTROL BLANKET OR NET.
 - SUMP SHOULD BE PROVIDED IMMEDIATELY UPSTREAM OF CHECK DAM FOR OPTIMUM EFFECTIVENESS.

ROCK CHECK DAM



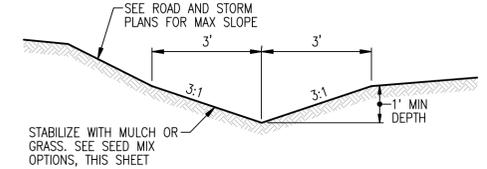
SILT FENCE DETAIL

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE:

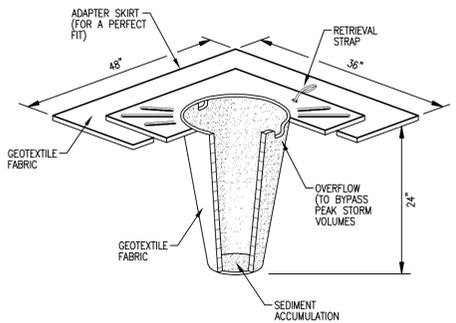
- INSTALLATION: THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS IN THE PLAN. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- AGGREGATE: 4"-8" QUARRY SPALLS.
- ENTRANCE DIMENSIONS: THE AGGREGATE LAYER MUST BE AT LEAST 12 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 100 FEET.
- WASHING: IF CONDITIONS ON THE SITE ARE SUCH THAT MOST OF THE MUD IS NOT REMOVED FROM VEHICLE TIRES BY CONTACT WITH THE GRAVEL, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.
- MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2-INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAY OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

MAINTENANCE STANDARDS:

- QUARRY SPALLS (OR HOG FUEL) SHALL BE ADDED IF THE PAD IS NO LONGER IN ACCORDANCE WITH THE SPECIFICATIONS.
- IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO PAVEMENT, THEN ALTERNATIVE MEASURES TO KEEP THE STREETS FREE OF SEDIMENT SHALL BE USED. THIS MAY INCLUDE STREET SWEEPING, AN INCREASE IN THE DIMENSIONS OF THE ENTRANCE, OR THE INSTALLATION OF A WHEEL WASH. IF WASHING IS USED, IT SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK, AND WASH WATER SHALL DRAIN TO A SEDIMENT TRAP OR POND. PROVIDE TIRE WASH FOR ALL WINTER GRADING.
- ANY SEDIMENT THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED IMMEDIATELY BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED OR STABILIZED ON-SITE. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY. IF IT IS NECESSARY TO WASH THE STREETS, THE CONSTRUCTION OF A SMALL SUMP SHALL BE CONSIDERED. THE SEDIMENT WOULD THEN BE WASHED INTO THE SUMP.
- ANY ROCK SPALLS THAT ARE LOOSENED FROM THE PAD AND END UP ON THE ROADWAY SHALL BE REMOVED IMMEDIATELY.
- IF VEHICLES ARE ENTERING OR EXITING THE SITE AT POINTS OTHER THAN THE CONSTRUCTION ENTRANCE(S), FENCING (SECTION 5.4.1) SHALL BE INSTALLED TO CONTROL TRAFFIC.



TEMPORARY INTERCEPTOR SWALE DETAIL



STORM DRAIN INLET PROTECTION

NO.	DATE	DESCRIPTION
1	9-18-23	REVISED PER CITY LIST COMMENTS

Surveying
Engineering
Planning

LDC

Kent
Woodinville
20210 142nd Avenue NE
Woodinville, WA 98072
T 425.806.1869 www.LDCcorp.com F 425.482.2893

JM1 HOLDINGS, LLC.

ALLEN TOWNHOMES

PRELIMINARY TESC NOTES AND DETAILS



JOB NUMBER: C21-213
DRAWING NAME: C21213P-ER-01
DESIGNER: TPA
DRAFTING BY: BJN
DATE: 10-10-22
SCALE: AS NOTED
JURISDICTION: ARLINGTON

ER-02

SHEET 4 OF 11

Zoning Approval
PLN #1000
December 29, 2023

Amy Rusko

UTILITY NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

DISCLAIMER

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811 or 1-800-424-5555
Utilities Underground Location Center

Drawing: P:\CWA\2021\c21-213 allen townhomes\Drawings\Preliminary\C21213P-ER-01.dwg Plotdate: Sep 18, 2023 8:34am

MINI-PARK AND OPEN SPACE

MINI PARK REQUIREMENT 20.52.010
UNIT COUNT: 36 UNITS
3.2 PERSONS PER UNIT: 115.2 PERSONS
MINI-PARK AREA (115.2 x 65 SF/PERSON): 7,488 SF REQUIRED
MINI-PARK AREA PROVIDED: 8,249 SF

USABLE OPEN SPACE REQUIREMENT 20.52.030
5.0% TOTAL DEVELOPMENT AREA REQUIRED DEVELOPMENT AREA: 96,778 SF (PRIOR TO BUFFER AVERAGING)
TOTAL USABLE OPEN SPACE REQUIRED: 4,839 SF
OPEN SPACE PROVIDED: 4,841 SF (5.0%)

PARKING SPACE REQUIREMENTS

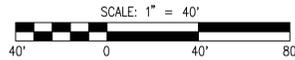
REQUIRED SPACES: 81 (2 SPACES PER UNIT PLUS 1 ADDITIONAL SPACE EVERY 4 UNITS)
PROVIDED UNIT SPACES: 72
PROVIDED GUESTS SPACES: 10
PROVIDED TOTAL SPACES: 82

ROW DEDICATION

ROW DEDICATION AREA: 18,067 SF (0.41 AC)

LEGEND

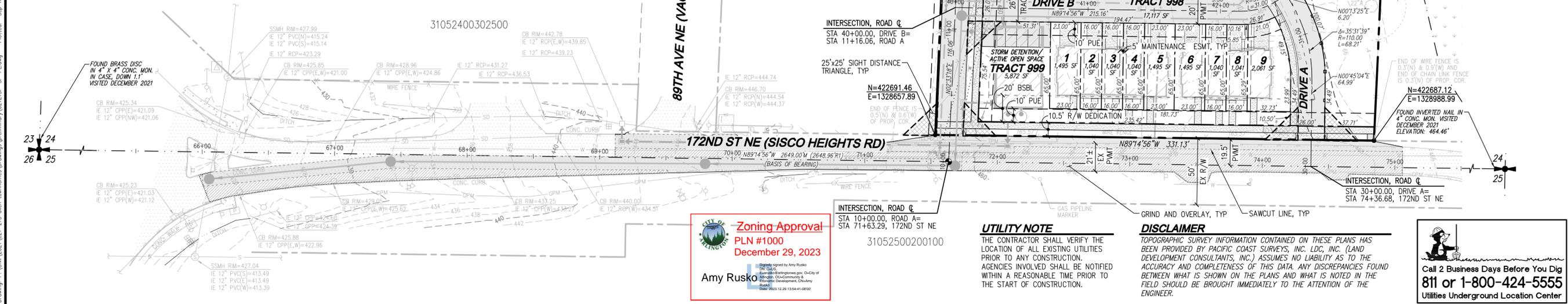
- STORM PIPE
SEWER PIPE
WATER PIPE
NGPA FENCING AND SIGNAGE
CONCRETE
FULL DEPTH ASPHALT PAVEMENT
GRIND AND OVERLAY
PROPOSED MONUMENT
STREET LIGHT
NO-PARKING FIRE LANE SIGN



89TH AVE NE (VACATED RIGHT OF WAY)

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23 24
26 25



Zoning Approval
PLN #1000
December 29, 2023
Amy Rusko

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Table with columns: NO., DATE, REVISIONS, DESCRIPTION, REVISED PER CITY LIST COMMENTS.

LDC | Surveying Engineering Planning
Woodinville 20210 142nd Avenue NE Woodinville, WA 98072

JM1 HOLDINGS, LLC.
ALLEN TOWNHOMES
PRELIMINARY SITE PLAN



JOB NUMBER: C21-213
DRAWING NAME: C21213P-SP-PL
DESIGNER: TPA
DRAFTING BY: BJN
DATE: 10-10-22
SCALE: 1"=40'
JURISDICTION: ARLINGTON
SHEET 5 OF 11

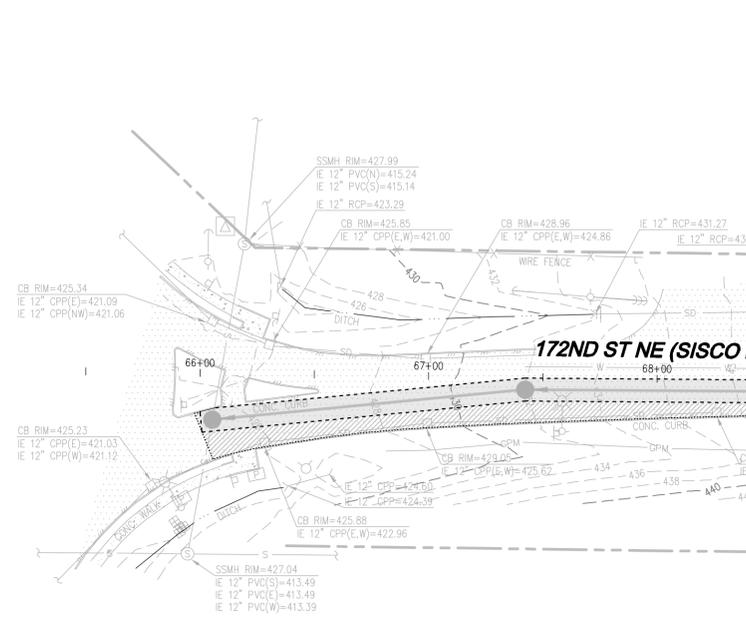


LEGEND

- STORM PIPE
- SEWER PIPE
- WATER PIPE
- RETAINING WALL
- SPLIT RAIL FENCE
- STREET LIGHT
- "NO-PARKING FIRE LANE" SIGN
- CONCRETE
- FULL DEPTH ASPHALT PAVEMENT
- GRIND AND OVERLAY

NOTES

- STREET LIGHTING TO BE #GC M2-40 OH-MB-WW-2R-BK-850 ROADWAY LUMINAIRE 35' AND #KMR-B3AR-Y-40(SS) 1036-120-277-K13-3K-BK PEDESTRIAN LUMINAIRE 16' TALL OR EQUIVALENT.
- NO PARKING SIGNAGE IS TO BE INSTALLED ALONG ALL PRIVATE DRIVE AISLES AND PUBLIC ROW. PARKING IS TO BE WITHIN DESIGNATED PARKING SPACES OR DRIVEWAYS ONLY. ROAD A NO PARKING SIGNAGE MAY BE REMOVED UPON FULL ROW BUILDOUT OF ROAD A.



Zoning Approval
 PLN #1000
 December 29, 2023
 Amy Rusko

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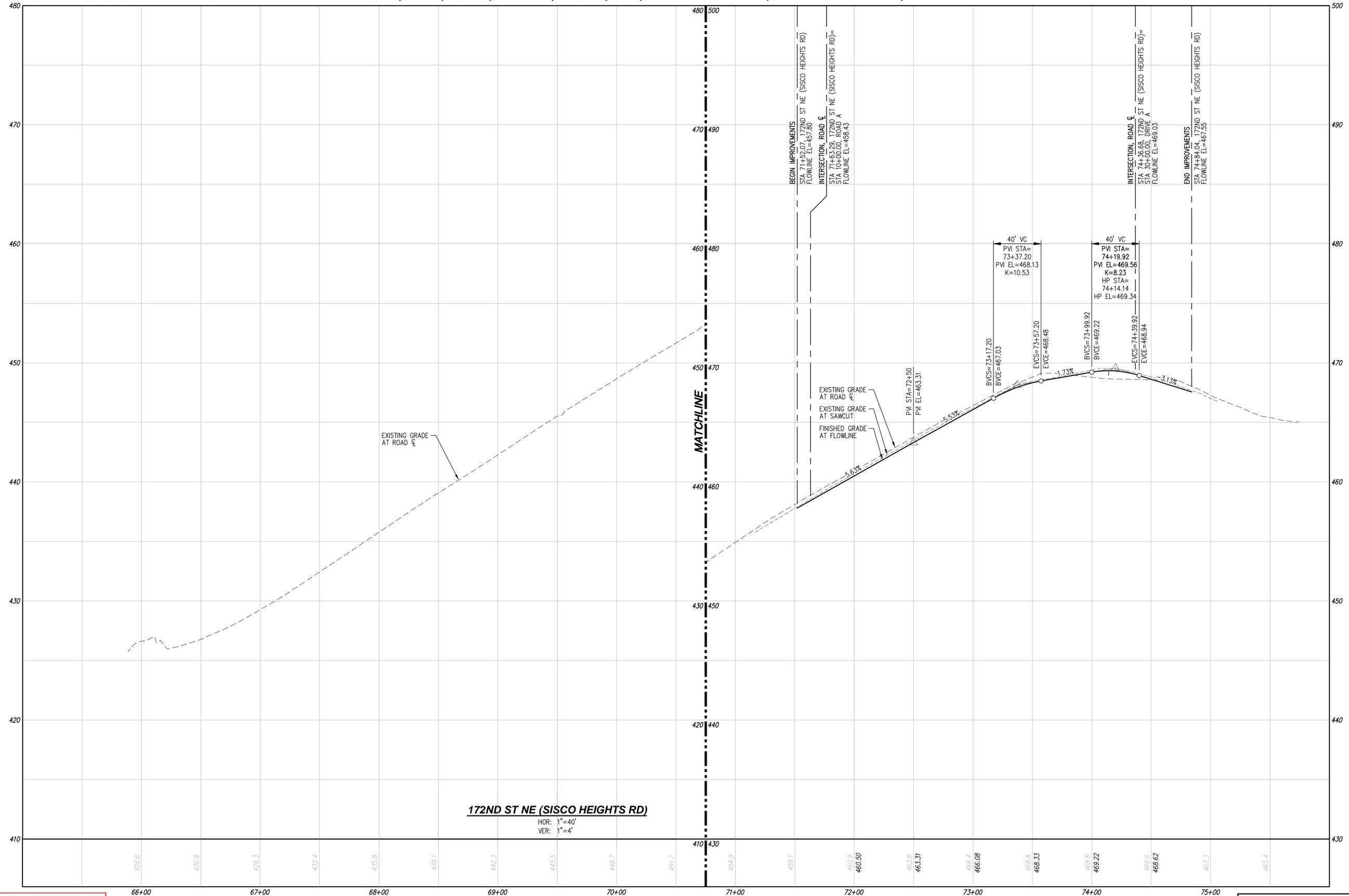
JM1 HOLDINGS, LLC.
ALLEN TOWNHOMES
 PRELIMINARY ROAD, STORM DRAINAGE AND GRADING PLAN



JOB NUMBER: C21-213
 DRAWING NAME: C21213P-RO-PL
 DESIGNER: TPA
 DRAFTING BY: BJN
 DATE: 10-10-22
 SCALE: 1"=40'
 JURISDICTION: ARLINGTON

RD-01
 SHEET 6 OF 11

Drawing: P:\City\2021\c21-213 allen townhomes\Drawings\Preliminary\C21213P-RO-PL.dwg Plotfile: Sep 18, 2023 8:35am



NO.	DATE	DESCRIPTION
1	9-18-23	REVISED PER CITY 1ST COMMENTS

LDC | Surveying Engineering Planning

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 20210 142nd Avenue NE
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 T 425.806.1869 www.LDCcorp.com F 425.482.2893

JM1 HOLDINGS, LLC.
ALLEN TOWNHOMES
 PRELIMINARY ROAD PROFILES



JOB NUMBER: C21-213
 DRAWING NAME: C21213P-RD-PR
 DESIGNER: TPA
 DRAFTING BY: BJN
 DATE: 10-10-22
 SCALE: 1" = 40'
 JURISDICTION: ARLINGTON

Zoning Approval
 PLN #1000
 December 29, 2023

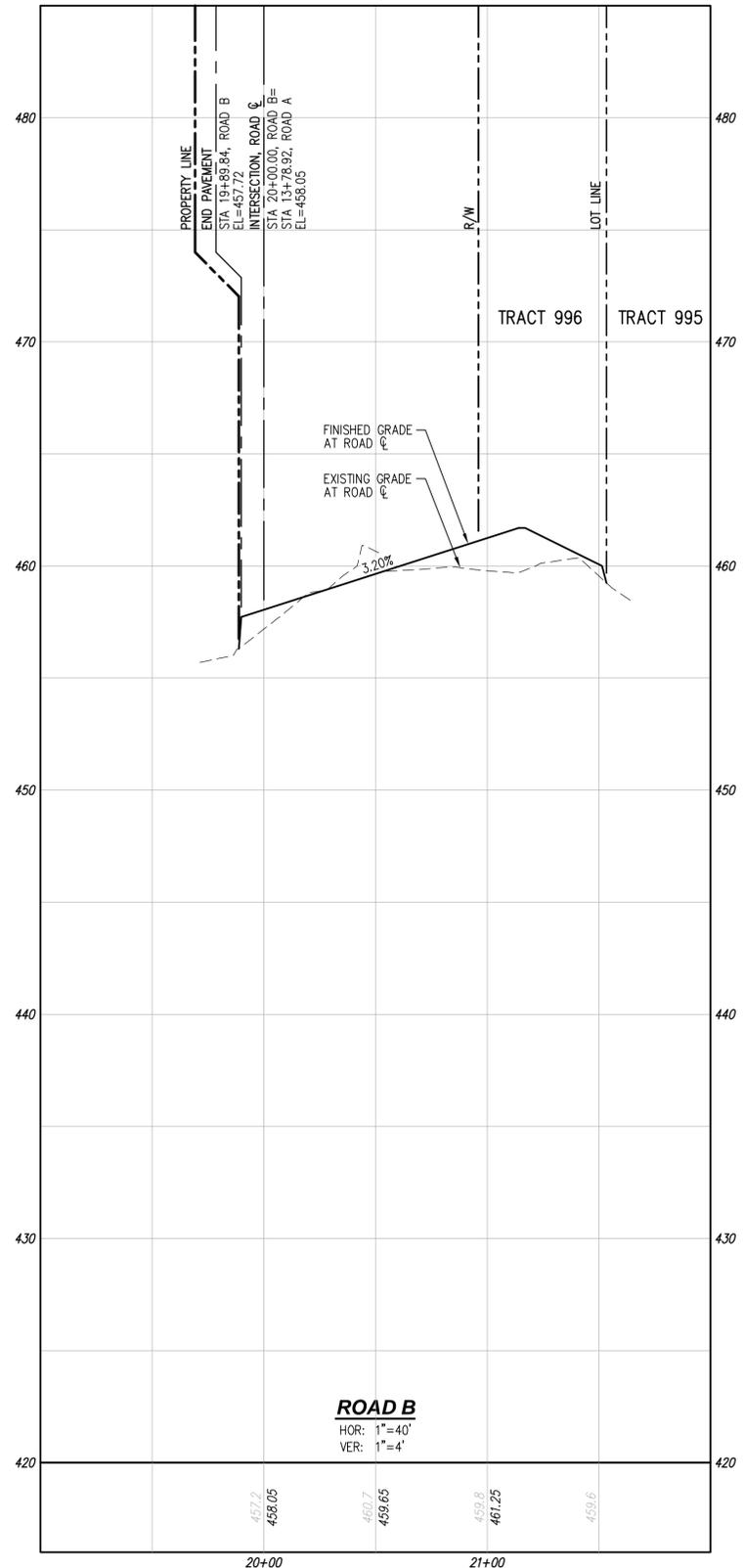
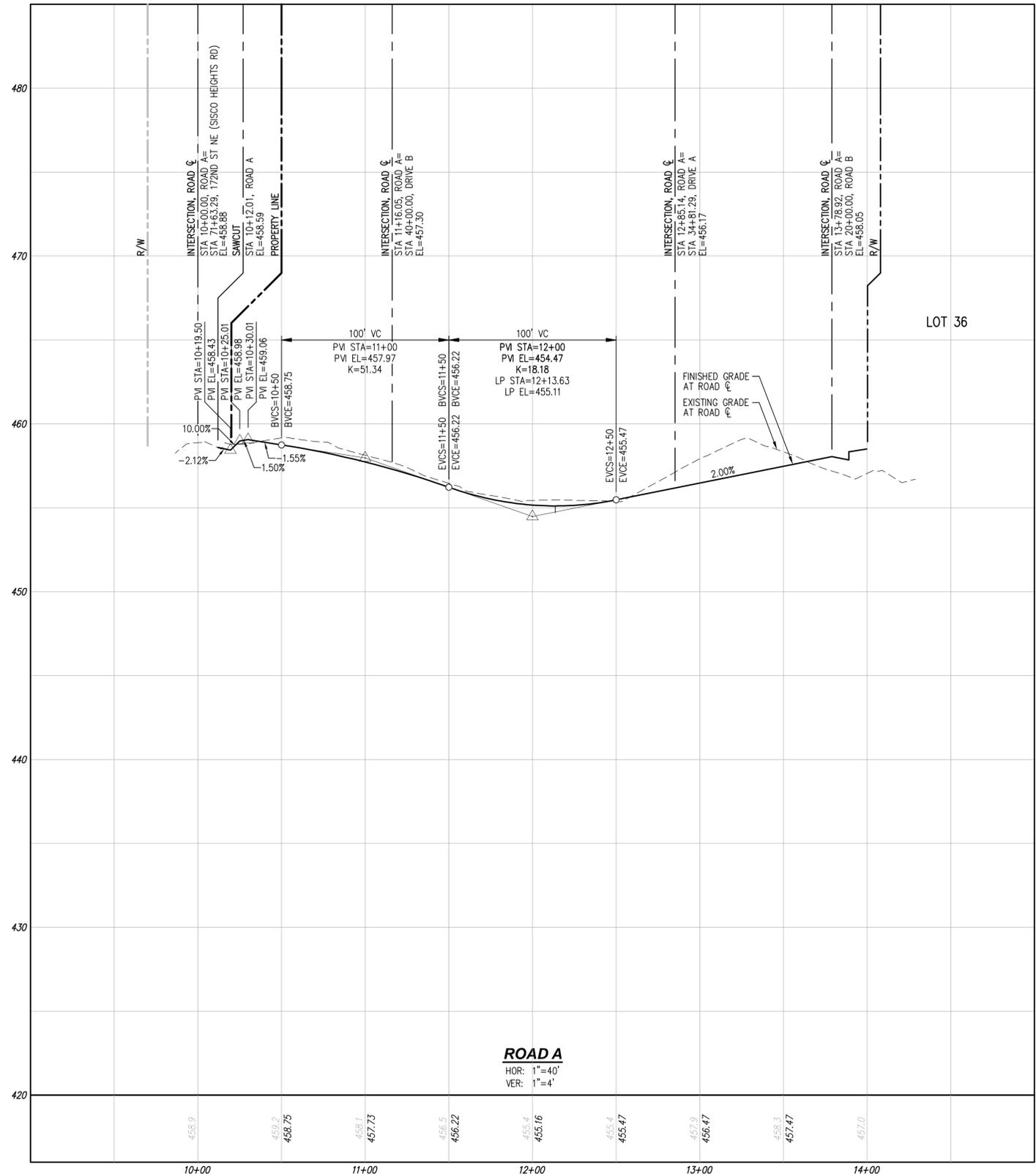
Amy Rusko
 City of Arlington

UTILITY NOTE
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DISCLAIMER
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Call 2 Business Days Before You Dig
 811 or 1-800-424-5555
 Utilities Underground Location Center

Drawing: P:\Civ\2021\c21-213 allen townhomes\Drawings\Preliminary\C21213P-RD-PR.dwg Plotted: Sep 18, 2023 - 8:35am



NO.	DATE	DESCRIPTION
1	9-18-23	REVISED PER CITY COMMENTS

LDC
Surveying
Engineering
Planning

Kent
Woodinville
Olympia
20210 142nd Avenue NE
Woodinville, WA 98072
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JM1 HOLDINGS, LLC.
ALLEN TOWNHOMES
PRELIMINARY ROAD PROFILES



JOB NUMBER: C21-213
DRAWING NAME: C21213P-RD-PR
DESIGNER: TPA
DRAFTING BY: BJN
DATE: 10-10-22
SCALE: 1"=40'
JURISDICTION: ARLINGTON

RD-03
SHEET 8 OF 11

Drawing: P:\CWA\2021\c21-213 allen townhomes\Drawings\Preliminary\C21213P-RD-PR.dwg Plotted: Sep 18, 2023 - 8:35am

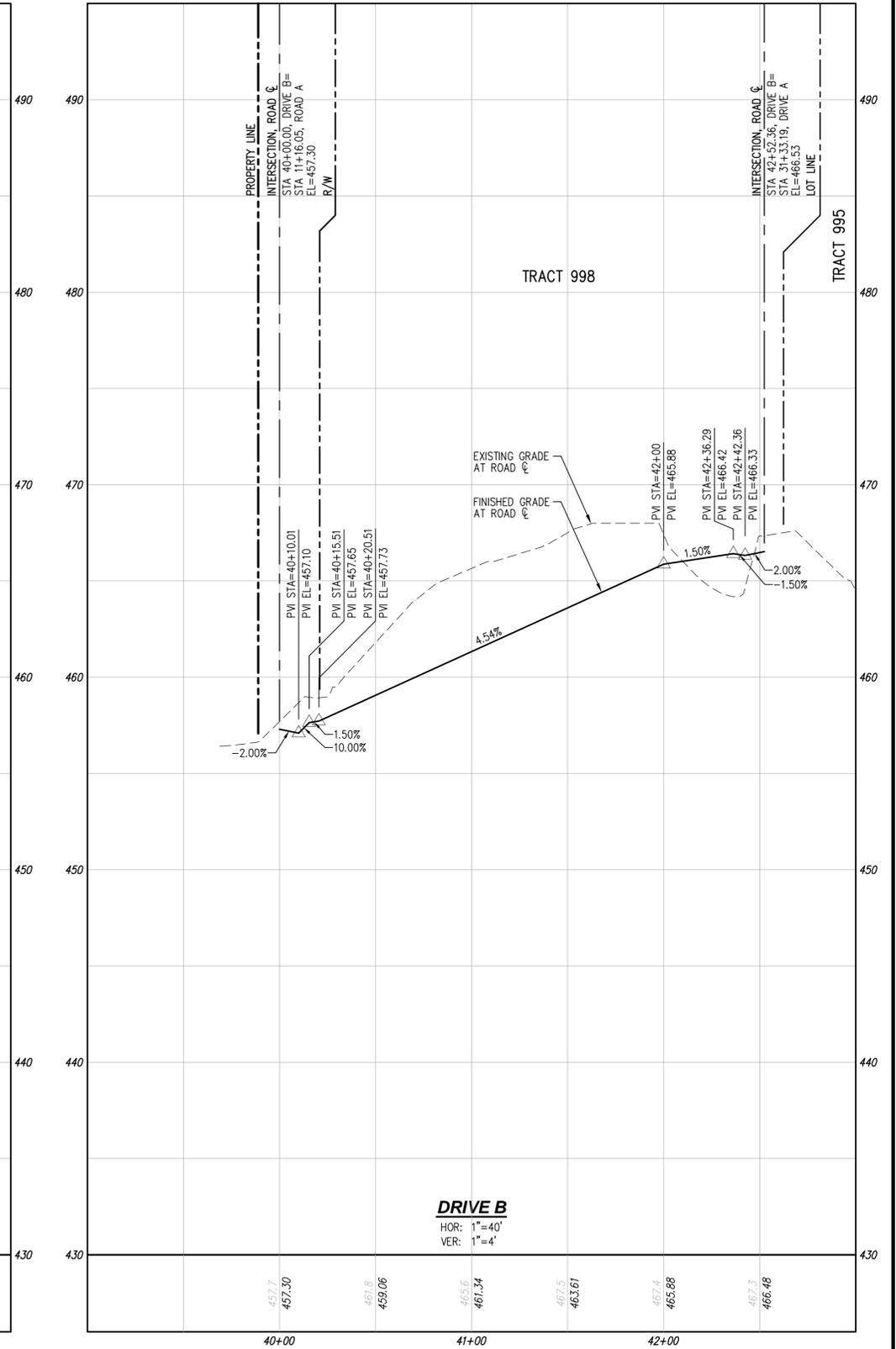
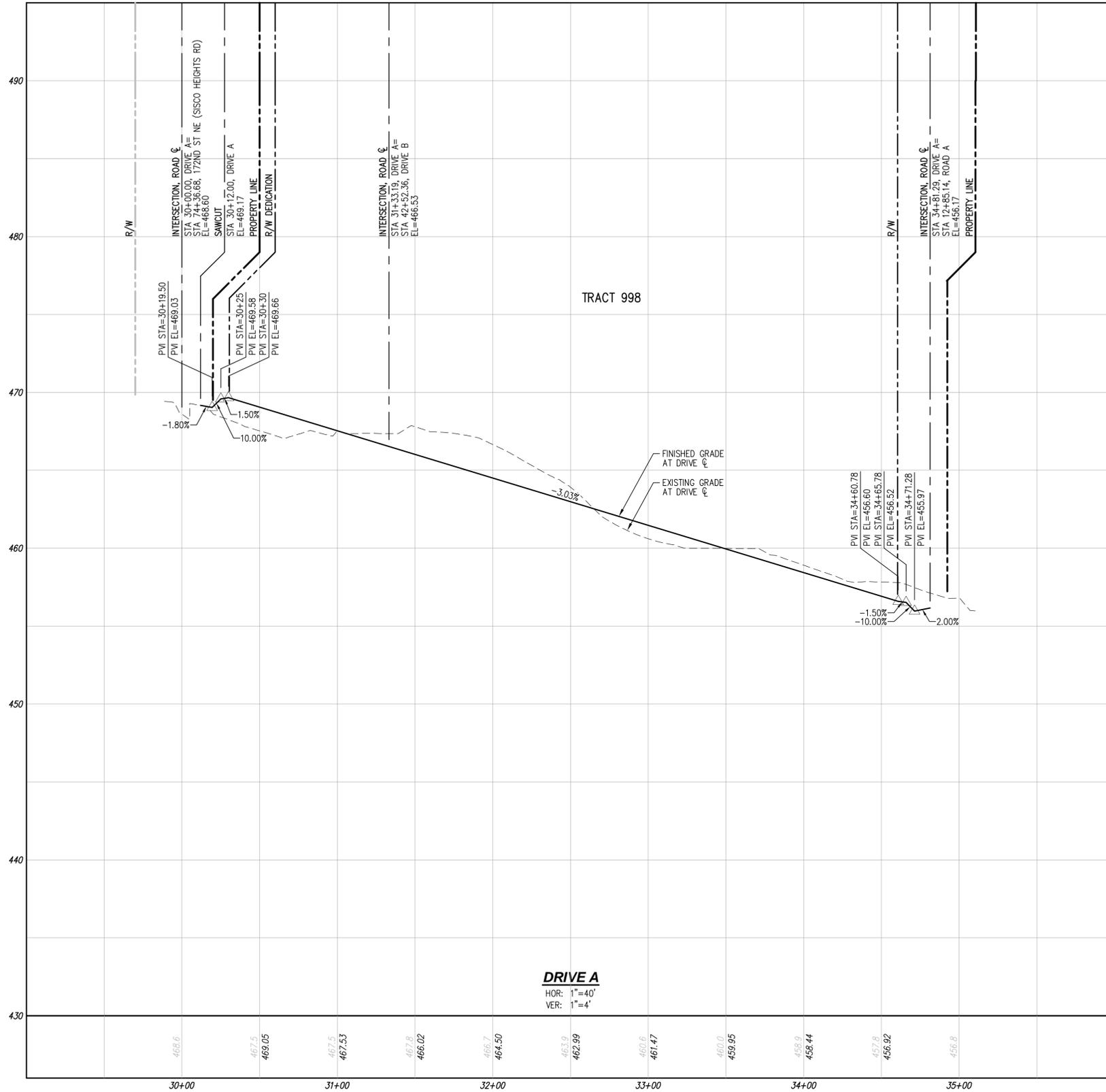
Zoning Approval
PLN #1000
December 29, 2023

Amy Rusko
Digitally signed by Amy Rusko
DN: cn=Amy Rusko, o=City of
Arlington, ou=City of
Arlington, email=Amy.Rusko@cityofarlington.com, c=US

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Amy Rusko
City of Arlington, WA

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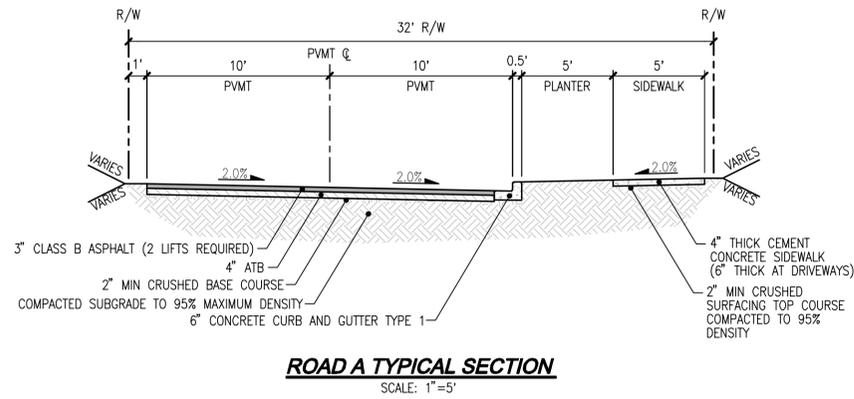
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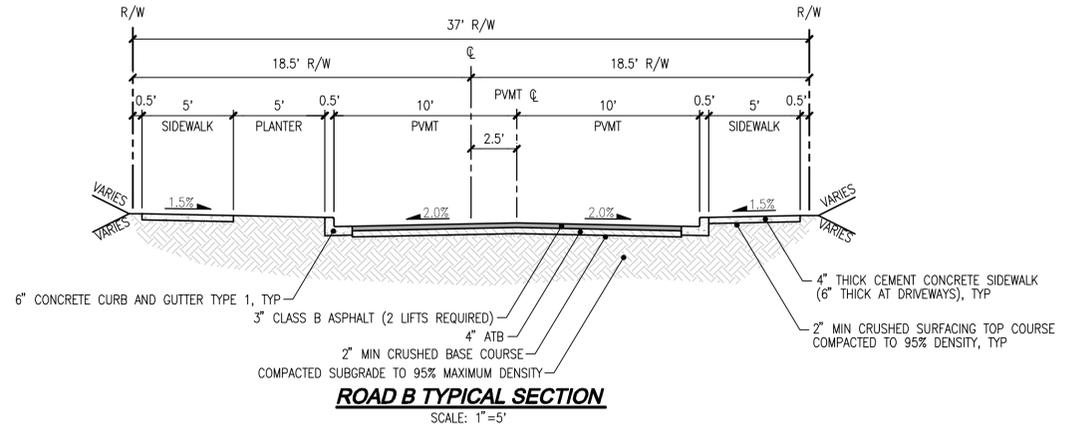
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DRAWING NAME: C21213P-RD-PR
DESIGNER: TPA
DRAFTING BY: BJN
DATE: 10-10-22
SCALE: AS NOTED
JURISDICTION: ARLINGTON

RD-04
SHEET 9 OF 11



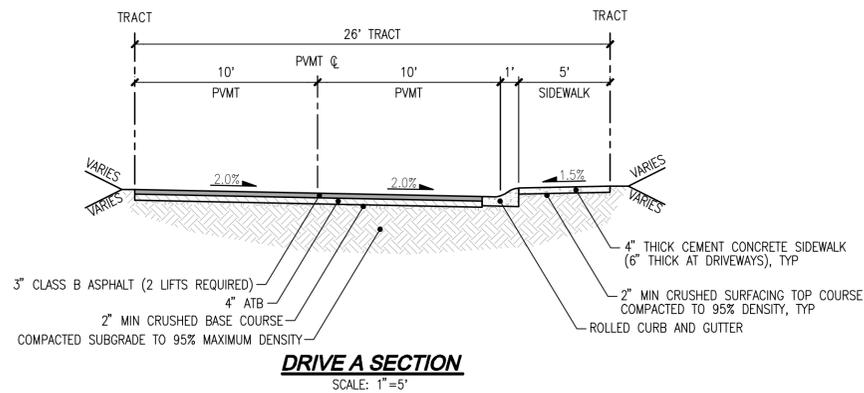
ROAD A TYPICAL SECTION

SCALE: 1"=5'



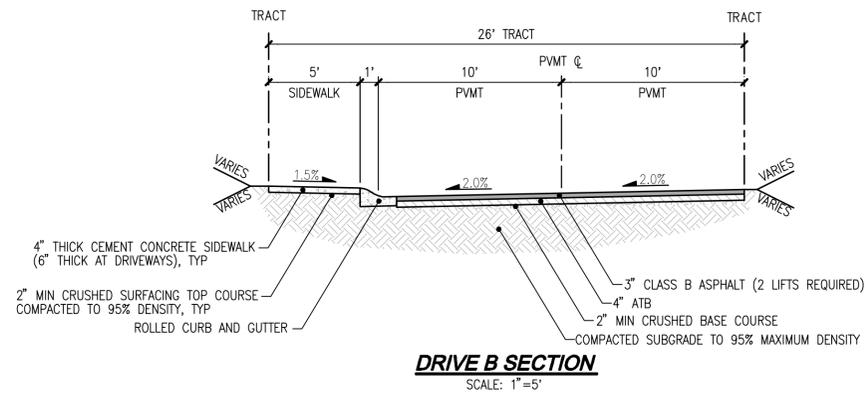
ROAD B TYPICAL SECTION

SCALE: 1"=5'



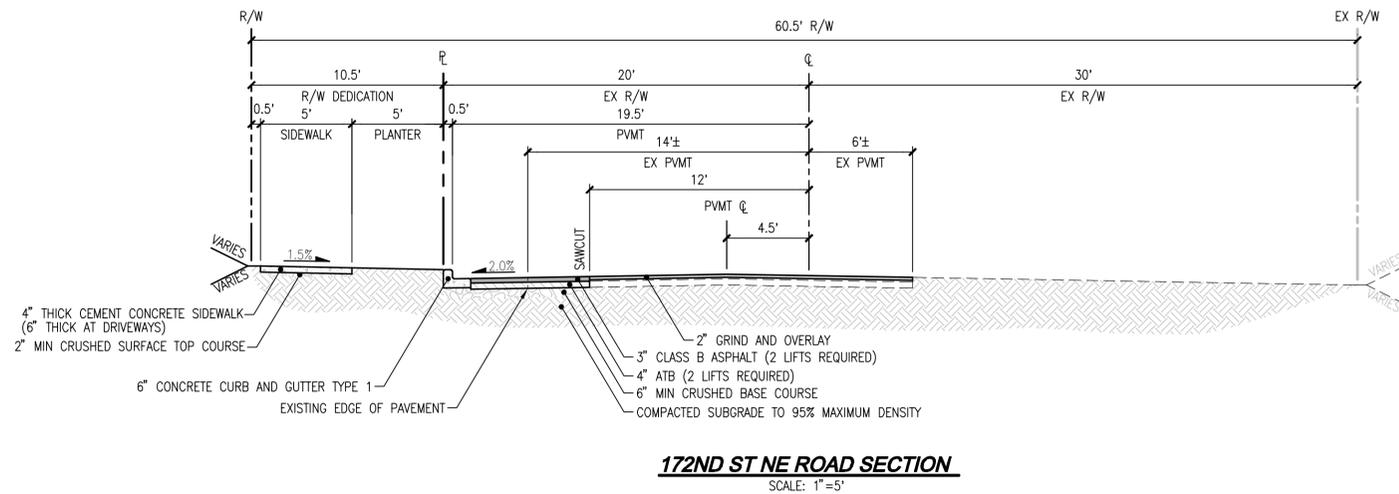
DRIVE A SECTION

SCALE: 1"=5'



DRIVE B SECTION

SCALE: 1"=5'



172ND ST NE ROAD SECTION

SCALE: 1"=5'

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ALLEN TOWNHOMES
 PRELIMINARY ROAD SECTIONS



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 DATE: 10-10-22
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 JURISDICTION: ARLINGTON

RD-05
 SHEET 10 OF 11

Drawing: P:\City\2021\c21-213 allen townhomes\Drawings\Preliminary\C21213P-RD-PR.dwg Plotted: Sep 18, 2023 - 8:35am

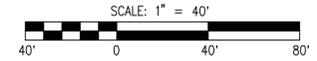
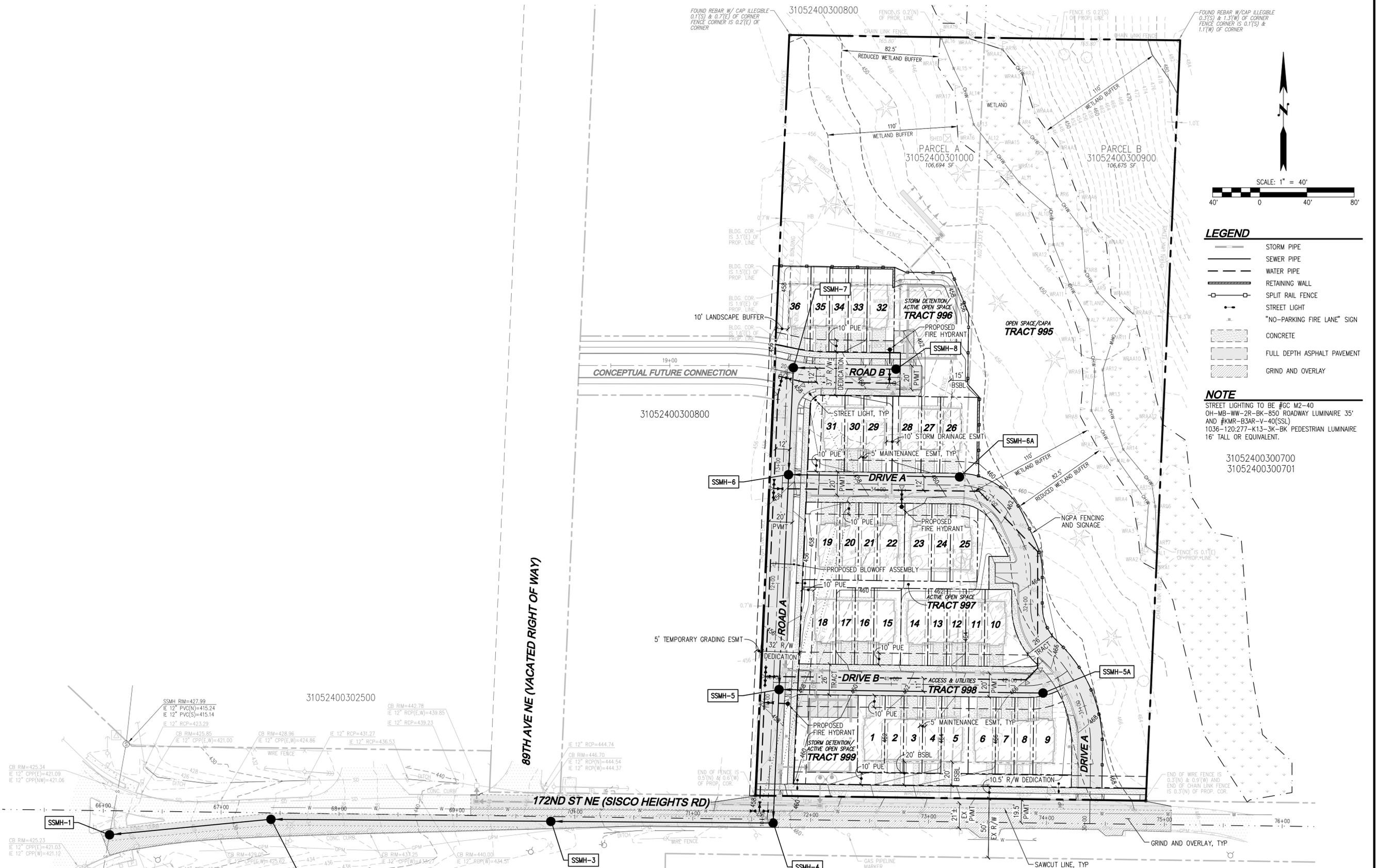
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Amy Rusko
 City of Arlington
 Planning & Development

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- LEGEND**
- STORM PIPE
 - SEWER PIPE
 - WATER PIPE
 - RETAINING WALL
 - SPLIT RAIL FENCE
 - STREET LIGHT
 - "NO-PARKING FIRE LANE" SIGN
 - CONCRETE
 - FULL DEPTH ASPHALT PAVEMENT
 - GRIND AND OVERLAY

NOTE
 STREET LIGHTING TO BE #GC M2-40
 OH-MB-WW-2R-BK-850 ROADWAY LUMINAIRE 35"
 AND #KMR-B3AR-V-40(SSL)
 1036-120:277-K13-3K-BK PEDESTRIAN LUMINAIRE
 16" TALL OR EQUIVALENT.

31052400300700
 31052400300701

Drawing: P:\CWA\2021\c21-213 allen townhomes\Drawings\Preliminary\C21213P-UT-PL.dwg Plotfile: Sep 18, 2023 8:35am

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Amy Rusko
 Snohomish County
 Planning & Development

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UT-01
 SHEET 11 OF 11